

**AGENDA**  
**FLUVANNA COUNTY BOARD OF SUPERVISORS**  
**Regular Meeting**  
**Circuit Courtroom**  
**Fluvanna Courts Building**  
**January 18<sup>th</sup> 2012**  
**7:00 p.m.**

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**1-CALL TO ORDER, PLEDGE OF ALLEGIANCE, MOMENT OF SILENCE**

**2-REPORTS**

Darren K. Coffey, Interim County Administrator

**3-PUBLIC COMMENTS #1 (5 minutes each)**

**4-CONSENT AGENDA**

TAB S Minutes of January 4<sup>th</sup>, 2012 – Mary Weaver, Clerk to the Board of Supervisors

**5-ACCOUNTS PAYABLE**

None

**6-PUBLIC HEARING**

TAB T SUP 11:05 – Central Virginia Electric Cooperative – A request for a special use permit to install electric facilities related to a major utility with respect to 62.8 acres of Tax Map 26, Section A, Parcels 22, 23, and 24F. The applicant is proposing to construct, operate, and maintain electric transmission and substation facilities to serve the Transcontinental Gas Pipe Line Company's natural gas pump station. The property is currently zoned A-1 and I-1 and is located on Transco Road (Route 643), approximately 1/2 mile west of Rolling Road South (Route 620). The property is located in the Cunningham Election District and is within the Rural Preservation Planning Area – Mr. Steve Tugwell, Senior Planner

TAB U SUP 11:06 – Central States Tower, LLC – Construct Telecommunications Tower – A request for a special use permit to amend SUP 07:15 to allow for an increase in height from 125 feet to 195 feet for a wireless communications tower with respect to 29.389 acres of Tax Map 52, Section 1, Parcel 7. The property is zoned A-1 and is located on Route 15 (7021 James Madison Highway), just north of the Route 15 and Route 6 (East River Road) intersection. The property is located in the Fork Union Election District and is within the Rural Residential Planning Area – Mr. Andrew Pompei, Planner

**7-PRESENTATIONS (normally not to exceed 10-minute limitation)**

TAB V PC's Proposed Long Range Planning Projects for 2012 – Andrew Pompei, Planner

TAB W Radio Communications Narrow Banding Update – Mr. John Robins, Public Works Director

**8-ACTION MATTERS**

None

**9-UNFINISHED BUSINESS**

TAB X Code of Ethics – Darren K. Coffey, Interim County Administrator

**10-NEW BUSINESS**

TAB YZ County Administrator Hiring Process – Darren K. Coffey, Interim County Administrator

**11-PUBLIC COMMENT #2 (5 minutes each)**

*For the Hearing-Impaired – there is a listening device available at the Board of Supervisors Room upon request.. TTY access number is 711 to make arrangements.*

*For persons with Disabilities – if you have special needs, please call the County Administrator's Office at 591-1910 and relay your request.*

**12-CLOSED MEETING**

Discuss Legal Matters - consultation with legal counsel regarding specific legal matters requiring the provision of legal advice by such counsel

**13-ADJOURN**

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**Pledge of Allegiance**

I pledge allegiance to the flag  
of the United States of America  
and to the Republic for which it stands,  
one nation, under God, indivisible,  
with liberty and justice for all.

\*\*\*\*\*

**ORDER**

1. It shall be the duty of the Chairman to maintain order and decorum at meetings. The Chairman shall speak to points of order in preference to all other members.
2. In maintaining decorum and propriety of conduct, the Chairman shall not be challenged and no debate shall be allowed until after the Chairman declares that order has been restored. In the event the Board wishes to debate the matter of the disorder or the bringing of order; the regular business may be suspended by vote of the Board to discuss the matter.
3. No member or citizen shall be allowed to use abusive language, excessive noise, or in any way incite persons to use such tactics. The Chairman and/or the County Administrator shall be the judge of such breaches, however, the Board may vote to overrule both.
4. When a person engages in such breaches, the Chairman shall order the person's removal from the building, or may order the person to stand silent, or may, if necessary, order the person removed from the County property.

*For the Hearing-Impaired – there is a listening device available at the Board of Supervisors Room upon request.. TTY access number is 711 to make arrangements.*

*For persons with Disabilities – if you have special needs, please call the County Administrator's Office at 591-1910 and relay your request.*

**MOTION:** I move the minutes of the Fluvanna County Board of Supervisors for Wednesday, January 4<sup>th</sup>, 2012 and retreat for January 6<sup>th</sup>, 2012 be adopted.

**AGENDA BOARD OF SUPERVISORS DATE: January 18<sup>th</sup>, 2012**

**SUBJECT:** Adoption of the Fluvanna County Board of Supervisors regular meeting minutes.

**RECOMMENDATION:** Approval

**TIMING:** Routine

**FISCAL IMPLICATIONS:** None

**POLICY IMPLICATIONS:** None

**DISCUSSION:** None

**LEGISLATIVE HISTORY:** None

Staff: Mary L. Weaver, Clerk to the Board of Supervisors

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County Administrator's Use Only

*Comments:*

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Darren K. Coffey, Interim County Administrator



Selection of Dates for the Board Meetings

This action will adopt the Board of Supervisors 2012 regular Meeting Calendar as presented.

MOTION:

Mr. Weaver moved to adopt the Board of Supervisors 2012 regular Meeting Calendar as presented [which does not include any joint meetings or work sessions]. Mr. Ullenbruch seconded. The motion carried with a vote of 5-0. AYES: Chesser, Booker, Ullenbruch, Kenney and Weaver. NAYS: None. ABSENT: None.

Resolution Entitled “Organizational Meeting of the Fluvanna County Board of Supervisors 2012”

The Code of Virginia requires an annual organizational meeting of the Board of Supervisors for the election of officers and the conduct of such other business as to meeting times and dates.

MOTION:

Mr. Weaver moved to adopt the resolution [attached hereto] entitled “Organizational Meeting of the Fluvanna County Board of Supervisors 2012” which solidifies the meeting place and the day and time of the meetings. Mr. Ullenbruch seconded. The motion carried with a vote of 5-0. AYES: Chesser, Booker, Ullenbruch, Kenney and Weaver. NAYS: None. ABSENT: None.

Adoption of Board By-Laws and Rules of Procedures

This action will adopt the Fluvanna County Board of Supervisors By-Laws & Rules of Practice & Procedures.

MOTION:

Mr. Weaver moved to adopt the Fluvanna County Board of Supervisors By-Laws & Rules of Practice & Procedures as amended. Mr. Chesser seconded. The motion carried with a vote of 5-0. AYES: Chesser, Booker, Ullenbruch, Kenney and Weaver. NAYS: None. ABSENT: None.

Appointments/Boards & Commissions

The following appointments were made:

Booker and Kenney - Affordable Housing Task Force  
Weaver - Agricultural/Forestral Advisory Committee  
Weaver - Audit Committee  
Booker - Community Policy Management Team  
Ullenbruch - Court Green Committee  
Chesser - Economic Development Commission  
Kenney - Emergency Services Director  
Chesser - Fluvanna Transportation Safety Commission  
Booker - Fork Union Sanitary District Advisory Committee  
Weaver - Landfill Advisory Committee  
Ullenbruch and Booker - Palmyra Wastewater Committee  
Booker - Parks & Recreation Board  
Kenney - Piedmont Work Force Council  
Chesser - Planning Commission  
Chesser and Ullenbruch- Rivanna River Basin Commission  
Booker - Social Services Board

Kenney - Thomas Jefferson Area Community Criminal Justice Board  
Ullenbruch– Thomas Jefferson Partnership for Economic Development  
Chesser - Thomas Jefferson Planning District Commission  
Kenney - Virginia Association of Counties Legislature Contact

**MOTION:**

Mr. Weaver moved to approve the designated names in each category as shown here in the Boards, Commissions and Committees. Mrs. Booker seconded. The motion carried with a vote of 5-0. AYES: Chesser, Ullenbruch, Booker, Kenney and Weaver. NAYS: None. ABSENT: None.

**Board of Supervisors Regular Meeting**

Chairman Kenney proceeded with the regular meeting of the Board of Supervisors for Wednesday, January 4<sup>th</sup> 2012.

**REPORTS**

Mr. Darren K. Coffey, Interim County Administrator, reported on the following topics:

- Estimating increase in VRS rates, state is lowering Constitutional Officers and employee costs, no pending change to the VRS employee share of 5% to those hired after July 1, 2011, less money from state for Communications Tax, decreasing funding for Electoral Boards localities can supplement.
- Board of Supervisors retreat on Friday January 6, 2012 at the Water Street Conference Center in Charlottesville, from 8:00am to 4:00pm.
- Speed study on Route 15 in Troy has been completed, advising posting of 40mph south bound, requesting same posting for north bound.
- February 1<sup>st</sup>, 2012 Board of Supervisors meeting will be held in the Historic Courthouse.
- Farmer's Table, local foods festival, being organized by the extension office for August 19<sup>th</sup>, 2012 at Pleasant Grove. Free to the public.

**PUBLIC COMMENTS #1**

Chairman Kenney opened the floor for the first round of public comments.

The following citizen addressed the Board:

- Scott Lee, representative for Congressman Robert Hurt, of Albemarle - send greetings and congratulations to the Board and assistance whenever needed.

With no one else wishing to speak, Chairman Kenney closed the first round of public comments.

**CONSENT AGENDA**

The following items were approved under the consent agenda:

**MOTION:**

Mr. Weaver moved to approve the consent agenda which consisted of:

- Minutes of December 21<sup>st</sup>, 2011
- FY12 Budget Supplement for Library Telecommunication Reimbursement

Mrs. Booker seconded. The motion carried with a vote of 5-0. AYES: Chesser, Booker, Ullenbruch, Kenney and Weaver. NAYS: None. ABSENT: None.

**ACCOUNTS PAYABLE**

Renee Hoover, Finance Director, addressed the Board regarding the accounts payable.

**MOTION:**

Mr. Weaver moved the Accounts Payable from November 29 through December 27, 2011 and Payroll for the month of November 2011 in the amount of \$1,263,895.23 be ratified. Mrs. Booker seconded. The motion carried with a vote of 5-0. AYES: Chesser, Booker, Ullenbruch, Kenney and Weaver. NAYS: None. ABSENT: None.

General Fund	\$ 554,694.17
Community Programs	.00
Federal Grants	17,850.00
Capital Improvements	16,769.09
Debt Service	21,997.40
Sewer	5,743.88
Fork Union Sanitary District	<u>5,830.81</u>
Total Expenditures by Fund	\$622,885.35
<u>Payroll - November</u>	<u>641,009.88</u>
Total Payables & Payroll	\$ 1,263,895.23

**PUBLIC HEARING**

None

**PRESENTATIONS:**

None

**ACTION MATTERS**

None

**UNFINISHED BUSINESS**

The following items were discussed:

- VDOT patched the holes in front of the Parks and Recreation building.
- Mr. Weaver directed staff for a scale of the teachers' salaries of the surrounding counties.
- How much money is involved in the option 3 pick for the schools?

**NEW BUSINESS**

The following items were discussed:

- Chairman Kenney appointed Mr. Ullenbruch and Mr. Chesser to the Budget subcommittee.
- February 1<sup>st</sup> meeting will be the CIP and initial budget presentation.
- Chairman Kenney directed staff to have the proposed budget to be presented to each district and receive public feedback.
- Chairman Kenney appointed Mr. Ullenbruch and Mr. Chesser to the Fire and EMS committee.
- The Board directed staff to compile a list of Revenue by departments for review by the Budget Committee.
- The Board directed staff to research the possibility of combining the Finance Board and OPEB Board.

- Address concerns made in public comments.
- Purchase stylists for Board members to use with their iPads.

## **PUBLIC COMMENTS #2**

Chairman Kenney opened the floor for the second round of public comments. With no one wishing to speak, Chairman Kenney closed the second segment of public comments.

## **CLOSED MEETING**

### **MOTION TO ENTER INTO A CLOSED MEETING:**

At 2:45 p.m. Mr. Weaver moved the Fluvanna County Board of Supervisors enter into a closed meeting pursuant to the provisions of Section 2.2-3711 of the Code of Virginia, 1950, as amended, for the purpose of discussing legal matters - pending litigation. Mr. Ullenbruch seconded. The motion carried with a vote of 5-0. AYES: Chesser, Booker, Ullenbruch, Kenney and Weaver. NAYS: None. ABSENT: None.

### **MOTION TO EXIT A CLOSED MEETING & RECONVENE IN OPEN SESSION:**

At 2:53 p.m., Mr. Weaver moved the closed meeting be adjourned and the Fluvanna County Board of Supervisors reconvene again in open session. Mrs. Booker seconded. The motion carried with a vote of 5-0. AYES: Chesser, Booker, Ullenbruch, Kenney and Weaver. NAYS: None. ABSENT: None.

### **MOTION:**

At 2:54 p.m. the following resolution was adopted by the Fluvanna County Board of Supervisors following a closed meeting held Wednesday, January 4<sup>th</sup> 2012 on motion of Mr. Weaver seconded by Mrs. Booker and carried by the following vote: AYES: Chesser, Ullenbruch, Booker, Kenney and Weaver. NAYS: None. ABSENT: None.

**“BE IT RESOLVED** to the best of my knowledge (i) only public business matters lawfully exempted from open meeting requirements under Section 2.2-3711-A of the Code of Virginia, 1950, as amended, and (ii) only such public business matters as were identified in the motion by which the closed meeting was convened were heard, discussed or considered in the meeting.”

## **RECESS**

### **MOTION:**

At 2:55 p.m., Mr. Weaver moved to recess to the Board of Supervisors retreat on Friday, January 6<sup>th</sup> at the Water Street Conference. Mrs. Booker seconded. The motion carried with a vote of 5-0. AYES: Chesser, Booker, Ullenbruch, Kenney and Weaver. NAYS: None. ABSENT: None.

**RECONVENE**

Chairman Kenney reconvened the meeting on Friday, January 6<sup>th</sup>, 2012 at the Water Street Conference Center for the Board of Supervisors Retreat. Chairman Kenney turned the meeting over to Mr. Grant Tate, CEO, The Bridge, LTD, to facilitate the retreat. The following topics were discussed:

- Purpose of Meeting
- Desired outcomes/goals of the meeting
- Ground rules
- Code of Ethics
- External Factors
- Needs and Priorities
- Budget Process

The Board directed staff to have departments rank their services from 1-5 in priority with 5 being the highest and 1 the lowest.

The Board directed staff to work with the Budget Committee and project a 3 year budget along with 4 scenarios;

- Meet State Mandates
- Do Nothing (keep level)
- Moderate Steady – State
- Aggressive Steady – State

The Board also wants an updated 5 year financial forecast on the scenario that is chosen.

**ADJOURN**

MOTION:

At 2:34p.m. Mrs. Booker moved to adjourn the BOS Retreat of January 6<sup>th</sup>, 2012. Mr. Ullenbruch seconded. The motion carried with a vote of 5-0.

AYES: Booker, Chesser, Ullenbruch, Kenney, and Weaver. NAYS:  
None.

ATTEST:

FLUVANNA COUNTY BOARD OF SUPERVISORS

\_\_\_\_\_  
Mary L. Weaver, Clerk

\_\_\_\_\_  
Shaun V. Kenney, Chairman



**BOARD OF SUPERVISORS  
County of Fluvanna  
Palmyra, Virginia**

**RESOLUTION**

At a regular monthly meeting of the Fluvanna County Board of Supervisors held on Wednesday, January 4<sup>th</sup> 2012, in Palmyra, Virginia, the following action was taken:

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<b><u>Present</u></b>	<b><u>Vote</u></b>
<i>Mozell Booker</i>	YEA
<i>Joe Chesser</i>	YEA
<i>Bob Ullenbruch</i>	YEA
<i>Shaun V. Kenney</i>	YEA
<i>Donald W. Weaver</i>	YEA

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On a motion by Mr. Weaver seconded by Mr. Ullenbruch and carried by a vote of 5-0 the following resolution was adopted:

**Organizational Meeting of the Fluvanna County Board of Supervisors 2012**

**WHEREAS**, the Code of Virginia requires an annual organizational meeting for the Board of Supervisors for the election of officers and the conduct of such other business as to meeting times and dates and,

**WHEREAS**, the Board of Supervisors does now conduct such an organizational meeting.

**NOW, THEREFORE BE IT RESOLVED** by the Board of Supervisors that it does hereby designate the Circuit Courtroom in the Fluvanna Courts Building as its meeting place for regular meetings to be held on the first Wednesday of each month at 2:00 p.m. and the third Wednesday of each month at 7:00 p.m. Except February 1<sup>st</sup> when the meeting will be held in the Historic Courthouse due to Court being in session, in the month of July when the first meeting will be held on Tuesday July 3<sup>rd</sup> due to the holiday, the month of August when the only meeting shall be on the first Wednesday starting at 2:00 p.m., breaking for dinner, then reconvening at 7:00 p.m. for public hearings and in the month of November when the second meeting will be held on Tuesday November 20<sup>th</sup>, due to the holiday.

**FURTHER BE IT RESOLVED** by the Board of Supervisors that it does hereby designate the fourth Wednesday at 7:00 p.m. as the meeting date for any such regular meeting that is postponed due to weather or such other circumstances.

Adopted this 4<sup>th</sup> day of January 2012  
by the Fluvanna County Board of Supervisors

ATTEST:

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Darren K. Coffey, Interim County Administrator



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# COUNTY OF FLUVANNA

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*"Responsive & Responsible Government"*

P.O. Box 540 Palmyra, VA 22963 (434) 591-1910 FAX (434) 591-1911 [www.co.fluvanna.va.us](http://www.co.fluvanna.va.us)

## STAFF REPORT

**To:** Fluvanna County Board of Supervisors

**Case Number:** SUP 11:05

**Tax Map:** Tax Map 26, Section A, Parcels 22, 23, 24F

**From:** Steve Tugwell

**District:** Cunningham

**Date:** January 18, 2012

**General Information:**

This request is to be heard by the Board of Supervisors on Wednesday, January 18, 2012 at 7:00 pm in the Circuit Courtroom in the New Courthouse. The applicant or authorized representative is required to attend.

**Applicant/Owner:**

Central Virginia Electric Cooperative

**Representative:**

Joseph Key

**Requested Action:**

A request for a special use permit to install electric facilities related to a major utility with respect to 62.8 acres of Tax Map 26, Section A, Parcels 22, 23, and 24F. The applicant is proposing to construct, operate, and maintain electric transmission facilities to serve the Transcontinental Gas Pipe Line Company's natural gas pump station. (Attachment A)

**Location:**

The affected property is located on Transco Road (Route 643), approximately ½ mile west of Rolling Road South (Route 620). (Attachment B)

**Existing Zoning:**

A-1 (Agricultural, General) and I-1 (Industrial, Limited)

**Existing Land Use:**

Various buildings related to the existing gas line, office trailers

**Adjacent Land Use:**

All adjacent properties are zoned A-1, (Agricultural, General)

**Comprehensive Plan:**

This property is in the Rural Preservation Planning Area

**Zoning History:**

A Special Use Permit (97:16) for a signal regeneration building for a public utility fiber optics system was approved by the Board of Supervisors on December 17, 1997; A Site Development Plan (00:05) to expand an existing fiber facility was approved by the Planning Commission on September 25, 2000.

## **Comprehensive Plan**

### **LAND USE**

The Rural Preservation paragraph of the Land Use section of the Comprehensive Plan states that Rural Preservation areas are intended to be the least developed with provisions made for protection of viewsheds from roadways and existing development. Originating at Dominion Virginia Power's transmission easement on Tax Map 26-A-24F, a one-hundred foot (100) wide easement is proposed for the purposes of facilitating transmission structures designated across two (2) parcels in order to connect transmission service to the pump station. The applicant has stated that these structures will be *"single-pole structures, and not the typical lattice tower or two-pole structures"*. The applicant has also stated that *"the transmission easement will be adjacent to the pipeline easement to minimize impact to the land"*. Three (3) structures are proposed within the new easement. The substation, which will be located on Transco property, will be screened with security fencing, and the applicant has further stated that *"the visual impact will be mitigated to the extent possible with vegetation around three (3) sides of the fence exposed to adjoining property owners"*, and that, *"ornamental shrubs or ground covers will be planted, mulched, and fertilized in accordance with the grower's specifications"*.

### **ECONOMIC DEVELOPMENT**

Goal number three says to support the development of local economies, locally owned businesses, and entrepreneurial opportunities, particularly those that are of rural character and will require little provision of infrastructure. Although this facility requires more infrastructure than most uses in the rural areas, it also provides local employment and contributes to the natural gas supply to the region. Upgrading this existing facility appears to be consistent with the entrepreneurial spirit of this goal for economic development in Fluvanna County.

### **Analysis:**

When evaluating proposed uses for a special use permit, in addition to analyzing the potential adverse impacts of the use, staff utilizes two (2) general guidelines for evaluation as set forth in the zoning ordinance.

#### **First, the proposed use should not tend to change the character and established pattern of the area or community.**

The applicant is proposing to construct, operate, and maintain electric transmission and substation facilities to serve the Transcontinental Gas Pipe Line Company's natural gas pump station located at 1344 Transco Road in Scottsville, VA. This activity will take place on a total area of 62.8 acres. This type of use is considered a "major utility" as defined in the Fluvanna County Zoning Ordinance. According to the ordinance, a major utility is defined as *"facilities for the distribution, collection, treatment, production, transmission and generation of public, private and central utilities including, but not limited to, transmission lines, production plants, electrical substations, pumping stations, treatment facilities, and communication facilities"*.

Originating from an existing Dominion Virginia Power easement, a one-hundred (100) foot wide easement, approximately 1,200 feet in length is proposed to run across two (2) parcels to the Transco parcel in order to connect transmission service to the pump station. The 100 foot easement will be provided by adjacent property owners through a private negotiation. According to the application, the substation will include one (1) power transformer, existing structures, equipment, and control building, all located within a security fence. The land facilitating all of the structures is owned by Transco, and the substation structures and equipment will be owned by Central Virginia Electric Cooperative. This application is to upgrade and improve a major utility that is already in place, and the applicant is proposing to retain existing trees and vegetation, but also to increase landscaping and screening of the activity. Therefore, the character and established pattern of the area will most likely improve with negligible to no negative visual impacts.

**Second, the proposed use should be compatible with the uses permitted by-right in that zoning district and shall not adversely affect the use/or value of neighboring property.**

The applicant has described the necessity for the upgrade at this facility in order to be able to provide an energy supply to serve a 33,000 horsepower pump and ancillary equipment, which will then in turn be able to serve a greater number of customers in the region. This project is known as the “*Mid-Atlantic Connector Expansion*”, and it is anticipated that the expansion will increase natural gas transportation capacity to serve 600,000 homes in the region by November 2012. The project involves pipeline construction in Prince William and Fairfax Counties, as well as upgrading compressor facilities in Pittsylvania and Fluvanna Counties. The applicant has stated in their application that the Federal Energy Regulatory Commission has granted approval to the project. There are only a few dwellings within visual distance of this facility, and two of them are negotiating with the applicants to establish a utility easement through their property. (Attachment C)

**Neighborhood Meeting:**

At the November 9<sup>th</sup>, 2011 neighborhood meeting, there were four (4) people that spoke with regard to the facility. The questions were regarding noise levels at the facility. (Attachment D)

**Technical Review Committee:**

At the November 10<sup>th</sup>, 2011 Technical Review Committee meeting, VDOT had no comments with regard to this application, as there is an existing entrance to the site.

No comments were provided by the Fire Department.

No comments were provided by the Health Department. (Attachment E)

**Planning Commission:**

The Planning Commission discussed this SUP request at their December 28, 2011 meeting. Mr. Joseph Key addressed the Planning Commission with regard to his request to upgrade the

existing facility with a new substation. Condition #7 states “*all noise generated by this activity shall be limited to a maximum daytime and nighttime level of 70dB at the property line*”. The Planning Commission discussed modifying condition #7 replacing “this activity” to “the electrical service facility”. Both the County Attorney and the Planning Commission were of the consensus that this modification more adequately addresses the nature of the intended use. The Planning Commission voted unanimously to recommend approval of SUP 11:05 with the modification to condition #7 by a vote of 5-0.

**Conclusion:**

While this special use permit application for a major utility appears to substantially meet the intent of the Comprehensive Plan, the Board should consider any potential adverse impacts, such as traffic, noise, and impacts to the rural atmosphere that this use could have on the area. Staff is not aware of any existing adverse conditions associated with this facility.

**Recommended Conditions:**

If approved, staff recommends the following conditions:

- 1) Prior to development of the site, a site development plan that meets the requirements of the Fluvanna County Zoning Ordinance, must be submitted for review and approval;
- 2) Meeting all VDOT and Health Department requirements.
- 3) New buildings and structures shall be compatible with existing buildings, be earth tone in color, and be approved by planning staff prior to construction.
- 4) Any lighting will not be directed toward adjacent properties and will be limited in nature.
- 5) Outside storage of materials and machinery shall be screened from the public rights-of-way with either architectural or vegetative screening as approved by the County;
- 6) All screening shall be maintained in a condition acceptable to the County;
- 7) All noise generated by ~~this activity~~ *the electrical service facility* shall be limited to maximum daytime and nighttime level of 70 dB at the property line.
- 8) The 230 KV transmission line shall be no taller in height than the 74.6 feet that the application is proposing.
- 9) The Board of Supervisors, or representative, reserves the right to inspect the business for compliance with these conditions at any time.

**The language in condition #7 has been modified for clarity per the Planning Commission.**

**Suggested Motion:**

I move that the Board of Supervisors approve/deny SUP 11:05, a special use permit request to install electric facilities related to a major utility with respect to 62.8 acres of Tax Map 26, Section A, Parcels 22, 23, and 24F, subject to the conditions listed in the staff report (if approved).

**Attachments:**

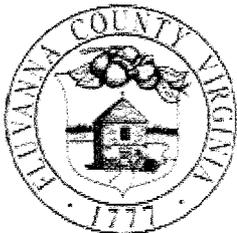
- A – Application, site sketch plan, and Applicant’s narrative
- B - Aerial Vicinity Map
- C – Proposed site layout
- D – APO Letter and neighborhood meeting comments
- E –Health Department email, and email from VDOT

Copy:

Applicant – Central Virginia Electric Cooperative, 800 Cooperative Way, Arrington, VA 22922

Representative – Mr. Joseph Key, 800 Cooperative Way, Arrington, VA 22922

File



COMMONWEALTH OF VIRGINIA  
**COUNTY OF FLUVANNA**  
**Application for Special Use Permit (SUP)**

**Owner of Record:** Transcontinental Gas Pipe Line Company

**Applicant of Record:** Central Virginia Electric Cooperative

E911 Address: 1344 Transco Road, Scottsville, VA 24590

E911 Address: 800 Cooperative Way, Arrington, VA 22922

Phone: 434-286-2051 Fax: 434-286-4737

Phone: (434) 263-8336 Fax: (434) 263-8339

Email: gejuan.k.cole@williams.com (GeJuan Cole)

Email: jkey@mycvec.com

**Representative:** Joseph Key

**Note: If applicant is anyone other than the owner of record, written authorization by the owner designating the applicant as the authorized agent for all matters concerning the request shall be filed with this application.**

E911 Address: 800 Cooperative Way, Arrington, VA 22922

Phone: 434-263-7630 Fax: 434-263-8339

Is property in Agricultural Forestal District?  No  Yes

Email: jkey@mycvec.com

If Yes, what district: \_\_\_\_\_

**Tax Map and Parcel(s):** 26-A-24F, 26-A-23, 26-A-22

**Deed Book Reference:** DB 166-162, DB 68-558

**Acreage:** 62.8 **Zoning:** A-1

Deed Restrictions?  No  Yes (Attach copy)

Request for a SUP in order to: install electric facilities Proposed use of Property: Power delivery to natural gas pump station

\*Two copies of a plan must be submitted, showing size and location of the lot, dimensions and location of the proposed building, structure or proposed use, and the dimensions and location of the existing structures on the lot.

By signing this application, the undersigned owner/applicant authorizes entry onto the property by County Employees, the Planning Commission, and the board of Supervisors during the normal discharge of their duties in regard to this request and acknowledges that county employees will make regular inspections of the site.

Date: Oct 28, 2011

Signature of Owner/Applicant: \_\_\_\_\_

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_, 2011

28<sup>th</sup>

day of October, 2011

Register # 278176

My commission expires: May 31, 2015

Notary Public: \_\_\_\_\_

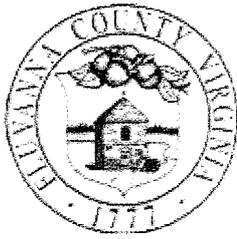
Nancy L. State

Certification: Date: \_\_\_\_\_

Zoning Administrator: \_\_\_\_\_

**All plats must be folded prior to submission to the Planning Department for review. Rolled plats will not be accepted.**

OFFICE USE ONLY			
Date Received:	Pre-Application Meeting:	PH Sign Deposit Received:	Application #: SUP _____ : _____
\$800.00 fee plus mailing costs paid:		Mailing Costs: \$20.00 Adjacent Property Owner(APO) after 1st 15, Certified Mail	
Amendment of Condition: \$400.00 fee plus mailing costs paid:			
Telecommunications Tower \$1,500.00 fee plus mailing costs paid:		\$5,500 w/Consultant Review paid:	
Election District:	Planning Area:		
Public Hearings			
Planning Commission		Board of Supervisors	
Advertisement Dates:	Advertisement Dates:		
APO Notification:	APO Notification:		
Date of Hearing:	Date of Hearing:		
Decision:	Decision:		



COMMONWEALTH OF VIRGINIA  
**COUNTY OF FLUVANNA**  
**Public Hearing Sign Deposit**

Name: Central Virginia Electric Cooperative

Address: P.O. Box 247

City: Lovingston

State: Virginia Zip Code: 22949

I hereby certify that the sign issued to me is my responsibility while in my possession. Incidents which cause damage, theft, or destruction of these signs will cause a partial or full forfeiture of this deposit.

Joseph Key October 28, 2011  
Applicant Signature Date

\*Number of signs depends on number of roadways property adjoins.

OFFICE USE ONLY	
Application #: <b>BZA</b> _____ : _____ <b>CPA</b> _____ : _____ <b>SUP</b> _____ : _____ <b>ZMP</b> _____ : _____ <b>ZTA</b> _____ : _____	
\$90 deposit paid per sign*:	Approximate date to be returned:

Describe briefly the **improvements** proposed. State whether new buildings are to be constructed, existing buildings are to be used, or additions made to existing buildings.

Central Virginia Electric Cooperative proposes to construct, operate, and maintain electric transmission and substation facilities to serve the Transcontinental Gas Pipe Line Company's natural gas pump station located at 1344 Transco Road, Scottsville, VA. The transmission facilities will include a 230 KV line approximately 1,200 feet in length, beginning at Dominion Virginia Power's transmission easement in parcel 26 A 24F, crossing parcel 26 A 23, and ending at the proposed substation located on Transco's property. A 100-foot transmission easement will be provided by the two landowners through a private negotiation. The substation will include one power transformer, structures, equipment, and control building, all located within a security fence. Transco will own the substation site, and CVEC will own the substation structures and equipment.

**NECESSITY OF USE:** Describe the reason for the requested change.

Williams Energy, the parent company of Transco, is completing a project known as the Mid-Atlantic Connector Expansion, which will increase natural gas transportation capacity to serve 600,000 homes in the region by November 2012. The project involves pipeline construction in Prince William and Fairfax counties, as well as upgrading compressor facilities in Pittsylvania and Fluvanna counties. The Federal Energy Regulatory Commission has granted approval to the project. In addition to increasing overall gas supply to the region, the Fluvanna pump station will support power generation by supplying gas to Dominion Virginia Power's Bear Garden generation plant at Brems. The proposed electric facilities will supply energy for a 33,000 horsepower pump and ancillary equipment.

**PROTECTION OF ADJOINING PROPERTY:** Describe the effects of the proposed use on adjacent property and the surrounding neighborhood. What protection will be offered adjoining property owners?

Transmission structures will be built within a designated 100-foot easement across two parcels to connect transmission service to the pump station. To minimize the visual impact to property owners, the structures will be steel single-pole structures, not the typical lattice tower or two-pole structures. The transmission easement will be adjacent to the pipeline easement to minimize impact to the land. Three structures are anticipated within the new easement. The substation site located on Transco's property will have a security fence for public protection. The visual impact will be mitigated to the extent possible with vegetation around the three sides of the fence exposed to adjoining property owners. Ornamental shrubs or ground covers will be planted, mulched, and fertilized in accordance with the grower's specifications.

**ENHANCEMENT OF COUNTY:** Why does the applicant believe that this requested change would be advantageous to the County of Fluvanna? (Please substantiate with facts.)

The proposed electric facilities will enable Transco to increase the natural gas supply to the region and will support power generation assets owned by Dominion Virginia Power. The county will realize a long-term benefit from the increased supplies of natural gas and electricity.

**PLAN:** Furnish plot plan showing boundaries and dimensions of property, width of abutting right-of-ways, location and size of buildings on the site, roadways, walks, off-street parking and loading space, landscaping, etc. Architect's sketches showing elevations of proposed buildings and complete plans are desirable and may be required with the application. Remarks:

The following drawings are included with the application package:  
Williams Soil Erosion and Sediment Control Site Plan  
Property plat for parcel 26-A-22, Transcontinental Gas Pipe Line Company  
Property survey with proposed transmission line easement  
Transco Substation Preliminary Plan and Section View  
230 KV Transmission Line Structure  
Transcontinental Project Location Map

## Special Use Permit Checklist

The following information shall be submitted with the application and is to be provided by the applicant for the processing of the application:

- 祺 Completed Special Use Permit signed by the current owner(s) or lessee or written confirmation from the current owner or lessee granting the right to submit the application.
- 祺 Site Plan for any expansion or new construction (18 folded copies preferred). Include:
  - 祺 Plot plan or survey plat at an appropriate scale
- 祺 Location and dimension of existing conditions and proposed development
- 祺 Commercial and Industrial Development: parking, loading, signs, lighting, buffers and screening
- 祺 Copy of the Tax Map showing the site (preferred)
- 祺 Copy of General Location Map (preferred)
- 祺 Supporting photographs are not required, but suggested for evidence.

### STAFF USE ONLY

祺 \_\_\_\_\_  
\_\_\_\_\_

All maps and plans submitted are to be either 8.5"x 11" or 11"x 17". One original of any size may be to staff for use at the public hearing.

### Review of the Application

- 祺 Preliminary review by planning staff for completeness and content.
- 祺 Copies of application: office, agencies and county attorney.
- Technical Review Committee review and comment
- 祺 Determine all adjacent property owners.
- 祺 Placed as a Public Hearing on the next available agenda of the Planning Commission.
- 祺 Notification of the scheduled Public Hearing to the following:
  - \_\_\_ Applicant
  - \_\_\_ All adjacent property owners
  - \_\_\_ Local Newspaper advertisement
- 祺 Staff Report to include, but not be limited to:
  - \_\_\_ General information regarding the application
  - \_\_\_ Any information concerning utilities or transportation
  - \_\_\_ Consistency with good planning practices
  - \_\_\_ Consistency with the comprehensive plan
  - \_\_\_ Consistency with adjacent land uses
  - \_\_\_ Any detriments to the health, safety and welfare of the community.

### STAFF USE ONLY

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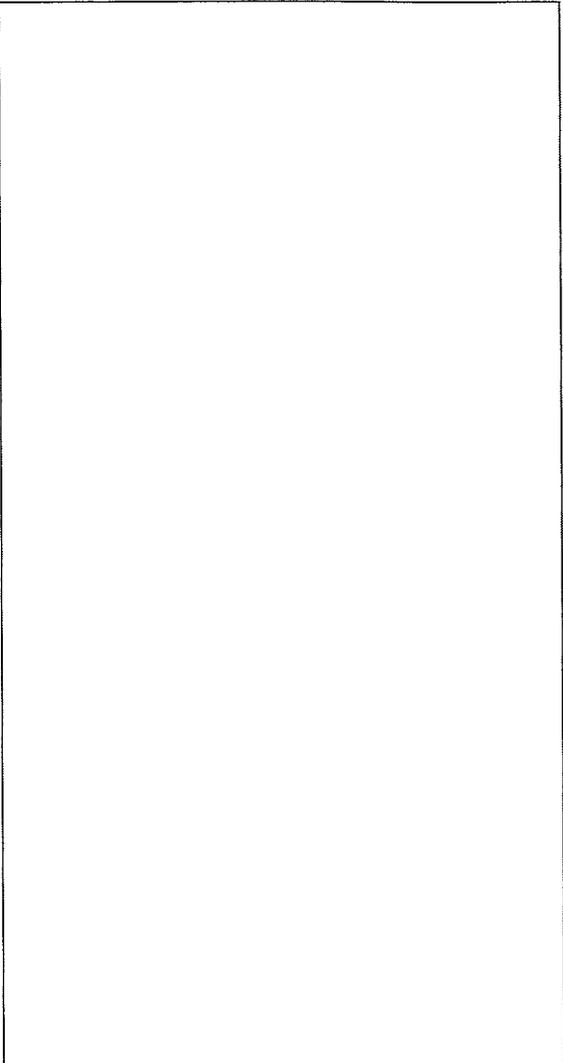
祺 \_\_\_\_\_  
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**Meetings for the processing of the application**

- 祺 Applicant or a representative must appear at the scheduled hearing. The Planning Commission may recommend to the Board of Supervisors: approval; approval subject to submittal or correction; or denial of the special use permit.
- 祺 Notification to the applicant regarding the Planning Commission's decision.
- 祺 Placed as a Public Hearing on the next available agenda of the Board of Supervisors.
- 祺 Staff Report and Planning Commission recommendation forwarded to the Board.
- 祺 Notification of the scheduled Public Hearing to the following:
  - \_\_\_ Applicant
  - \_\_\_ All adjacent property owners
  - \_\_\_ Local Newspaper advertisement
- 祺 Applicant or a representative must appear at the scheduling hearing. After considering all relevant information from the applicant and the public, the Board will deliberate on points addressed in the Staff Report.
- 祺 The Board may approve; deny; or defer the request pending further consideration; or remand the case back to the Planning Commission for further consideration.



**Actions**

- 祺 With approval, the development may proceed.
- 祺 If denied, an appeal to the Courts may be prescribed by law
- 祺 No similar request for a special use permit for the same use at the same site may be made within one year after the denial.
- 祺 The Special Use Permit Application fee is made payable to the **County of Fluvanna**.



TRANSCO PIPELINE  
345 Greenbrier Drive  
Charlottesville, VA 22901-1618  
434/973-4384  
434/964-2130 fax

October 26, 2011

Re: Tax Map Parcel(s) 26-A-22

To Whom It May Concern:

Transcontinental Gas Pipe Line Company, LLC ("Transco") authorizes Central Virginia Electric Cooperative to act as Applicant for the Application of Special Use Permit (SUP) for the installation of electric facilities on property owned by Transco and located in Fluvanna County, Virginia.

If you have any questions regarding this matter, please feel free to contact me at (434)964-2105.

Sincerely,

A handwritten signature in black ink, appearing to read "Bradley L. Lushbaugh". The signature is fluid and cursive, with a large, sweeping flourish at the end.

Bradley L. Lushbaugh  
Team Leader, Land

ACKNOWLEDGEMENT

The undersigned landowner(s) hereby acknowledge that Central Virginia Electric Cooperative is filing an application with Fluvanna County for a special use permit to construct an electric transmission line across their property. This acknowledgement does not obligate the landowner to grant an easement for such power line.

Witness the following signature(s):

Lloyd T. Oliver

Betty T. Oliver

COMMONWEALTH OF VIRGINIA  
COUNTY OF Fluvanna

This document was acknowledged before me by Lloyd T. Oliver  
& Betty T. Oliver this 26 day of October, 2011.

St C Olson  
NOTARY PUBLIC



ACKNOWLEDGEMENT

The undersigned landowner(s) hereby acknowledge that Central Virginia Electric Cooperative is filing an application with Fluvanna County for a special use permit to construct an electric transmission line across their property. This acknowledgement does not obligate the landowner to grant an easement for such power line.

Witness the following signature(s):

Thomas N. Isenhour  
Peggy Isenhour

COMMONWEALTH OF VIRGINIA  
COUNTY OF FLUVANNA

This document was acknowledged before me by Thomas N. Isenhour  
& Peggy Isenhour this 26 day of October, 2011.

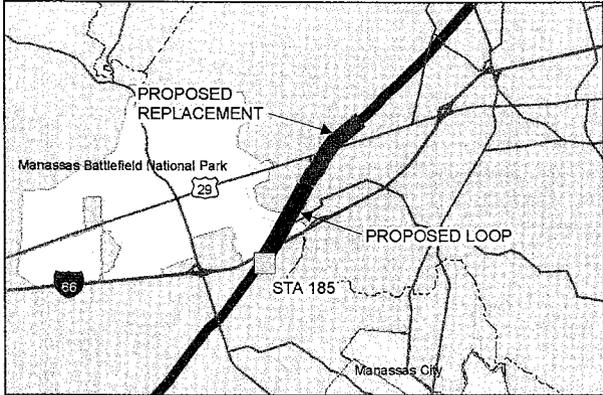
Steven C. Olson  
NOTARY PUBLIC



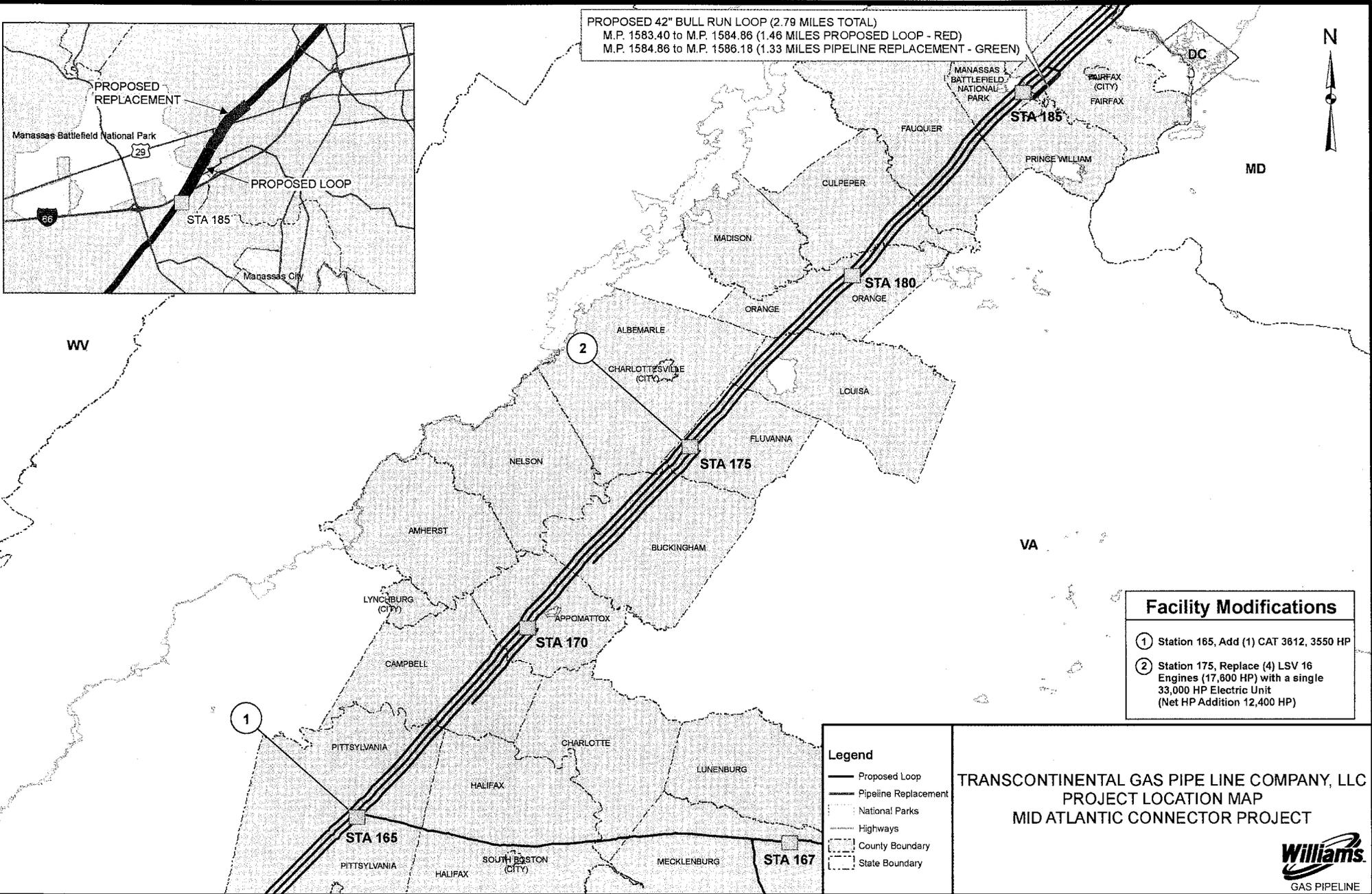
TRANSCO SUBSTATION PROJECT  
VICINITY MAP



Location: 1344 Transco Road  
Scottsville, VA



PROPOSED 42" BULL RUN LOOP (2.79 MILES TOTAL)  
 M.P. 1583.40 to M.P. 1584.86 (1.46 MILES PROPOSED LOOP - RED)  
 M.P. 1584.86 to M.P. 1586.18 (1.33 MILES PIPELINE REPLACEMENT - GREEN)



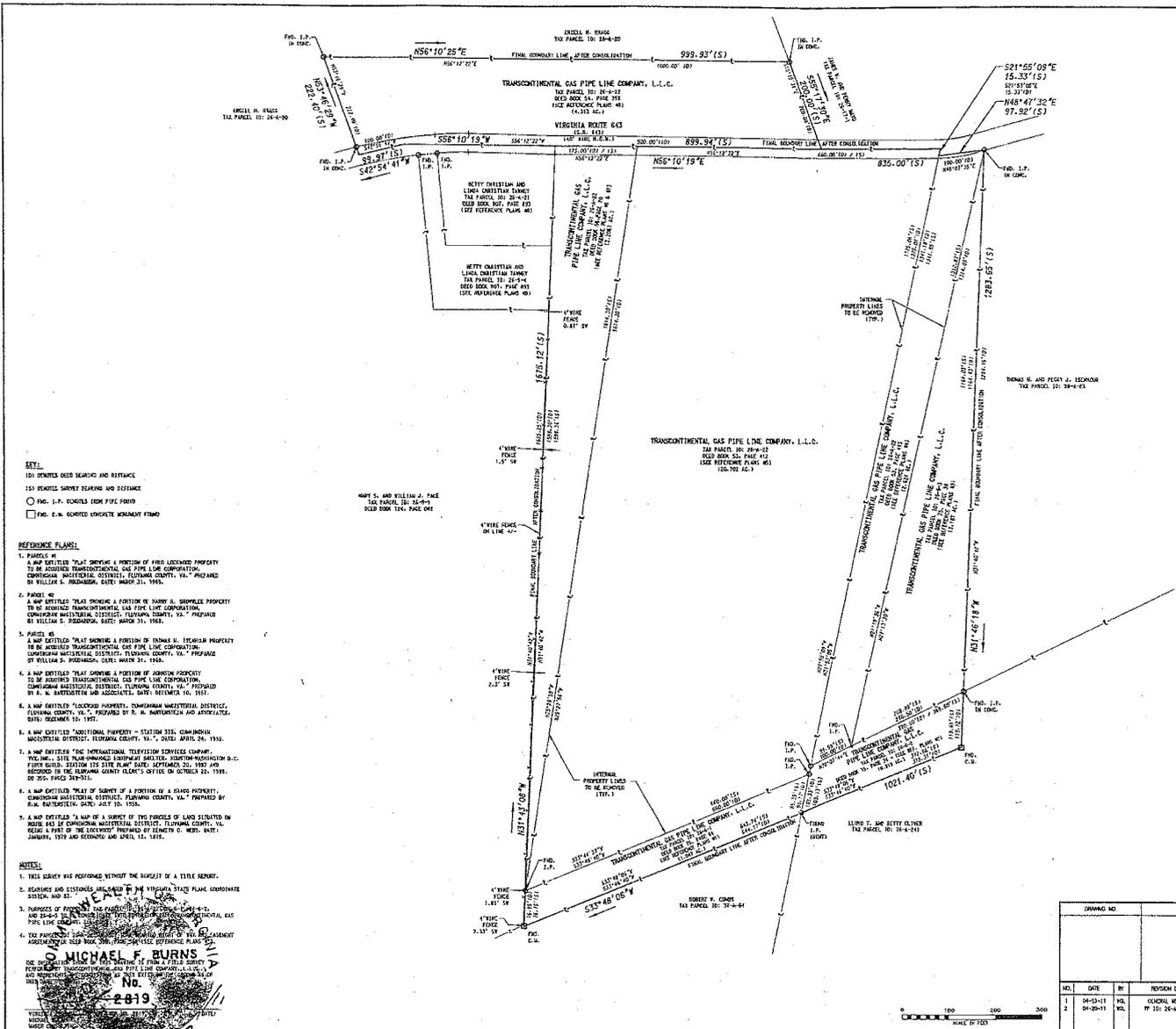
- Facility Modifications**
- ① Station 165, Add (1) CAT 3612, 3550 HP
  - ② Station 175, Replace (4) LSV 16 Engines (17,600 HP) with a single 33,000 HP Electric Unit (Net HP Addition 12,400 HP)

- Legend**
- Proposed Loop
  - Pipeline Replacement
  - National Parks
  - Highways
  - - - County Boundary
  - - - State Boundary

TRANSCONTINENTAL GAS PIPE LINE COMPANY, LLC  
 PROJECT LOCATION MAP  
 MID ATLANTIC CONNECTOR PROJECT



841 186



APPROVED BY FLUVANNA  
 COUNTY PLATS OFFICER

*Steven T. ...*  
 PLATS OFFICER

4/21/11  
 DATE OF APPROVAL

DRAWING NO.	REFERENCE TITLE	TRANSCONTINENTAL GAS PIPE LINE COMPANY, L.L.C. VACATION OF INTERNAL LOT LINE AND CONSOLIDATION PLAN FOR STATION 175 CUMMINHAM MAGISTERIAL DISTRICT FLUVANNA COUNTY, COMMONWEALTH OF VIRGINIA										
1	04-13-11	GENERAL NOTE REVISIONS										
2	04-20-11	IF ID: 24-A-21; 06 - 4 PC.										
NO.	DATE	BY	REVISION DESCRIPTION	NO.	NO.	OK	BY	DRWN BY	DATE	04/20/11	ISSUED FOR CONSTRUCTION	SCALE: 1" = 100'
CHECKED BY:	DATE:	DRAWING NUMBER:	DATE:	NO.	NO.	OK	BY	APPROVED BY:	DATE:	04/20/11	ISSUED FOR CONSTRUCTION	SHEET 1
NO.	DATE	BY	REVISION DESCRIPTION	NO.	NO.	OK	BY	APPROVED BY:	DATE:	04/20/11	ISSUED FOR CONSTRUCTION	SHEET 1

KEY:  
 100 POINTS BEARINGS AND DISTANCE  
 150 POINTS SHOWN BEARING AND DISTANCE  
 ○ P.O. I.P. DONUTS SHOW POINT  
 □ P.O. I.P. DONUTS SHOW POINT

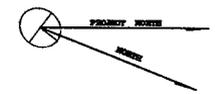
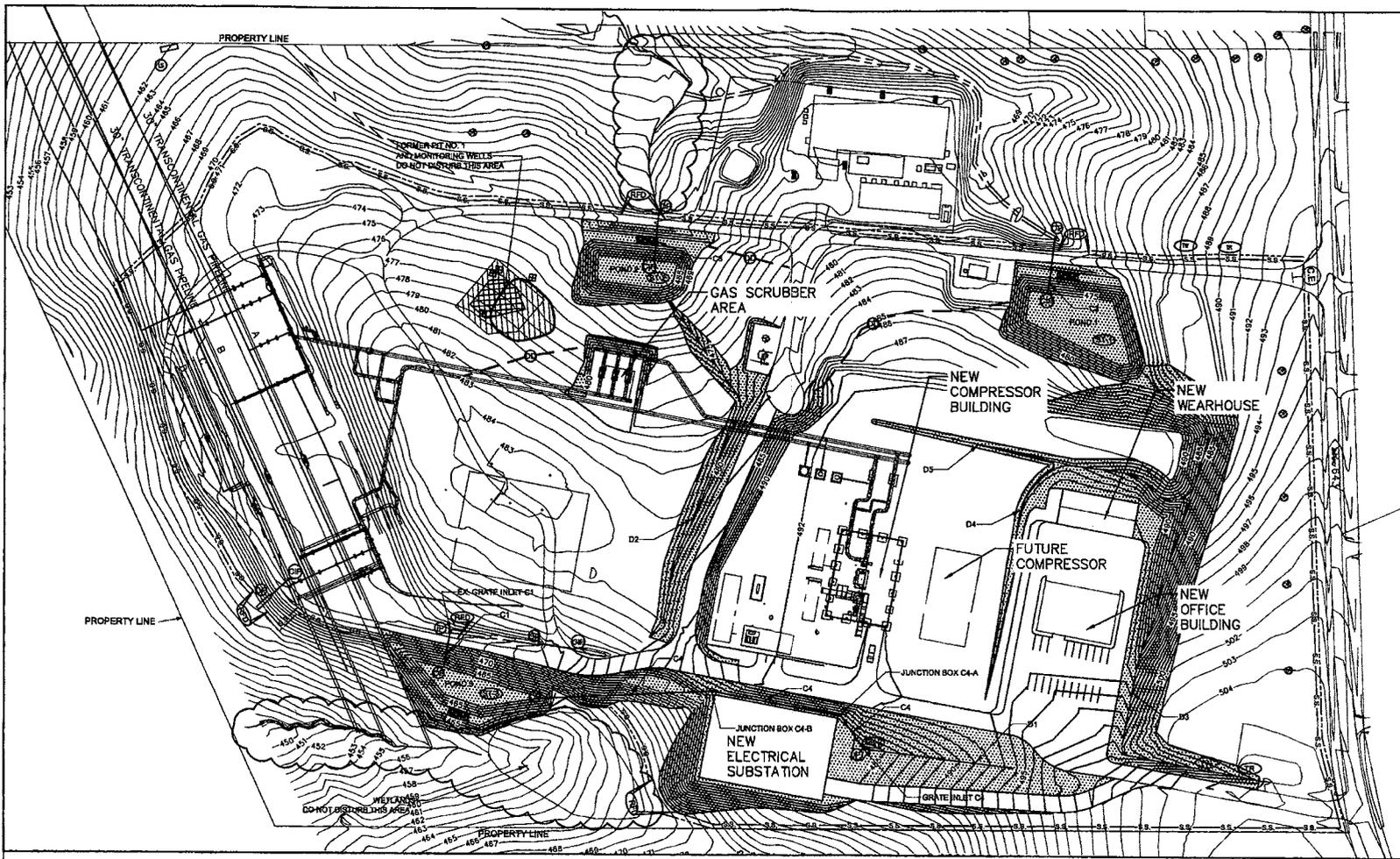
- REFERENCE PLANS:
- PARCEL #1
  - PARCEL #2
  - PARCEL #3
  - PARCEL #4
  - PARCEL #5
  - PARCEL #6
  - PARCEL #7
  - PARCEL #8
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  - PARCEL #98
  - PARCEL #99
  - PARCEL #100

NOTES:

- THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE EXAMINER.
- BEARINGS AND DISTANCES ARE BASED ON THE VIRGINIA STATE PLAT COORDINATE SYSTEM, NAD 83.
- SURVEYED BY: MICHAEL F. BURNS, LICENSED SURVEYOR, NO. 2819.
- FOR MORE INFORMATION, CONTACT MICHAEL F. BURNS, LICENSED SURVEYOR, NO. 2819.

MICHAEL F. BURNS  
 LICENSED SURVEYOR  
 No. 2819

Original plat filed with deeds dated 4-21-11 in clerk's Office.



SEDIMENTATION TRAP TABLE		
POND #	REQUIRED VOLUME	PROVIDED VOLUME
1	28,090 CF	59,677 CF
2	17,258 CF	32,234 CF
3	18,689 CF	23,988 CF

NOTE: SEDIMENT TRAP REQUIRED VOLUMES CALCULATED BASED ON 134 CY STORAGE DISTURBED PER ACRE DRAINED

- LEGEND**
- EXISTING CONTOURS
  - PROPOSED CONTOURS
  - SEDIMENT BARRIER
  - DISTURBED AREA LIMITS OF CLEARING AND GRADING
  - TEMPORARY DIVERSION DIKE
  - SOIL STABILIZATION BLANKET
  - 12" R/P RAMP
  - SWALE LINE
  - ROCK FILTER DAM
  - TEMPORARY STONE CONSTRUCTION ENTRANCE
  - SEDIMENTATION TRAP
  - EXISTING TREE
  - CRITICAL EROSION AREA
  - CONCRETE TRUCK WASHOUT
  - TRASH RECEPTACLE
  - CULVERT INLET PROTECTION
  - STORM DRAIN INLET PROTECTION
  - OUTLET PROTECTION
  - LEVEL SPREADER

**DITCH TABLE**

PROPOSED DITCH CAPACITY REQUIRED (CFS)	CAPACITY PROVIDED (CFS)
D1	81.15
D2	58.8
D3	8.72
D4	10.88
D5	8.32

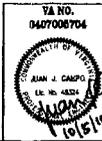
NOTE: CAPACITY IS BASED ON 10 YEAR STORM EVENT

**CULVERT TABLE**

PROPOSED CULVERT TYPE	SIZE	REQU. REQ. CAPACITY (CFS)	PROVIDED CAPACITY (CFS)
C1	RCP 32"	4.95	14.44
C2	RCP 24" (L2" PLATE)	11.26	16.03
C3	RCP 24" (L2" PLATE)	10.21	12.95
C4	RCP 18"	7	7

**SOIL EROSION AND SEDIMENT CONTROL SITE PLAN**

SCALE: 1" = 60'



DATE	BY	DESCRIPTION
08/10/11	JAC	ISSUE FOR PRELIM REVIEW
08/13/11	JAC	ISSUE FOR CLIENT REVIEW
08/27/11	JAC	ISSUE FOR CLIENT REVIEW
09/14/11	JAC	ISSUE FOR PERMIT
10/20/11	JAC	ISSUE FOR PERMIT
10/20/11	JAC	ISSUE FOR PERMIT

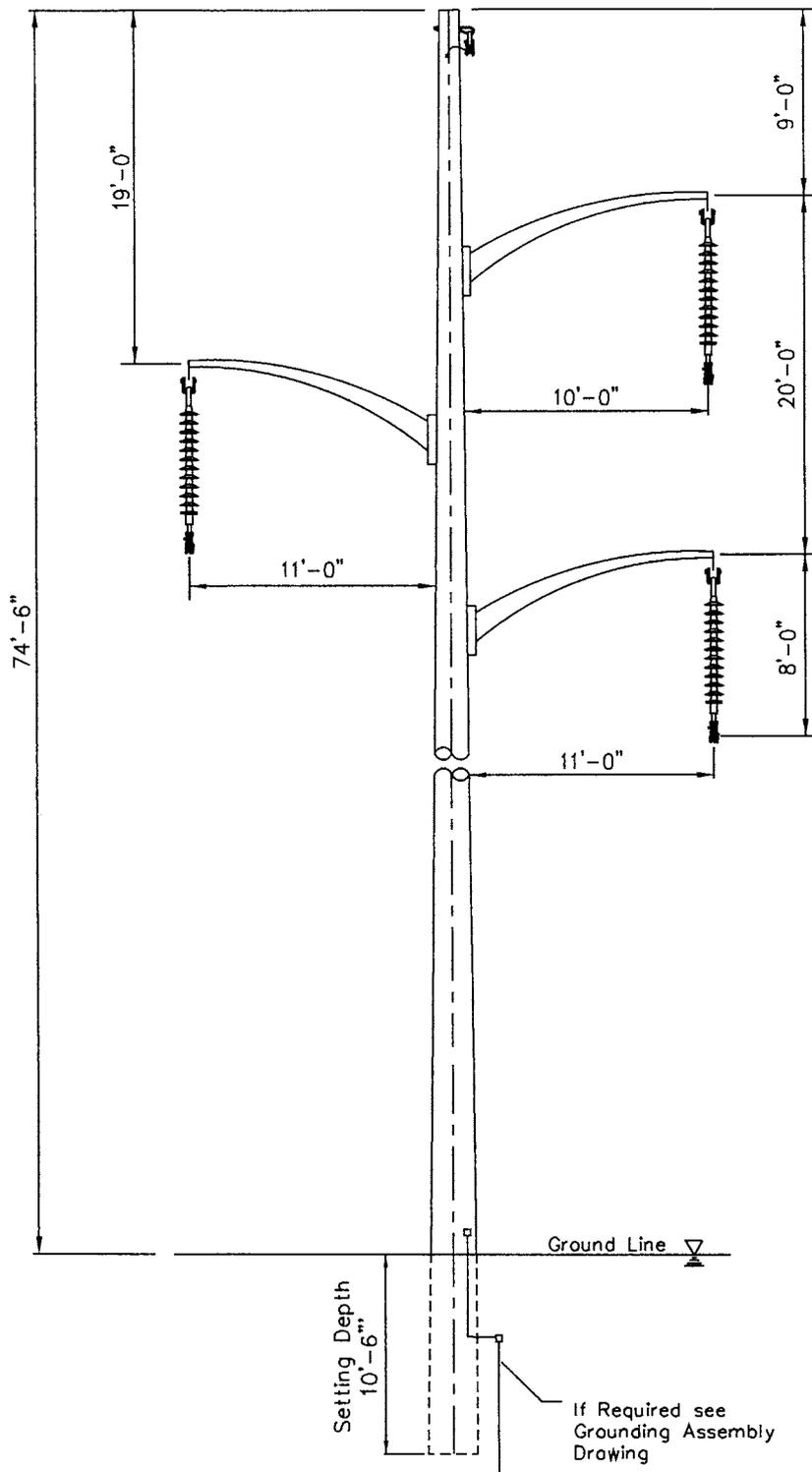
WILLIAMS PIPELINE COMPANY, LLC  
 COMPRESSOR STATION 175  
 MID-ATLANTIC PIPELINE EXPANSION  
 SOIL EROSION AND SEDIMENT CONTROL SITE PLAN  
 FLOWANNA COUNTY, VIRGINIA

DATE: 10/15/14  
 SCALE: 1" = 60'

DESIGNED BY: JAC  
 CHECKED BY: JAC  
 APPROVED BY: JAC  
 DATE: 10/15/14

ISSUED FOR PERMIT: 10/15/14  
 ISSUED FOR CONSTRUCTION: 10/15/14

PROJECT NO: (96-0178) F-1A-11  
 SHEET: 4 OF 9



<b>230 kV TRANSMISSION LINE STRUCTURE STEEL UPSWEPT ARMS</b>		
DATE: 10-20-11	Central Virginia Electric Cooperative 800 Cooperative Way Arrington, VA 22922	SPC-230U1
SCALE: NONE		





## CENTRAL VIRGINIA ELECTRIC COOPERATIVE

### Application for Special Use Permit

Project: Transco Substation and Transmission Line

#### List Of Surrounding Property Owners

NAME	MAILING ADDRESS	TAX MAP	DEED BOOK	ACREAGE	ZONING
James & Penny Mayo	1293 Transco Road Scottsville, VA 24590	26 17 1	Book 593 Page 63	2.0	A-1
Gary Vickers	3810 Whitetail Lane Keswick, VA 22947	26 17 2	Book 718 Page 181	2.166	A-1
Robert Hornberger	1387 Transco Road Scottsville, VA 24590	26 17 3	Book 640 Page 897	2.122	A-1
Billy Joe & Felipa Vernatter	1431 Transco Road Scottsville, VA 24590	26 17 4	Book 832 Page 910	2.0	A-1
Keith & Mitzs Powell	1424 Transco Road Scottsville, VA 24590	26 A 23A	Book 164 Page 226	1.1	A-1
Maude Bryan	14 Beagle Lane Scottsville, VA 24590	26 A 24A	WB 33-702	1.909	A-1
Richard & Ethel Minter	1484 Transco Road Scottsville, VA 24590	26 A 24C	Book 90 Page 74	1.5	A-1
Monty & April Brownlee	21 Suncrest Drive Scottsville, VA 24590	26 7 1	Book 273 Page 49	2.0	A-1
Kevin & Geneva Denby	3897 Rolling Road South Scottsville, VA 24590	27 9 1	Book 144 Page 373	10.094	A-1
Robert Coombs	4021 Travis Parkway Annandale, VA 22003	37 A 64	WB 32-543	20.0	A-1
William & Mary Pace	934 Transco Road Scottsville, VA 24590	26 5 1	Book 124 Page 48	36.96	A-1

Ercell Bragg	3901 Francistown Road Henrico, VA 23294	26 A 20	WB 50-838	146.48	A-1
Transcontinental Gas Pipe Line Company, LLC	P.O. Box 1396 Houston, TX 77251	26-A-22 *	Book 53 Page 412	20.702	
Thomas & Peggy Isenhour	1374 Transco Road Scottsville, VA 24590	26 A 23 **	Book 68 Page 558	14.1835	A-1
Lloyd & Betty Oliver	255 Suncrest Drive Scottsville, VA 24590	26 A 24F **	Book 166 Page 162	17.001	A-1
		26 7 3	Book 212 Page 149	4.608	A-1
		26 A 25	Book 155 Page 211	1.24	A-1
		26 A 24B	Book 158 Page 435	2.0	A-1
		26 A 24J	Book 213 Page 740	10.0	A-1
		26 A 24I	Book 223 Page 802	14.925	A-1

\* Substation will be located on this parcel.

\*\* Transmission line will cross these parcels.

0166  
0162

2  
x 210  
100  
-86

483

Orig. Deed returned to:  
4-10-86 (SP)

THIS DEED OF BARGAIN AND SALE, made and entered into this 27th day of March, 1986, by and between HARRY R. BROWNLEE, widower, party of the first part, and LLOYD OLIVER and BETTY OLIVER, husband and wife, parties of the second part, whose address is Route 2, Box 220, Scottsville, Virginia 24590

WITNESSETH:

That for and in consideration of the sum of Ten Dollars (\$10.00) cash in hand paid and other good and valuable consideration, the receipt of all of which is hereby acknowledged by the party of the first part, the said party of the first part does hereby grant, bargain, sell and convey with GENERAL WARRANTY and ENGLISH COVENANTS OF TITLE unto the said Lloyd Oliver and Betty Oliver, husband and wife, as tenants by the entireties with full right of survivorship as at Common Law and not as tenants in common, the following described lot or parcel of land, to-wit:

All that certain tract or parcel of land lying and being situate in the Cunningham Magisterial District of Fluvanna County, Virginia, containing 17.001 acres, by survey, with metes and bounds as shown on plat of survey made by Robert L. Lum, C.L.S., dated March 24, 1986, a copy of which is attached hereto and made a part hereof, together with a non-exclusive easement of right of way fifty (50) feet in width as shown on the attached plat of survey, for the purpose of ingress to and egress from the property conveyed herein to Virginia State Route No. 643; BEING a portion of the property conveyed to Harry R. Brownlee and Margaret M. Brownlee, husband and wife, as tenants by the entireties with full rights of survivorship as at Common Law, by deed of E. B. Malcolm and Josephine Malcolm, husband and wife, dated August 15, 1949, recorded in the Office of the Clerk of the Circuit Court of Fluvanna County, Virginia in Deed Book 40, page 222. Margaret M. Brownlee died on February 3, 1986, leaving Harry R. Brownlee as the sole owner of the property.

This conveyance is made expressly subject to the restrictions, conditions and easements of right-of-way for

TM#  
26 A 24F

utilities and access contained in the instructions constituting the chain of title to the property conveyed herein, to matters shown on the attached plat of survey and to matters visible upon inspection. This conveyance is further subject to any rights of other persons to use portions of the private road shown on the attached plat of survey.

Witness the following signatures and seals:

Harry R. Brownlee (SEAL)  
Harry R. Brownlee

STATE OF VIRGINIA,

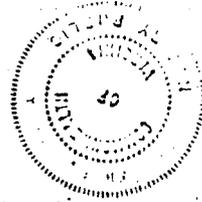
COUNTY OF FLUVANNA, to-wit:

The foregoing instrument was acknowledged before me this

2nd day of April, 1986, by Harry R. Brownlee.

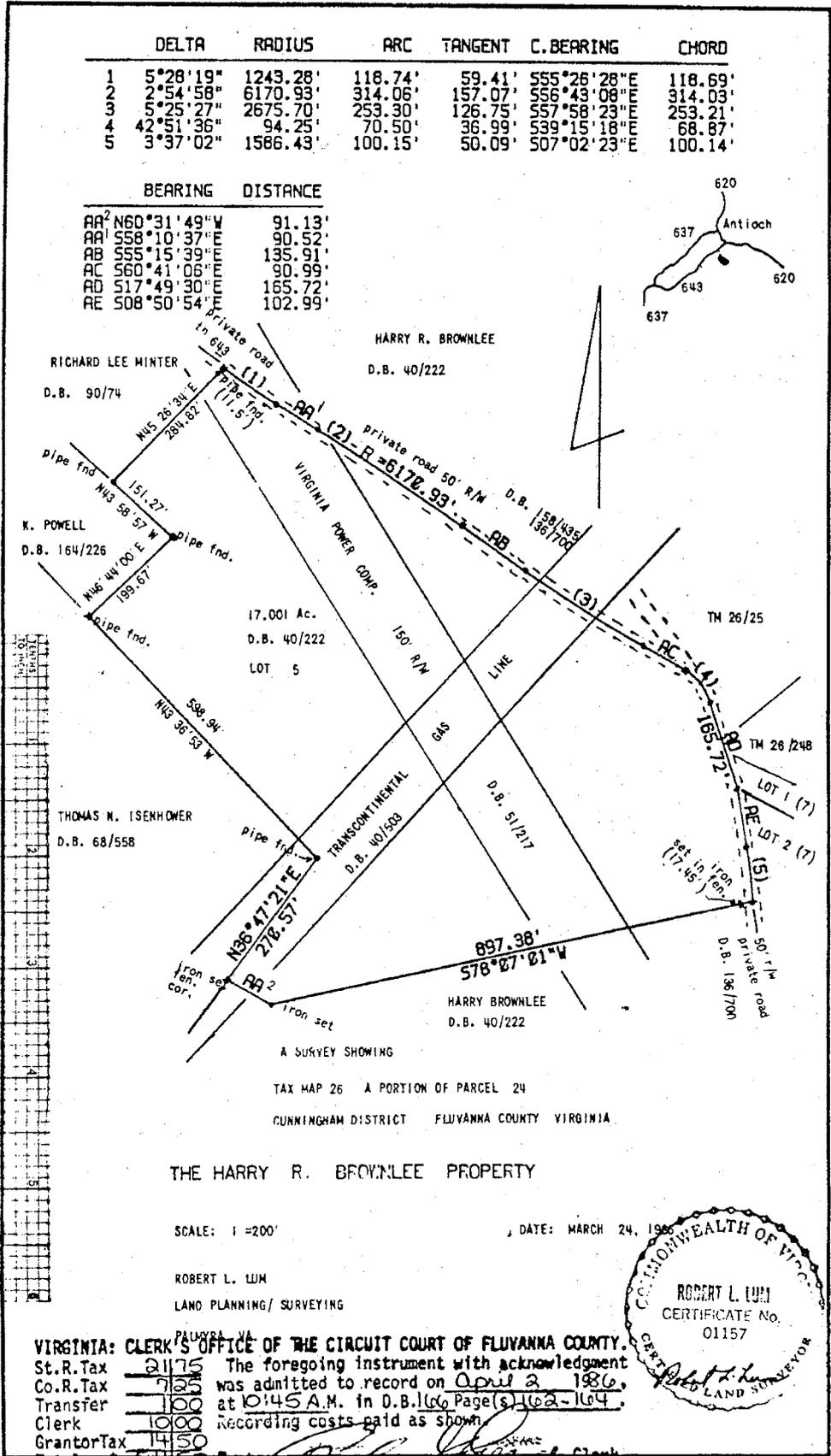
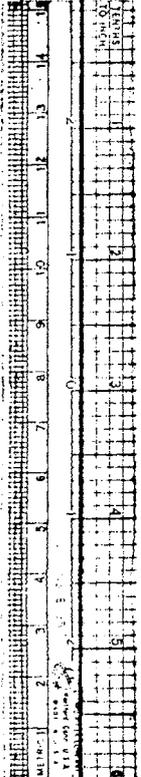
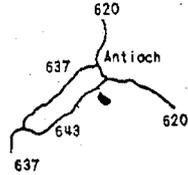
My commission expires: February 18, 1989

Deborah L. Redman  
Notary Public



	DELTA	RADIUS	ARC	TANGENT	C. BEARING	CHORD
1	5°28'19"	1243.28'	118.74'	59.41'	555°26'28"E	118.69'
2	2°54'58"	6170.93'	314.06'	157.07'	556°43'08"E	314.03'
3	5°25'27"	2675.70'	253.30'	126.75'	557°58'23"E	253.21'
4	42°51'36"	94.25'	70.50'	36.99'	539°15'18"E	68.87'
5	3°37'02"	1566.43'	100.15'	50.09'	507°02'23"E	100.14'

	BEARING	DISTANCE
AA <sup>2</sup>	N60°31'49"W	91.13'
AA <sup>1</sup>	S58°10'37"E	90.52'
AB	S55°15'39"E	135.91'
AC	S60°41'06"E	90.99'
AD	S17°49'30"E	165.72'
AE	S08°50'54"E	102.99'



THE HARRY R. BROWNLEE PROPERTY

SCALE: 1"=200'

DATE: MARCH 24, 1986

ROBERT L. LUM  
LAND PLANNING / SURVEYING

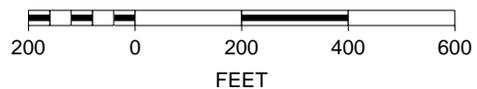


VIRGINIA: CLERK'S OFFICE OF THE CIRCUIT COURT OF FLUYANNA COUNTY.  
 St. R. Tax 2175 The foregoing instrument with acknowledgment  
 Co. R. Tax 725 was admitted to record on April 2, 1986,  
 Transfer 100 at 10:45 A.M. in D.B. 166 Page(s) 162-164.  
 Clerk 1000 Recording costs paid as shown.  
 Grantor Tax 1450  
 Total \$5450

# SUP 11:05 - Central Virginia Electric Cooperative major utility



SCALE 1 : 4,301





# Memorandum

DATE: January 4, 2012  
RE: APO'S for **SUP 11:05** Public Hearing Letters  
TO: Darren Coffey  
FROM: Lauren Ryalls

Please be advised the attached letter went out to the attached list of Adjacent Property Owners for the **January 18, 2012** Board of Supervisors meeting.



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## COUNTY OF FLUVANNA

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“Responsive & Responsible Government”

P.O. Box 540 Palmyra, VA 22963 (434) 591-1910 FAX (434) 591-1911 [www.co.fluvanna.va.us](http://www.co.fluvanna.va.us)

### NOTICE OF PUBLIC HEARING

January 4, 2012

«Title» «First\_Name» «Last\_Name»  
«Company\_Name»  
«Address\_Line\_1»  
«City», «State» «ZIP\_Code»  
TMP# «TMP»

#### Re: Public Hearing on SUP 11:05

Dear «Title» «Last\_Name»«Company\_Name»:

This letter is to notify you that the Fluvanna County Board of Supervisors will hold a public hearing on the above referenced item on **Wednesday, January 18, 2012** at **7:00 PM** in the Circuit Court Room at the Fluvanna County Courts Building in Palmyra, VA. The request is described as follows:

***SUP 11:05 – Central Virginia Electric Cooperative – A request for a special use permit to install electric facilities related to a major utility with respect to 62.8 acres of Tax Map 26, Section A, Parcels 22, 23, and 24F. The applicant is proposing to construct, operate, and maintain electric transmission and substation facilities to serve the Transcontinental Gas Pipe Line Company’s natural gas pump station. The property is currently zoned A-1 and I-1 and is located on Transco Road (Route 643), approximately ½ mile west of Rolling Road South (Route 620). The property is located in the Cunningham Election District and is within the Rural Preservation Planning Area.***

The applicant or applicant’s representative must be present at the Board of Supervisors meeting. The tentative agenda and staff report will also be available for review by the public in the Fluvanna County Planning and Community Development Department during working hours (8:00 a.m. – 5:00 p.m., Monday through Friday). If you have any questions, please feel free to contact me at 434-591-1910.

Sincerely,

Steve Tugwell  
Senior Planner

12 Parcels Selected

Wednesday November 2, 2011



Map	Parcel ID	Owner's Name
	<a href="#">26 5 1</a>	<a href="#">PACE, WILLIAM J., JR. &amp; MARY S.</a> <a href="#">934 TRANSCO RD</a> <a href="#">SCOTTSVILLE, VA 24590</a>
	<a href="#">26 5 4</a>	<a href="#">CHRISTIAN, BETTY S &amp; TAWNEY, LINDA</a> <a href="#">1150 TRANSCO RD</a> <a href="#">SCOTTSVILLE, VA 24590</a>
	<a href="#">26 6 1</a>	<a href="#">0</a>
	<a href="#">26 6 2</a>	<a href="#">0</a>
	<a href="#">26 6 3</a>	<a href="#">0</a>
	<a href="#">26 A 20</a>	<a href="#">BRAGG, ERCCELL H</a> <a href="#">3901 FRANCISTOWN RD</a> <a href="#">HENRICO VA 23294</a>
	<a href="#">26 A 21</a>	<a href="#">CHRISTIAN, BETTY S &amp; TAWNEY, LINDA</a> <a href="#">1150 TRANSCO RD</a> <a href="#">SCOTTSVILLE, VA 24590</a>
	<a href="#">26 A 22</a>	<a href="#">0</a>
	<a href="#">26 A 23</a>	<a href="#">ISENHOUR, THOMAS N. &amp; PEGGY J.</a> <a href="#">1374 TRANSCO RD</a> <a href="#">SCOTTSVILLE, VA 24590</a>
	<a href="#">26 17 1</a>	<a href="#">MAYO, JAMES W &amp; PENNY A</a> <a href="#">1293 TRANSCO RD</a> <a href="#">SCOTTSVILLE, VA 24590</a>
	<a href="#">26 17 2</a>	<a href="#">VICKERS, GARY L</a> <a href="#">3810 WHITETAIL LANE</a> <a href="#">KESWICK VA 22947</a>
	<a href="#">26 17 3</a>	<a href="#">HORNBERGER, ROBERT W</a> <a href="#">1387 TRANSCO RD</a> <a href="#">SCOTTSVILLE, VA 24590</a>

Click on the Globe in a row to show that parcel on the map page. Click on the Parcel ID number to show the detail information of that parcel. Click on an Owner's Name or Address to show a list of all properties of that owner.

[Close](#)

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11 Parcels Selected

Wednesday November 2, 2011



Map	Parcel ID	Owner's Name
	<a href="#">26 6 2</a>	<a href="#">0</a>
	<a href="#">26 6 3</a>	<a href="#">0</a>
	<a href="#">26 A 22</a>	<a href="#">0</a>
	<a href="#">26 A 23</a>	<a href="#">ISENHOUR, THOMAS N. &amp; PEGGY J. 1374 TRANSCO RD SCOTTSVILLE, VA 24590</a>
	<a href="#">26 A 23A</a>	<a href="#">POWELL, KEITH W. &amp; MITZS B. 1424 TRANSCO RD SCOTTSVILLE, VA 24590</a>
	<a href="#">26 A 24D</a>	<a href="#">POWELL, KEITH W. &amp; MITZS B. 1424 TRANSCO RD SCOTTSVILLE, VA 24590</a>
	<a href="#">26 A 24F</a>	<a href="#">OLIVER, LLOYD T. &amp; BETTY T. 255 SUNCREST DR SCOTTSVILLE, VA 24590</a>
	<a href="#">26 A 24I</a>	<a href="#">OLIVER, LLOYD T. &amp; BETTY T. 255 SUNCREST DR SCOTTSVILLE, VA 24590</a>
	<a href="#">26 17 2</a>	<a href="#">VICKERS, GARY L 3810 WHITETAIL LANE KESWICK VA 22947</a>
	<a href="#">26 17 3</a>	<a href="#">HORNBERGER, ROBERT W 1387 TRANSCO RD SCOTTSVILLE, VA 24590</a>
	<a href="#">26 17 4</a>	<a href="#">VERNATTER, BILLY JOE &amp; FELIPA &amp; 1431 TRANSCO RD SCOTTSVILLE VA 24590</a>

Click on the Globe in a row to show that parcel on the map page. Click on the Parcel ID number to show the detail information of that parcel. Click on an Owner's Name or Address to show a list of all properties of that owner.

**Close**

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**Print**

12 Parcels Selected

Wednesday November 2, 2011



Map	Parcel ID	Owner's Name
	<a href="#">26 7 1</a>	<a href="#">BROWNLEE, MONTY RAY &amp; APRIL D</a> <a href="#">21 SUNCREST DR</a> <a href="#">SCOTTSVILLE, VA 24590</a>
	<a href="#">26 7 3</a>	<a href="#">OLIVER, LLOYD T. &amp; BETTY T.</a> <a href="#">255 SUNCREST DR21</a> <a href="#">SCOTTSVILLE, VA 24590</a>
	<a href="#">26 A 23</a>	<a href="#">ISENHOUR, THOMAS N. &amp; PEGGY J.</a> <a href="#">1374 TRANSCO RD</a> <a href="#">SCOTTSVILLE, VA 24590</a>
	<a href="#">26 A 24A</a>	<a href="#">BRYAN, MAUDE E LE ET AL</a> <a href="#">14 BEAGLE LN</a> <a href="#">SCOTTSVILLE, VA 24590</a>
	<a href="#">26 A 24B</a>	<a href="#">OLIVER, LLOYD T. &amp; BETTY T.</a> <a href="#">255 SUNCREST DR</a> <a href="#">SCOTTSVILLE, VA 24590</a>
	<a href="#">26 A 24C</a>	<a href="#">MINTER, RICHARD LEE &amp; ETHEL L.</a> <a href="#">1484 TRANSCO RD</a> <a href="#">SCOTTSVILLE, VA 24590</a>
	<a href="#">26 A 24D</a>	<a href="#">POWELL, KEITH W. &amp; MITZS B.</a> <a href="#">1424 TRANSCO RD</a> <a href="#">SCOTTSVILLE, VA 24590</a>
	<a href="#">26 A 24F</a>	<a href="#">OLIVER, LLOYD T. &amp; BETTY T.</a> <a href="#">255 SUNCREST DR</a> <a href="#">SCOTTSVILLE, VA 24590</a>
	<a href="#">26 A 24I</a>	<a href="#">OLIVER, LLOYD T. &amp; BETTY T.</a> <a href="#">255 SUNCREST DR</a> <a href="#">SCOTTSVILLE, VA 24590</a>
	<a href="#">26 A 24J</a>	<a href="#">OLIVER, LLOYD T. &amp; BETTY T.</a> <a href="#">255 SUNCREST DR</a> <a href="#">SCOTTSVILLE, VA 24590</a>
	<a href="#">26 A 25</a>	<a href="#">OLIVER, LLOYD T. &amp; BETTY T.</a> <a href="#">255 SUNCREST DR</a> <a href="#">SCOTTSVILLE, VA 24590</a>
	<a href="#">27 9 1</a>	<a href="#">DENBY, KEVIN D. &amp; GENEVA S.</a> <a href="#">3897 ROLLING RD SOUTH</a> <a href="#">SCOTTSVILLE, VA 24590</a>

Click on the Globe in a row to show that parcel on the map page. Click on the Parcel ID number to show the detail information of that parcel. Click on an Owner's Name or Address to show a list of all properties of that owner.

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November 9, 2011 Neighborhood meeting for SUP 11:05 (CVEC, Tax Map 26-A-22, 23, 24F)

Four neighbors were in attendance in regard to this application, and their main concern appeared to be with the potential level of noise from the facility.

- How is gas being directed now? Applicant responded that the gas will be disconnected to the site during the construction phase.
  
- The facility is loud at times.
  
- When will construction begin? The applicant responded that they hoped to begin construction around January 2012.
  
- Where is the dominion substation?

**StevenTugwell**

---

**From:** Goodale, James E. <James.Goodale@VDOT.virginia.gov>  
**Sent:** Wednesday, November 16, 2011 6:54 AM  
**To:** StevenTugwell  
**Subject:** TRC meeting for November 11,2011

EST 11:02 Palmyra Associates, LLC – No comments.

SUP 11:05 Central Virginia Electric – No comments.

SUP11:06 Central States Tower, LLC – The contractor will be using the existing entrance therefore if any damage to the existing entrance the contractor will make repairs to that of the original including the drainage pipe if provided.

*James E. Goodale*

*Highway Permits & Subdivision*

*Zions Crossroads South*

*P.O. Box 1017*

*Troy, VA. 22974*

*(434) 589- 2358*

## StevenTugwell

---

**From:** Rice, Gary (VDH) <Gary.Rice@vdh.virginia.gov>  
**Sent:** Tuesday, December 20, 2011 8:56 AM  
**To:** StevenTugwell  
**Subject:** RE: Nov TRC comments

We had no comments.  
Gary

---

**From:** StevenTugwell [<mailto:stugwell@co.fluvanna.va.us>]  
**Sent:** Wednesday, December 14, 2011 4:06 PM  
**To:** Rice, Gary (VDH); [mkbrent7@gmail.com](mailto:mkbrent7@gmail.com); Roger Black  
**Subject:** Nov TRC comments

Did any of you have any comments for the Central Virginia Electric SUP application? It's out at the Transco facility where they want to build the electric substation.

Thanks!



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# COUNTY OF FLUVANNA

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*"Responsive & Responsible Government"*

P.O. Box 540 Palmyra, VA 22963 (434) 591-1910 FAX (434) 591-1911 [www.co.fluvanna.va.us](http://www.co.fluvanna.va.us)

## STAFF REPORT

**To:** Fluvanna County Board of Supervisors

**Case Number:** SUP 11:06

**Tax Map:** 52(1)7

**From:** Andrew Pompei

**District:** Fork Union

**Date:** January 18, 2012

*General Information:* This request is to be heard by the Board of Supervisors on Wednesday, January 18, 2011 at 7:00 pm in the Circuit Courtroom of the Courts Building.

*Applicant:* Central States Tower II, LLC

*Requested Action:* A request for a special use permit to amend SUP 07:15 to allow for an increase in height from 125 feet to 195 feet for a wireless communications tower with respect to 29.389 acres of Tax Map 52, Section 1, Parcel 7. (Attachment A)

*Existing Zoning:* A-1, Agricultural, General

*Planning Area:* Rural Residential

*Zoning Ordinance:* Section 22-27-1

*Location:* The affected property is located at 7021 James Madison Highway, on the west side of U.S. Route 15 (James Madison Highway) north of its intersection with State Route 6 (East River Road). (Attachment B)

*Existing Land Use:* Heavily Forested; Single-Family Dwelling on Subject Property

*Adjacent Land Use:* The surrounding area is largely low-density residential intermixed with limited commercial uses.

*Zoning History:* SUP 07:15 Special Use Permit for a 125' Telecommunications Tower (Approved February 2008)  
SDP 07:23 Site Plan for a 125' Telecommunications Tower (Sketch Plan Approved February 2008)

## Analysis

The applicant has requested to amend an existing special use permit (SUP 07:15) to allow the construction of a 195-foot monopole-type telecommunications tower on Tax Map 52, Section 1, Parcel 7; the existing special use permit allows a 125-foot tower to be constructed on the site, which was the maximum height permitted for telecommunications towers prior to adoption of the telecommunications facilities ordinance. The tower will be constructed within a 10,000 square foot (100' x 100') compound that will also house the necessary accessory structures.

When evaluating proposed uses for special use permits, staff utilizes two (2) general guidelines for evaluation as set forth in the zoning ordinance (Sec. 22-17-4D).

***First, the proposed use should not tend to change the character and established pattern of the area or community.***

The proposed tower is located near the crossroads at Dixie, where U.S. Route 15 (James Madison Highway) and State Route 6 (East River Road) meet. The surrounding area is largely low-density residential intermixed with limited commercial uses.

The proposed tower would be visible from both U.S. Route 15 and State Route 6 (Attachment C). When reviewing this request, the visual impacts to State Route 6, a designated Virginia Byway, should be considered. According to the Virginia Department of Transportation (VDOT), roads may be designated as Virginia Byways if they meet the following criteria:

- The route provides important scenic values and experiences;
- There is a diversity of experiences, as in transition from one landscape scene to another;
- The route links together or provides access to scenic, historic, recreational, cultural, natural and archeological elements;
- The route bypasses major roads or provides opportunities to leave high-speed routes for variety and leisure in motoring. Landscape control or management along the route is feasible;
- The route allows for additional features that will enhance the motorist's experience and improve safety; and
- The local government has initiated zoning or other land-use controls, so as to reasonably protect the aesthetic and cultural value of the highway.

The tower will be located in a heavily-wooded area; mature vegetation will provide significant screening from U.S. Route 15, State Route 6, and adjacent properties. Based on the balloon test, the tower will be intermittently visible to motorists using those highways, but it may not significantly detract from the area's rural character.

According to the *Wireless Telecommunications Facilities Master Plan*, there are no existing towers in the area (Attachment D). The closest existing tower is located at Fluvanna Middle School, about two miles to the north. The maps provided by the applicant show that the area

around the proposed tower has very limited cellular coverage (Attachment A: Exhibit 9). At best, most cellular users in the Dixie area are only able to receive on-street coverage.

The *Wireless Telecommunications Facilities Master Plan* does not designate this site as a proposed emergency service location (Attachment E); however, the Planning Commission recommended that the County retain the right of first refusal before any subsequent co-location requests are approved.

***Second, the proposed use should be compatible with the uses permitted by-right in that zoning district and shall not adversely affect the use/or value of neighboring property.***

The subject property and surrounding parcels are all zoned A-1 (Agricultural, General). The A-1 zoning district is intended to accommodate limited residential development, as well as small-scale commercial and industrial uses that are directly related to agriculture, forestry, and other traditionally rural uses. Non-concealed freestanding telecommunications structures require a special use permit within A-1 districts.

Dense vegetation surrounds the proposed location of the tower compound, effectively screening it from adjacent parcels. Per the sketch plan, evergreen trees (Virginia Pine) will be planted around the enclosure, providing additional screening. This screening will help mitigate any adverse impacts on neighboring properties. The applicant has submitted a waiver asking for an exception from the requirements set forth in Sec. 22-23-6 (P), which requires that submitted site plans show trees that are to be retained, removed, and planted. Staff does not believe this waiver should be granted, since the subject parcel is along the heavily-traveled Route 15 corridor; staff wants to ensure that the existing vegetation remains in place throughout the life of the project, even if ownership of the property changes.

The proposed tower will be far from any existing residences. According to documentation submitted by the applicant, the nearest dwelling is 505 feet away. The proposed tower is located 131 feet from the nearest property line. This distance will minimize any impacts the structure could have on area residents.

If this request were approved, the applicant will be required to submit a site development plan for review and approval (Attachment A: Exhibit 10).

### **Comprehensive Plan**

According to the Comprehensive Plan, the subject property is designated for rural residential uses. Rural residential areas are intended to retain their rural character, with limited residential development permitted in clusters that maximize the amount of open space preserved. Generally, residential densities may be up to one unit per two acres.

The Infrastructure chapter of the Comprehensive Plan includes several recommendations regarding the siting and design of telecommunications facilities (page 110):

- Minimize the impacts of wireless communications facilities on surrounding areas;

- Encourage the location and co-location of wireless communication equipment on existing structures;
- Accommodate the growing need and demand for wireless communication services;
- Encourage coordination between communication providers;
- Establish consistent and balanced legal language governing wireless communications facilities that take into consideration the Comprehensive Plan and communications master plan; and
- Maintain compliance with applicable laws, including but not limited to the 1996 Telecommunications Act.

The above recommendations are the primary reasons the county has procured a telecommunications consultant to assist with the review of these applications.

### **Neighborhood Meeting**

The neighborhood meeting was held on November 9, 2011. There were no attendees present in regard to this item.

### **Technical Review Committee**

The Technical Review Committee (TRC) meeting was held on November 10, 2011.

The Virginia Department of Transportation (VDOT) stated that the contractor must repair any damage to the existing site entrance on U.S. Route 15, including damage to the underlying drainage pipe.

The full list of TRC comments is attached to this staff report (Attachment F).

### **Planning Commission**

The Planning Commission considered this request at their regular meeting on December 28, 2011. No citizens spoke at the public hearing. The Planning Commission **recommended approval** with a vote of 4-0-1 (Halstead absent, Babbitt abstained) with an amendment to condition 11. To address the concerns of the Planning Commission, condition 11 was amended to give Fluvanna County first right of refusal to locate on the tower prior to the approval of any co-location by a private company.

### **Consultant's Recommendation**

CityScape Consultants, Inc. has reviewed this request and has found that the proposed increase in height effectively doubles the previous service area (Attachment G). A greater number of carriers would be able to locate on the tower, reducing the need for additional telecommunications facilities in the area.

In addition to the conditions approved as part of the original special use permit (SUP 07:15) Cityscape Consultants recommends approval of this application with the conditions listed below:

1. The Applicant secures all necessary permits required;
2. Prior to issuance of building permits the Applicant shall submit to the County satisfactory SHPO and NEPA documentation;
3. All feed lines shall be installed within the shell of the monopole and no lines will be exposed except at the antennas;
4. The support structure is to be sufficient to support antennas of a like design for five (5) additional wireless service providers, or a total of six (6) wireless service providers along with the County's first right of refusal for tower space of equal proportion to the size and weight as the wireless carriers;
5. The Applicant provide completed balloon tests;
6. The Applicant shall install landscaping and buffering as shown on our *figure 8* (Landscaping and Buffer Plan);
7. In Section 22-24 of the Fluvanna County ordinance there is a requirement the Applicant is required to produce a type of tree map. Within the narrative the Applicant states they have not fully complied. If the applicant wishes to not fulfill this requirement they should request a waiver; and
8. The facility when completed shall be accessible only to authorized personnel.

## Conclusion

This request appears to be in conformance with the intent of the Comprehensive Plan and the *Wireless Telecommunications Facilities Master Plan*. The proposed amendment to an existing special use permit will significantly improve cellular coverage along two of the County's major transportation corridors. The tower's location amongst existing vegetation helps reduce its visual impact on the surrounding area.

If approved, staff recommends that the following conditions be imposed (Seven of the conditions are from SUP 07:15 and seven conditions are additional provisions associated with the proposed SUP amendment):

1. The tower, including antennae, will not be higher than ~~425~~ 199 ft. and will not be lit;
2. The applicant must secure all required approvals from the building official and VDOT;
- ~~3. Fluvanna County shall have a right of first refusal to use space on the tower for emergency communications purposes with weight and space specifications equal to or less than those of the applicant's equipment as specified in this SUP application and its supporting documents so long as the tower exists and sufficient space and structural capacity remain on the tower without the addition of extensions or structural modifications. The right of first refusal must be exercised by the County by written notice within thirty (30) days following written notice from the applicant (or successor owner of the tower) of a potential third party's desire to co locate on the tower. If the County~~

~~exercises its right to co-locate on the tower within such thirty-day period, space on the tower, as defined above, shall be provided to the County on a rent-free basis for use by the County police, fire, rescue, and/or other emergency communication services. In addition, under the same terms, the applicant will make available to Fluvanna County space near the base of the tower, not to exceed ten feet by ten feet (10'x10') the applicant's lease area, on a rent-free basis, for an equipment shelter or outdoor cabinet(s) for transmitting and receiving equipment relating to the County's antennas on the tower. The County's rights of first refusal (for tower and ground space) as described in this paragraph shall be subject to the requirements the County shall complete and submit a written application to the tower owner providing complete information regarding the antennas and facilities it desires to locate on the tower and on the ground and that the tower owner and County shall enter into a written lease agreement for the County's use of such space prior to the County's actual use thereof or the commencement of any installation work by the County. If the County does not exercise its right to co-locate within thirty days of its receipt of written notice from the applicant of a third party's desire to co-locate on the tower, then the right of first refusal shall expire only as to the location(s) desired by said third party co-locator unless said location is the last available space for co-location on the tower, in which case the right of first refusal shall expire entirely in accordance with the following sentence. The County's right of first refusal as to the tower shall expire, and this condition to the Special Use Permit shall be null and void upon the earlier to occur of the tower's being removed or having no additional space for co-location or structural capacity. All notices required by this paragraph shall be in writing and shall be deemed to have been duly given if hand-delivered, or mailed first-class, postage prepaid, by certified mail, return receipt requested, or by overnight delivery with proof of delivery.~~

3. The tower shall be in the same location as shown in the application;
4. The Applicant shall secure all necessary permits required;
5. Prior to issuance of building permits the Applicant shall submit to the County satisfactory SHPO and NEPA documentation;
6. The Applicant shall submit a landscape plan as required by Article 24 (Tree Protection) of the Fluvanna County Zoning Ordinance;
7. The Applicant shall provide completed balloon tests;
8. The tower shall be a monopole and shall be engineered ~~to collapse within the leased area~~ with breakpoint technology;
9. All feed lines shall be installed within the shell of the monopole and no lines will be exposed except at the antennas;
10. If the structures should no longer be needed, the applicant shall remove them, and restore the grounds to the prior condition;
11. The tower shall be available for co-location by other telecommunication companies, **with Fluvanna County having the first right of refusal prior to the approval of each proposed co-location;**

12. The support structure is to be sufficient to support antennas of a like design for five (5) additional wireless service providers, or a total of six (6) wireless service providers;
13. The facility when completed shall be accessible only to authorized personnel; and
14. Violation of any condition of this permit shall be grounds for revocation of this permit.

Condition 11 has been modified to address the concerns of the Planning Commission.

### **Suggested Motion**

I move that the Board of Supervisors **approve/deny** SUP 11:06, a special use permit request to allow for a 195 foot monopole telecommunications tower pursuant to Fluvanna County Code Section 22-27-1 with respect to 29.389 acres of Tax Map 52, Section 1, Parcel 7 (if approved) subject to the conditions listed in the staff report.

### **Attachments**

- A: Application Package
- B: Aerial Vicinity Map
- C: Applicant's Balloon Test Photos
- D: Map of Existing Wireless Telecommunications Inventory
- E: Map of Public Safety Tower Sites
- F: Technical Review Committee (TRC) Comments
- G: Consultant's Report

#### Copy

Owner: Larry & Nan Cagle, 7021 James Madison Highway, Fork Union, VA 23055  
Applicant: Central States Tower, II LLC, 323 S. Hale Street, Ste. 100, Wheaton, IL 60187  
Representative: David Larsen, Talon Solutions & Services, 415 Munson Avenue, Ste. 102, Traverse City, MI 49686  
Consultant: CityScape Consultants, 10704 Elmbrook Court, Raleigh, NC 27614

Dated: October 28, 2011

Fluvanna County  
P.O. Box 540  
Palmyra, VA 22963  
(434) 591-1910  
Attn: Darren Coffey

RE: Central States Tower request to amend the approved SUP of a 125' tower located at 7021 James Madison Hwy, Fork Union, VA 23055

Mr. Coffey,

Central States Tower II, LLC (CST) of Wheaton, Illinois provides the infrastructure for wireless voice and data service carriers for residential, recreational, commercial and vehicular customers in the area. Central States Tower builds and operates communications towers serving the wireless industry throughout the nation.

***CST is requesting approval to amend the previously approved SUP for a 125' cell tower, to a 199' monopole cell tower facility, near Fork Union, VA.*** The proposed tower and height is needed in this area in order to bridge a large gap in AT&T's existing network between 2 sites about 6 miles Northeast and about 5 miles East of this location. Three proposed towers located approximately 3.75 miles NW, 4.75 miles W, and 4.5 miles SW will make up part of a larger network that will extend AT&T's coverage to other parts of the county.

The site is located at 7021 James Madison Hwy, owned by Larry and Nan Cagle. We have obtained a Lease Agreement to utilize a portion of the property for this project. The proposed location is zoned A-1, and the adjoining properties are also zoned A-1. The proposed tower is designed to collapse within 50% of its height (100'), thus meeting the setback of 110% to the nearest property line which is 131'. Building setbacks at this location are: Front – 200', side – 50' and rear – 75'. All buildings will be situated within the 100' x 100' compound area, thereby meeting the setback requirements.

The tower and equipment shelter at the site will be enclosed by a 100' x 100' x 6' chain-link fence with 3 strands of barbed wire on the top. There will be a locked gate at the fence so only authorized personnel will be able to access the tower and equipment shelter(s) that will be located within the fenced area. This proposed project will be serviced by existing power and telephone service and will not place any additional demand on the existing infrastructure, public services or facilities. Since the area affected is restricted to a 100'x100' compound area (.23 ac.) within a larger 29 acre parcel, there will be no adverse or significant impact to the natural environment or to the adjoining lands. The existing trees and foliage will be preserved to the greatest extent possible and provides natural screening for the tower and compound area from adjoining properties. Additional landscaping will be added as indicated on the Landscape Plan.

The attached Addendum and exhibits specifically address all of the requirements of the ordinance relating to telecommunication towers and facilities.

Enclosed for your review please find:

1. Four checks totaling \$4640.00, the application fee for the SUP amendment, Site Plan Amendment, CityScape fee and sign fee.
2. Applications
3. Applicant's Responses and/or Evidence of Compliance with the Fluvanna County Ordinance
4. Exhibits 1 - 10

Should you have any questions or require any additional information please contact me anytime.

Thank you,

David Larsen,  
Agent for Central States Tower  
231-313-0689 (C)  
231-933-6100 (O)  
[dlarsen@talonsolutions.net](mailto:dlarsen@talonsolutions.net)

October 26, 2011

Director of Planning  
P.O. Box 540  
Palmyra, VA 22963  
(434) 591-1910  
Attn: Darren Coffey

RE: Request for a waiver per Sec. 22-23-4

Mr. Coffey,

Central States Tower II, LLC (CST) would like to respectfully request a waiver from the requirement set forth in Sec. 22-23-6 (P) of the Fluvanna County Ordinance.

This section asks for "The location on the site of all living trees with a diameter of twelve (12) inches or greater at DBH (diameter at breast height) proposed to be removed. The site plan shall show heavily wooded areas to be preserved, trees to be retained, removed, and planted, and designated by symbols coincident with the areas of the trees. See Article 22-24 Landscaping and Tree Protection of this Ordinance."

The applicant believes that this requirement is unreasonable as it applies to this specific case because of the limited size and nature of the site. As shown on the site plans, only the trees and vegetation affecting the 100' x 100' compound area and landscaping area need to be removed. The surrounding area is heavily wooded and will remain unaffected, providing an additional layer of natural screening.

Should you have any questions or require any additional information please contact me anytime.

Thank you for your consideration,  
David Larsen,  
Agent for Central States Tower  
231-313-0689 (C)  
231-933-6100 (O)  
[dlarsen@talonsolutions.net](mailto:dlarsen@talonsolutions.net)



COMMONWEALTH OF VIRGINIA  
**COUNTY OF FLUVANNA**  
**Application for Special Use Permit (SUP)**

**Owner of Record:** Larry and Nan Cagle

**Applicant of Record:** David Larsen, for Central States Twr.

911 Address: 7021 James Madison Hwy., Fork Union, VA 23055

911 Address: 415 Munson Ave, Ste 102, Traverse City, MI 49686

Phone: 343-842-6352 Fax: \_\_\_\_\_

Phone: 231-933-6100 Fax: 231-933-6232

Email: h.n.cagle@embarqmail.com

Email: dlarsen@talonsolutions.net

**Representative:** Same as applicant

**Note: If applicant is anyone other than the owner of record, written authorization by the owner designating the applicant as the authorized agent for all matters concerning the request shall be filed with this application. (See Lease)**

911 Address: \_\_\_\_\_

Is property in Agricultural Forestal District?  No  Yes

Phone: \_\_\_\_\_ Fax: \_\_\_\_\_

If Yes, what district: Listed as A-1 Agricultural district

Email: \_\_\_\_\_

**Tax Map and Parcel(s):** 52-1-7

**Deed Book Reference:** 375/273

**Acreeage:** 29 **Zoning:** A-1

Deed Restrictions?  No  Yes (Attach copy)

Request for a SUP in order to: Amend existing SUP to 199' tower.

Proposed use of Property: Telecommunication facility

\*Two copies of a plan must be submitted, showing size and location of the lot, dimensions and location of the proposed building, structure or proposed use, and the dimensions and location of the existing structures on the lot.

By signing this application, the undersigned owner/applicant authorizes entry onto the property by County Employees, the Planning Commission, and the board of Supervisors during the normal discharge of their duties in regard to this request and acknowledges that county employees will make regular inspections of the site.

Date: Oct 25, 2011

Signature of Owner/Applicant: \_\_\_\_\_

*David Larsen, agent for CST tower*

Subscribed and sworn to before me this \_\_\_\_\_

28

day of \_\_\_\_\_

October

20

Register # \_\_\_\_\_

My commission expires: \_\_\_\_\_

4-30-2016

Notary Public: \_\_\_\_\_

*Joann Marie Wendels*

Certification: Date: \_\_\_\_\_

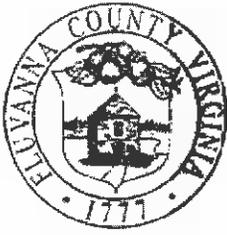
Zoning Administrator: \_\_\_\_\_

*Joann Marie Wendels*

Date Received:	PH Sign Deposit Received:	Application #: SUP _____ :
\$800.00 fee plus mailing costs paid:		Mailing Costs: \$20.00 Adjacent Property Owner(APO) after 1st 15, Certified Mail
Amendment of Condition: \$400.00 fee plus mailing costs paid:		
Telecommunications Tower \$1,500.00 fee plus mailing costs paid:		\$5,500 w/Consultant Review paid:
Election District:	Planning Area:	
Advertisement Dates:	Advertisement Dates:	
APO Notification:	APO Notification:	
Date of Hearing:	Date of Hearing:	
Decision:	Decision:	

Fluvanna County Department of Planning & Community Development \* Box 540 \* Palmyra, VA 22963 \* (434)591-1910 \* Fax (434)591-1911

This form is available on the Fluvanna County website: [www.fluvannacounty.org](http://www.fluvannacounty.org)



COMMONWEALTH OF VIRGINIA  
**COUNTY OF FLUVANNA**  
**Application for Special Use Permit (SUP)**

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**Acreage:** 29 **Zoning:** A-1

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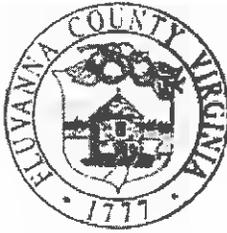
Date: Oct 25, 2011 Signature of Owner/Applicant: \_\_\_\_\_

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ Register # \_\_\_\_\_

My commission expires: \_\_\_\_\_ Notary Public: \_\_\_\_\_

Certification: Date: \_\_\_\_\_ Zoning Administrator: \_\_\_\_\_

OFFICE USE ONLY	
Date Received: _____	PH Sign Deposit Received: _____ Application #: <b>SUP</b> _____
\$800.00 fee plus mailing costs paid: _____	Mailing Costs: \$20.00 Adjacent Property Owner(APO) after 1st 15, Certified Mail
Amendment of Condition: \$400.00 fee plus mailing costs paid: _____	
Telecommunications Tower \$1,500.00 fee plus mailing costs paid: _____	\$5,500 w/Consultant Review paid: _____
Election District: _____	Planning Area: _____
Public Hearings	
Planning Commission	Board of Supervisors
Advertisement Dates: _____	Advertisement Dates: _____
APO Notification: _____	APO Notification: _____
Date of Hearing: _____	Date of Hearing: _____
Decision: _____	Decision: _____



COMMONWEALTH OF VIRGINIA  
**COUNTY OF FLUVANNA**  
**Public Hearing Sign Deposit**

Name: Larry and Nan Cagle (Owners) / David Larsen, on behalf of Central States Towers II

Address: 7021 James Madison Hwy.

City: Fork Union

State: VA Zip Code: 23055

I hereby certify that the sign issued to me is my responsibility while in my possession. Incidents which cause damage, theft, or destruction of these signs will cause a partial or full forfeiture of this deposit.

**David Larsen**

Digitally signed by David Larsen  
 DN: cn=David Larsen, o=Cellere, ou,  
 email=dlarsen@cellere.us, c=US  
 Date: 2011.10.25 10:44:53 -04'00'

Oct. 25, 2011

Applicant Signature

Date

\*Number of signs depends on number of roadways property adjoins.

OFFICE USE ONLY	
Application #: <b>BZA</b> _____ :	<b>SUP</b> _____ : <b>ZMP</b> _____ : <b>ZTA</b> _____ :
\$90 deposit paid per sign*:	Approximate date to be returned:

Describe briefly the **improvements** proposed. State whether new buildings are to be constructed, existing buildings are to be used, or additions made to existing buildings. Amendment of the existing SUP for the construction of a 199' monopole cellular tower and associated equipment shelter.

**NECESSITY OF USE:** Describe the reason for the requested change. The existing SUP is for a 125' tower which is not sufficient height to provide enough coverage in the gap between towers. The additional height and location is needed in order to establish and improve any existing cellular and data coverage, as well as for any future emergency services.

**PROTECTION OF ADJOINING PROPERTY:** Describe the effects of the proposed use on adjacent property and the surrounding neighborhood. What protection will be offered adjoining property owners? The proposed tower will be set back at least 110% of the tower's breakpoint design from adjoining properties. The tower and compound area is in wooded area providing natural screening and additional landscaping will be added around the perimeter of the fence.

**ENHANCEMENT OF COUNTY:** Why does the applicant believe that this requested change would be advantageous to the County of Fluvanna? (Please substantiate with facts.) Ordinance provides that tower space be available for 6 collocations as well as various emergency services, thereby reducing the number of future towers in the immediate area and improving E911 capabilities and emergency calls from cell users.

**PLAN:** Furnish plot plan showing boundaries and dimensions of property, width of abutting right-of-ways, location and size of buildings on the site, roadways, walks, off-street parking and loading space, landscaping, etc. Architect's sketches showing elevations of proposed buildings and complete plans are desirable and may be required with the application.

Remarks: See Construction Drawings included in application package.

Page 4 of 5  
COMMONWEALTH OF VIRGINIA  
**County of Fluvanna**  
**Special Use Permit Checklist**

The following information shall be submitted with the application and is to be provided by the applicant for the processing of the application:

- Completed Special Use Permit signed by the current owner(s) or lessee or written confirmation from the current owner or lessee granting the right to submit the application.
- Site Plan for any expansion or new construction (18 copies preferred). Include:
  - Plot plan or survey plat at an appropriate scale
- Location and dimension of existing conditions and proposed development
- Commercial and Industrial Development: parking, loading, signs, lighting, buffers and screening
- Copy of the Tax Map showing the site (preferred)
- Copy of General Location Map (preferred)
- Supporting photographs are not required, but suggested for evidence.

**STAFF USE ONLY**

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All maps and plans submitted are to be either 8.5"x 11" or 11"x 17". One original of any size may be provided to staff for use at the public hearing.

**Review of the Application**

- Preliminary review by planning staff for completeness and content.
- Copies of application: office, agencies and county attorney.
- Technical Review Committee review and comment
- Determine all adjacent property owners.
- Placed as a Public Hearing on the next available agenda of the Planning Commission.
- Notification of the scheduled Public Hearing to the following:
  - \_\_\_ Applicant
  - \_\_\_ All adjacent property owners
  - \_\_\_ Local Newspaper advertisement
- Staff Report to include, but not be limited to:
  - \_\_\_ General information regarding the application
  - \_\_\_ Any information concerning utilities or transportation
  - \_\_\_ Consistency with good planning practices
  - \_\_\_ Consistency with the comprehensive plan
  - \_\_\_ Consistency with adjacent land uses
  - \_\_\_ Any detriments to the health, safety and welfare of the community.

**STAFF USE ONLY**

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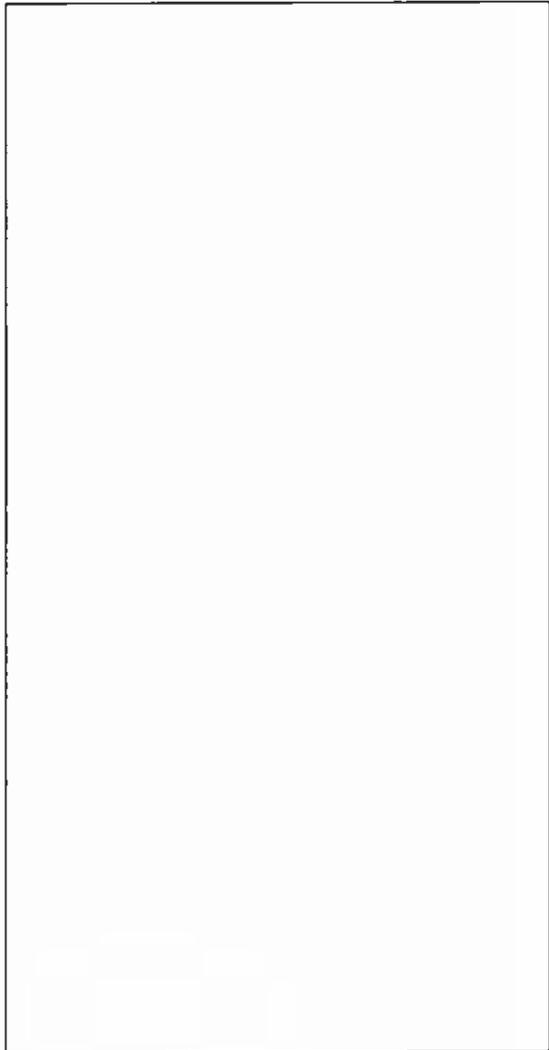
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**Meetings for the processing of the application**

- # Applicant or a representative must appear at the scheduled hearing. The Planning Commission may recommend to the Board of Supervisors: approval; approval subject to submittal or correction; or denial of the special use permit.
- # Notification to the applicant regarding the Planning Commission's decision.
- # Placed as a Public Hearing on the next available agenda of the Board of Supervisors.
- # Staff Report and Planning Commission recommendation forwarded to the Board.
- # Notification of the scheduled Public Hearing to the following:
  - \_\_\_ Applicant
  - \_\_\_ All adjacent property owners
  - \_\_\_ Local Newspaper advertisement
- # Applicant or a representative must appear at the scheduling hearing. After considering all relevant information from the applicant and the public, the Board will deliberate on points addressed in the Staff Report.
- # The Board may approve; deny; or defer the request pending further consideration; or remand the case back to the Planning Commission for further consideration.

**Actions**

- # With approval, the development may proceed.
- # If denied, an appeal to the Courts may be prescribed by law
- # No similar request for a special use permit for the same use at the same site may be made within one year after the denial.
- # The Special Use Permit Application fee is made payable to the **County of Fluvanna**.











**COMMONWEALTH OF VIRGINIA  
COUNTY OF FLUVANNA  
Site Development Application**

**Owner of Record:** Larry and Nan Cagle **Applicant of Record:** Central States Tower, II LLC  
 E911 Address: 7021 James Madison Hwy., Fork Union, VA E911 Address: 323 S. Hale St., Ste. 100, Wheaton, IL 60187  
 Phone: 434-842-6352 Fax: \_\_\_\_\_ Phone: 630-221-8500 Fax: 630-221-8516  
 Email: \_\_\_\_\_ Email: \_\_\_\_\_

**Representative:** David Larsen, Talon Solutions & Serv.  
 E911 Address: 415 Munson Ave., Ste. 102, Traverse City, MI  
 Phone: 231-933-6100 Fax: \_\_\_\_\_  
 Email: dlarsen@talonsolutions.net

**Note: If applicant is anyone other than the owner of record, written authorization by the owner designating the applicant as the authorized agent for all matters concerning the request shall be filed with this application.**

Is property in Agricultural Forestal District?  No  Yes  
 If Yes, what district: \_\_\_\_\_

**Tax Map and Parcel(s):** 52-1-7 **Deed Book Reference:** 375-273  
**Acreeage:** 29.389 **Zoning:** A-1 Deed Restrictions?  No  Yes (Attach copy)

Location: 7021 James Madison Hwy., Fork Union, VA

Description of Property: Lying in the Fork Union Mag. Dist., Fluvanna Co., containing 29.389 ac., on the SW side of and adjoining HWY 15 at Dixie, VA.

Proposed Structure: 199' communication facility.

Dimensions of Building: 12'x20'x10' Lighting Standards on Site:  No  Yes

# of Employees: 0 # of Parking Spaces: 1

Noise Limitations: \_\_\_\_\_

I declare that the statements made and information given on this application are true, full and correct to the best of my knowledge and belief. I agree to conform fully to all terms of any certificate or permit which may be issued on account of this application.

David Larsen, agent for CST 10/20/11 David Larsen \_\_\_\_\_  
 Applicant Name (Please Print) Applicant Signature and Date

**All plats must be folded prior to submission to the Planning Department. Rolled plats will not be accepted.**

OFFICE USE ONLY		
Date Received:	Pre-Application Meeting:	Fee Paid: Application #: <b>SDP</b> _____:
Election District:	Planning Area:	Number of Lots:
<b>Total Fees Due at Time of Submittal</b>		
Sketch Plan:	\$ 150.00 + Minor Plan: \$550.00 or Major Plan: \$1,100.00	
<b>Additional Fees Due at Time of Review</b>		
Health Department Subdivision Review:	\$250.00 + \$25.00 per lot	Existing System Review \$50.00
Street Sign Installation:	\$200.00 Per Intersection	
Amendment of Plan	\$150.00	
Outdoor Lighting Plan Review*	\$ 50.00	
Landscape Plan Review*	\$ 50.00	
Tree Protection Plan Review*	\$ 50.00	
* If not part of a Site Plan Review		

**APPLICANT'S RESPONSES and/or EVIDENCE OF COMPLIANCE FOR  
SPECIAL LAND USE REQUIREMENTS**

**Fluvanna County Zoning Ordinance**  
**Section 22-27- 7 Siting Hierarchy.**

Siting of a new antenna array or new TASF shall be in accordance with the preferred siting hierarchy in the order outlined below. All siting options are preferred to be located on publicly owned property, as identified in the County's Telecommunications Master Plan, as a first option. The location of antenna array or other facilities on non publicly-owned property is acceptable as a secondary option within each category.

- (1) Concealed attached antenna
- (2) Colocation; antenna modification; combined antenna(s) on existing TASF
- (3) Colocation or new TASF in utility right-of-way
- (4) Non-concealed attached antenna
- (5) Replacement of existing TASF
- (6) Mitigation of existing TASF
- (7) Concealed freestanding TASF
- (8) Non-concealed freestanding TASF
  - (a) Monopole
  - (b) Lattice
  - (c) Guyed

The order of ranking preference, highest to lowest, shall be from 1 to 8c. Where a lower ranked alternative is proposed, the applicant must file relevant information as indicated in the development standards in this Article including, but not limited to, an affidavit by a radio frequency engineer demonstrating that despite diligent efforts to adhere to the established hierarchy within the geographic search area, higher ranked options are not technically feasible, practical or justified given the location of the proposed TASF.

**Response and/or evidence of compliance: There are no existing towers or tall structures in the proposed area to require an affidavit from an RF engineer. A "concealed" tower of 199' would not be a practical application at this location. See Exhibit 6**

**Sec. 22-27-9.8. New telecommunication antenna support facility.**

All new TASFs shall meet the following requirements:

- (1) No new TASF shall be permitted unless the applicant demonstrates that no existing TASF can accommodate the applicant's proposed use; or that use of such existing TASF would prohibit personal wireless services in the geographic search area to be served by the proposed TASF.

**Response and/or evidence of compliance: Applicant has met this requirement. There are no existing TASF's within 5 miles of the proposed coverage area. See Exhibit 6, 9**

(2) Setbacks: New freestanding TASFs and equipment compounds shall be subject to the setbacks described below:

(a) If the TASF has been constructed using breakpoint design technology (see **Section 22-27-6. Definitions.**), the minimum setback distance shall be equal to 110 percent of the distance from the top of the facility to the breakpoint level of the facility, or the minimum side and rear yard requirements, whichever is greater. Certification by a registered professional engineer licensed by the State of Virginia of the breakpoint design and the design's fall radius must be provided together with the other information required herein from an applicant.

**Response and/or evidence of compliance: The applicant has met this requirement. The tower is designed to collapse within 50% of its height, which would require a setback of 110' from the property lines. The proposed tower is currently located 131' from the nearest property line, meeting the setback requirement. See Exhibit 2**

(b) Concealed TASFs in residential districts not constructed using breakpoint design technology; the minimum setback distance shall be equal to the height of the proposed TASF from all existing structures.

**Not applicable.**

(c) All other non-broadcast TASFs not constructed using breakpoint design technology; the minimum setback distance shall be equal to the height of the proposed TASF from all property lines.

**Not applicable.**

(3) Equipment Compound: The fenced-in compounds shall not be used for the storage of any excess equipment or hazardous materials. No outdoor storage yards shall be allowed in a TASF equipment compound, and the compound shall not be used as habitable space.

**Response and/or evidence of compliance: Applicant has met this requirement. The compound will not be used to store equipment or hazardous materials, or used as a habitable space.**

(4) Equipment cabinets: Cabinets shall not be visible from pedestrian views. Cabinets may be provided within the principal building, behind a screen on a rooftop, or on the ground within the fenced-in and screened equipment compound.

**Response and/or evidence of compliance: Applicant has met this requirement. The equipment shelters and cabinets will be contained within the fenced-in and screened compound and not be visible from pedestrian views. See Exhibit 5, 8, 10**

(5) Fencing: All equipment compounds shall be enclosed with an opaque fence. Alternative equivalent screening may be approved through the site plan approval process described in "Buffers" below.

**Response and/or evidence of compliance: Applicant has met this requirement. The equipment compound is screened by mature tree growth and not visible from the road or by neighboring properties, and additional landscaping will be added**

around the perimeter of the fence. The standard chain link fence is requested as an alternative. See Exhibit 5, 8, 10

(6) Buffers shall be provided as described in Article 24 of this ordinance.

**Response and/or evidence of compliance: A landscape plan is incorporated within the construction drawings. See Exhibit 10**

(7) Signage: Commercial messages shall not be displayed on any antenna support facility. Noncommercial signage shall be subject to the following:

(a) The only signage that is permitted upon a TASF, equipment cabinets, or fence shall be informational, and for the purpose of identifying the TASF (by the FCC ASR registration number), as well as the party responsible for the operation and maintenance of the facility; i.e. the address and telephone number, security or safety signs, and property manager signs (if applicable).

(b) Identification signage shall be provided at all TASFs.

(c) If more than two hundred twenty (220) volts are necessary for the operation of the facility and is utilized within the equipment compound or on the TASF, signs located every twenty (20) feet and attached to the fence or wall shall display in large, bold, high contrast letters (minimum height of each letter four (4) inches) the following: "HIGH VOLTAGE - DANGER."

**Response and/or evidence of compliance: Applicant will meet this requirement. Only the required informational and warning signs will be posted at the compound area.**

(8) Lighting: Lighting on TASF shall not exceed the Federal Aviation Administration (FAA) minimum standards. Any lighting required by the FAA must be of the minimum intensity and number of flashes per minute (i.e., the longest duration between flashes) allowable by the FAA. Dual lighting standards are required and strobe light standards are prohibited unless required by the FAA. The lights shall be oriented so as not to project directly onto surrounding property, consistent with FAA requirements.

**Response and/or evidence of compliance: Applicant has met this requirement. The FAA has issued a Determination of No Hazard to Air Navigation, and no lights will be necessary for the proposed tower. See Exhibit 3**

(9) Balloon Test:

(a) The applicant shall arrange to raise a balloon of a color or material that provides maximum visibility and no less than three feet in diameter, at the maximum height of the proposed facility and within 50 horizontal feet of the center of the proposed TASF.

(b) The applicant shall inform in writing the zoning administrator, abutting property owners, elected Board of Supervisor, and appointed Planning Commissioners of the district of the date and times of the test at least 14 days in advance.

(c) The applicant shall request in writing permission from the abutting property owners to access their property during the balloon test to take pictures of the balloon and to evaluate the visual impact of the proposed tower on their property.

(d) The date, time and location of the balloon test shall be advertised in a locally distributed paper by the applicant at least seven but no more than 14 days in advance of the test date. The advertisement shall also include an alternate inclement weather date for the balloon test.

(e) Signage similar to rezoning signage shall be posted on the property to identify the location on the property where the balloon is to be launched. This signage shall be posted by the applicant a minimum of seventy-two hours prior to the balloon test. If unsuitable weather conditions prevail on the date of the balloon test then cancellation of the test shall be clearly noted on the signage.

(f) The balloon shall be flown for at least four consecutive hours during daylight hours on the date chosen.

(g) The applicant shall record the weather during the balloon test. If the wind during the balloon test is above 20 miles per hour then the balloon test shall be postponed and moved to the alternate inclement weather date provided in the advertisement.

**Response and/or evidence of compliance: Applicant will meet this requirement. A balloon test was pending at the time of application submittal. Balloon test photos will be provided at the meetings. See Exhibit 8**

(10) All TASFs up to 120 feet in height shall be engineered and constructed to accommodate no less than three (3) antenna arrays. All TASFs between 121 feet and 150 feet in height shall be engineered and constructed to accommodate no less than five (5) antenna arrays. All TASFs taller than 151 feet in height shall be engineered and constructed to accommodate no fewer than six (6) antenna arrays.

**Response and/or evidence of compliance: Applicant has met this requirement. The proposed tower will be designed to accommodate at least 6 antenna arrays. See Exhibit 2**

(11) Grading shall be minimized and limited only to the area necessary for the new TASF and equipment compound, along with any necessary access easements or rights-of-way.

**Response and/or evidence of compliance: Applicant will meet this requirement. See Exhibit 10**

(12) Parking. One parking space is required for each TASF development area. The space shall be provided within the leased area, or equipment compound or the development area as defined on the site plan.

**Response and/or evidence of compliance: Applicant has met this requirement. The parking space is located within the access/easement area. See Exhibit 10**

(13) Emergency Generators shall be allowed at each TASF site.

(14) Sounds. No unusual sound emissions such as alarms, bells, buzzers, or the like are permitted. The sound level for emergency generators shall not exceed 70 db at the property limits and testing shall only be between 9 AM to 4 PM Monday through Friday.  
**Statement not requiring a response.**

**Sec. 22-27-9.8.B. Additional development standards for non-concealed telecommunications antenna support facility.**

(1) Height.

It is intended that all new non-broadcasting TASFs, other than amateur radio towers, be 199' or less in height. However, should there be a demonstrated need for a TASF in excess of 199', under no circumstance shall any non-broadcast or non-emergency service facility exceed 250' feet in height. All new non-broadcast facilities shall be subject to the following additional requirements:

(a) Propagation maps and corresponding data including but not limited to topographic and demographic variables for the intended service area shall be provided for review illustrating with detail that the service area and intercoupling hand-off will be sufficiently compromised to require an additional TASF for network deployment, which would not otherwise be required.

(b) The TASF shall be designed to allow for a future reduction of elevation to no more than 199', or the replacement of the TASF with a monopole type facility at such time as the wireless network has developed to the point that such a reduction in height can be justified.

**Response and/or evidence of compliance: Applicant has met this requirement. The proposed tower will be 195' with a 4' lightning rod (199' overall height). See Exhibit 2, 10**

(2) In the Agricultural, General, A-1 district, new non-broadcast facilities shall be setback a minimum 500' from any single-family dwelling unit, either on the same zone lot or from all adjacent lots of record.

**Response and/or evidence of compliance: Applicant has met this requirement. The proposed tower is set back more than 500' from any single family homes. See Exhibit 5**

(3) Freestanding non-concealed antenna support facilities shall be limited to monopole type antenna support facilities, unless the applicant demonstrates that such design is not feasible to accommodate the intended uses.

**Response and/or evidence of compliance: Applicant has met this requirement. The proposed tower is a monopole design. See Exhibit 2, 10**

**Sec. 22-27-10. Submittal requirements for all TASFs.**

- (1) Completion of the "Telecommunications Facility Application";
- (2) Application fee;

(3) Two sets of site plans (drawn to scale) addressing all development standards specific to the proposed installation.

(4) Compliance with siting hierarchy (**Sec.22-27-7**): A report and supporting technical data demonstrating that all antenna attachments and colocations including all potentially useable utility distribution antenna support facilities and other elevated facilities within the proposed service area, and alternative antenna configurations have been examined, and found unacceptable. The report shall include reasons existing facilities such as utility distribution and other elevated facilities are not acceptable alternatives to a new freestanding antenna support facility. The report regarding the adequacy of alternative existing facilities or the mitigation of existing facilities to meet the applicant's need or the needs of service providers indicating that no existing TASF could accommodate the applicant's proposed facility shall consist of any of the following:

(a) No existing TASF located within the geographic area meet the applicant's engineering requirements, and why; and

(b) Existing TASFs are not of sufficient height to meet the applicant's engineering requirements, and cannot be increased in height; and

(c) Existing TASFs do not have sufficient structural integrity to support the applicant's proposed telecommunications facilities and related equipment, and the existing facility cannot be sufficiently improved; and

(d) Other limiting factors that render existing TASFs unsuitable.

**Response and evidence of compliance: This site location has already obtained an approved SUP. The applicant is amending the existing SUP for additional height in order to obtain adequate coverage, as well as to provide adequate height for additional colocations.**

**Sec. 22-27-10.3. Additional submittal requirements for all freestanding telecommunication and broadcast antenna support facilities.**

(1) One original and two (2) copies of a survey of the property completed by a registered professional engineer, licensed in the State of Virginia showing all existing uses, facilities, and improvements.

**See Exhibit 10**

(2) Site development plan regulations as set forth in Article 23 of this ordinance.

**(See Sec. 23 below) See Exhibit 10**

(3) Proof that a property and/or antenna support facility owner's agent has appropriate authorization to act upon the owner's behalf (if applicable). A signed statement from a qualified person, together with their qualifications, shall be included that warrants radio frequency emissions from the antenna array(s) comply with FCC standards regarding interference to other radio services. The statement shall also certify that both individually and cumulatively, and with any other facilities located on or immediately adjacent to the proposed facility, the replacement antenna complies with FCC standards regarding human exposure to RF energy.

**Response and/or evidence of compliance: Applicant has met this requirement. See Exhibit 2**

(4) A stamped or sealed structural analysis of the proposed antenna support facility prepared by a registered professional engineer licensed by the State of Virginia indicating the proposed and future loading capacity of the antenna support facility is compliant with EIA/TIA-222-G (as amended).

**Response and/or evidence of compliance: Applicant has met this requirement. See Exhibit 2**

(5) A written statement by a registered professional engineer licensed by the State of Virginia specifying the design structural failure modes of the proposed facility, if applicable.

**Response and/or evidence of compliance: Applicant has met this requirement. See Exhibit 2**

(6) A pre-application conference will be required for any new broadcast facility.

**Response and/or evidence of compliance: Applicant has met this requirement. The applicant is requesting to amend the existing SUP to allow for additional height, and met with County officials October 11th to discuss the application.**

(7) Title report or American Land Title Association (A.L.T.A.) survey showing all easements on the subject property, together with a full legal description of the property.

**Response and evidence of compliance: Applicant has met this requirement. See Exhibit 1**

(8) Prior to issuance of a building permit, proof of FAA compliance with Subpart C of the Federal Aviation Regulations, Part 77, and "Objects Affecting Navigable Airspace," if applicable.

**Response and evidence of compliance: Applicant has met this requirement. See Exhibit 3**

#### **Sec. 22-27-10.3.A. Additional submittal requirements for non-broadcast TASFs.**

(1) Technical data included in the report shall include certification by a registered professional engineer licensed in the State of Virginia or other qualified professional, which qualifications shall be included, regarding service gaps or service expansions that are addressed by the proposed TASF, and accompanying maps and calculations demonstrating the need for the proposed TASF.

**Response and evidence of compliance: Applicant has met this requirement. See Exhibit 6, 9**

(2) A map showing the geographic search ring.

**Response and evidence of compliance: Applicant has met this requirement. A search ring has been included as an exhibit, although this site location has already been approved for a tower. Applicant is amending the existing SUP to allow for additional height. See exhibit 6.**

(3) The applicant shall provide a statement as to the potential visual and aesthetic impacts of the proposed TASF and equipment on all adjacent residential zoning districts.

**Response and evidence of compliance: Applicant has met this requirement. The subject parcel and surrounding area is zoned A-1. There are no nearby residentially zoned districts that would be impacted by the proposed TASF. See Exhibit 4**

(4) Materials detailing the locations of existing TASFs to which the proposed TASF will be a handoff candidate; including latitude, longitude, and power levels of the proposed and existing antenna is required.

**Response and evidence of compliance: Applicant has met this requirement. The proposed site will help to fill a large gap in existing service between one site about 6 miles Northeast and one site about 5 miles east of this location. Three other sites located approximately 3.75 miles NW, 4.75 miles W, and 4.5 miles SW will be part of a proposed network to establish and extend coverage to other parts of the county. See Exhibit 9**

(5) A radio frequency propagation plot indicating the coverage of existing TASFs, coverage prediction, and design radius, together with a certification from the applicant's radio frequency (RF) engineer that the proposed facility's coverage or capacity potential cannot be achieved by any higher ranked alternative such as a concealed facility, attached facility, replacement facility, colocation, or new TASF. NOTE: These documents are required to justify a facility and to determine if the proposed location is the only or best one in the designated geographic area of the proposed facility.

**Response and evidence of compliance: Applicant has met this requirement. This facility location has already been approved. Applicant is amending the existing SUP to allow for additional tower height. There are no existing TASF's within the desired coverage area to evaluate and supply the required information. See Exhibit 6, 9**

(6) A stamped or sealed certification from a registered radio frequency engineer demonstrating compliance with **Section 22-27-7** (Siting alternatives hierarchy). If a lower ranking alternative is proposed the certification must address why higher ranked options are not technically feasible, practical or justified given the location of the proposed telecommunications facility.

**Response and evidence of compliance: Applicant has met this requirement. There are no existing TASF's within the desired coverage area to evaluate and supply the required information. The nearest existing TASF is located approximately 5 miles East of the proposed site. This application is to amend an existing SUP for additional height that has already been approved at this location. See Exhibit 6, 9**

#### **Sec. 22-23-6. Site plan content.**

The site plan, or any portion thereof, involving engineering, urban planning, landscape architecture, architecture, or land surveying, shall be prepared by a qualified person.

Final site plans submitted for approval shall be certified by an architect, landscape architect, engineer, or land surveyor licensed or certified to practice by the Commonwealth of Virginia within the limits of his respective license or certification. The minor or major site plan shall include:

A. The proposed title of the project and the name of the engineer, architect, landscape architect, surveyor, and developer, as applicable.

**Response and/or Evidence: The applicant has met this requirement. See exhibit 10.**

B. A signature panel for the Director of Planning to indicate approval.

**Response and/or Evidence: The applicant has met this requirement. See exhibit 10.**

C. North arrow, scale graphic, and date.

**Response and/or Evidence: The applicant has met this requirement. See exhibit 10.**

D. A vicinity map.

**Response and/or Evidence: The applicant has met this requirement. See exhibit 10.**

E. Existing zoning and zoning district boundaries on the property in the development and on immediately surrounding properties. All special zoning requirements attached directly to the site as a result of the issuance of any Special Use Permit, variance, or rezoning. Proposed changes in zoning, if any.

**Response and/or Evidence: The applicant has met this requirement. The proposed location is zoned A-1, and the adjoining properties are also zoned A-1. See exhibit 4, 10.**

F. The boundaries of the property in the development, including bearings and distances.

**Response and/or Evidence: The applicant has met this requirement. See exhibit 10.**

G. All existing property lines, existing streets or rights-of-way opened or unopened; buildings, watercourses, and lakes; and other existing physical features in or adjoining the project. The physical features, such as watercourses, waterways and lakes on the adjoining properties need only be shown in approximate scale and proportion.

**Response and/or Evidence: The applicant has met this requirement. See exhibit 10.**

H. Features of particular historic, cultural, scientific, or scenic significance as identified in the Comprehensive Plan, by the Director of Planning, or by any County department or state agency having site plan review responsibilities, or by the Virginia Department of Historic Resources the Virginia Department of Conservation and Recreation, or the Virginia Outdoors Foundation including, but not limited to, historic features, archaeological features, and graveyards.

**Response and/or Evidence: The applicant has met this requirement. A NEPA has been completed and will be provided as a separate document.**

I. Building setback lines; the location of all proposed buildings and structures, accessory and main; number of stories and height; proposed general uses for each building; and

the number, size, and type of dwelling units where applicable. Preliminary plans and elevations for main and accessory buildings.

**Response and/or Evidence:** The applicant has met this requirement. The proposed tower has been situated on the property to accommodate the required 110% setback per the towers breakpoint design. Building setbacks at this location are: Front – 200', side – 50' and rear – 75'. All buildings will be situated within the 100' x 100' compound area, thereby meeting the building setback requirements. See exhibit 2, 10.

J. Type, location, height, and materials of all existing and proposed fences and walls.

**Response and/or Evidence:** The applicant has met this requirement. The proposed compound area will be enclosed by a chain link fence and landscaping around its perimeter. See exhibit 10.

K. Site coverage, showing percentage of site in buildings, parking, and open space.

**Response and/or Evidence:** The applicant has met this requirement. Site coverage will be minimal and consist of a small equipment shelter, a short access drive to the site off of the existing driveway. See exhibit 10.

L. Existing and proposed topography and contour lines of the development site with a contour interval of two (2) feet or less for major site plans, five (5) feet or less for minor site plans, supplemented where necessary by spot elevations.

**Response and/or Evidence:** The applicant has met this requirement. See exhibit 10.

M. The location and size of sanitary and storm sewers, gas lines, water mains, culverts, and other underground structures; all overhead utilities and supporting poles in or affecting the development area, including existing and proposed facilities; and easements for these facilities.

**Response and/or Evidence:** The applicant has met this requirement. See exhibit 10.

N. The location, dimension, and character of construction of proposed streets, alleys, and driveways; and the location, type and dimensions of means of ingress and egress to the site. When proposed streets intersect with or adjoin existing streets, both edges of existing pavement surface or curb and gutter must be indicated for a minimum of one hundred fifty (150) feet or the length of connection, whichever is the greater distance.

**Response and/or Evidence:** The applicant has met this requirement. The proposed access consists of using the existing driveway up to the proposed site with a short access to the compound area. See exhibit 5, 10.

O. The location of all existing and proposed off-street parking and parking bays, loading spaces, and pedestrian walkways, indicating types of surfacing, dimensions of stalls, width of aisles and a specific schedule showing the number of parking spaces. See Article 22-26 Off-street Parking and Loading Requirements of this Ordinance.

**Response and/or Evidence:** The applicant has met this requirement. See exhibit 10.

P. The location on the site of all living trees with a diameter of twelve (12) inches or greater at DBH (diameter at breast height) proposed to be removed. The site plan shall show heavily wooded areas to be preserved, trees to be retained, removed, and

planted, and designated by symbols coincident with the areas of the trees. See Article 22-24 Landscaping and Tree Protection of this Ordinance.

**Response and/or Evidence:** The applicant has requested a waiver. Only the trees within the easement and compound areas will be removed as needed and the remaining wooded area will be preserved. Additional landscaping will be provided as requested and as indicated on the Landscape Plan. See exhibit 5, 8, 10.

Q. The location, height, and character of all outdoor lighting systems. See Article 22-25 Outdoor Light Control of this Ordinance.

**Response and/or Evidence:** The applicant has met this requirement. There will be one light on the equipment shelter, and no lights on the tower. See exhibit 3, 10.

R. The location, character, height, means of lighting, and orientation of proposed signs. See Article 22-15 Signs of this Ordinance.

**Response and/or Evidence:** The applicant has met this requirement. There will be one light located on the equipment shelter and no signs other than emergency contact information. See exhibit 3, 10.

S. All paving, including, without limitation, gravel or other pervious surfaces, shall be of a design and quality to support the traffic which can reasonably be expected to be generated by the proposed use, as required by Article 22-26 Off-Street Parking and Loading.

**Response and/or Evidence:** The applicant has met this requirement. The access drive will be graveled to support periodic maintenance visits. See exhibit 10.

T. Limit of one-hundred-year floodplain, as defined in Section 22-23-14(a)(5).

**Response and/or Evidence:** Site is not located within a 100 year floodplain area. See exhibit 7.

U. Location of any wetlands in compliance with applicable federal, state, and local definition of wetlands.

**Response and/or Evidence:** Proposed site does not fall within a wetland area. See exhibit 7.

V. The location and dimensions of proposed recreation or open space, and required amenities and improvements, including details of disposition, in accordance with any open space or recreation plan adopted by the County.

**Response and/or Evidence:** Not applicable.

W. Any necessary notes required by the Director of Planning to explain the purpose of specific items on the plan.

**Response and/or Evidence:** Not applicable.

X. Cul-de-sacs may not be construed or employed as a parking area. Suitable easements for future public water and sewer facilities necessary to serve the property shall be indicated on the plan.

**Response and/or Evidence:** Not applicable.

Y. All new electrical, telephone, cable television, fiber optic, and other utility lines on the site shall be installed underground.

**Response and/or Evidence: The applicant has met/will meet this requirement. All utilities will be installed underground.**

Z. To the greatest extent possible, parking areas shall not be located between the adjacent public right-of-way and the principal structure on the site unless topographic features or vegetation provide effective screening.

**Response and/or Evidence: The applicant has met this requirement. Short term parking is screened from roadway. See exhibit 5, 10.**

AA. Site planning shall consider the future development of adjacent parcels as recommended by the Fluvanna County Comprehensive Plan or other approved local plan and as may be indicated by any filed site plan, whether approved or under review. The site plan shall provide for safe and convenient vehicular and pedestrian circulation between sites to be occupied by complementary uses.

**Response and/or Evidence: Not applicable. Existing access is for private use. See exhibit 10.**

### Index to Exhibits

- EXH. 1 Lease Agreement and Title Report
- EXH. 2 Tower Design / Fall Zone letter / Letters of Compliance
- EXH. 3 FAA Determination
- EXH. 4 Zoning Map
- EXH. 5 Aerial Photo
- EXH. 6 Existing Towers and Candidate Location Map
- EXH. 7 100-year Floodplain and Wetland Map
- EXH. 8 Site Photos and Balloon Test Photos
- EXH. 9 RF Coverage Maps
- EXH 10 Construction Drawings

# EXHIBIT 1

## Lease Agreement and Title Report

## GROUND LEASE AGREEMENT

**1. Premises and Use.** Hubert G. Cagle, Jr. and Nan D. Cagle, husband and wife (collectively "Owner") leases to Central States Tower II, LLC, a Delaware limited liability company, having a mailing address of 323 S. Hale Street, Suite 100 Wheaton, IL 60187 ("LESSEE"), the site described below :

Land consisting of approximately 10,000 square feet upon which LESSEE will construct its equipment and antenna support structure, as well as space required for cable runs to connect its equipment and antennas in the location(s) shown on **Exhibit A**, attached hereto, together with non-exclusive easements for reasonable access thereto, for placement of an underground grounding system, and for access to the appropriate source of electric and telephone facilities, in the discretion of LESSEE (the "Site"). The Site will be used by Lessee for the purpose of installing, removing, replacing, modifying, maintaining and operating, at its expense, communications service facilities, including, without limitation, antenna and base station equipment, cable, wiring, back-up power sources (including generators and fuel storage tanks), related fixtures and, if applicable to the Site, an antenna support structure (the "Facilities"). Lessee will use the Site in a manner which will not unreasonably disturb the occupancy of Owner's other tenants, if any. Lessee will have unrestricted access to the Site 24 hours per day, 7 days per week. Owner agrees to refrain from leasing any additional property at this location to another entity for the purposes of developing another communications service facility.

**2. Term.** The term of this Agreement (the "Initial Term") is 5 years, commencing on the date that both Owner and LESSEE have executed this Agreement ("Lease Commencement Date"). This Agreement will be automatically renewed for 8 additional terms of 5 years each (each a "Renewal Term"), unless Lessee provides Owner with notice of its intention not to renew not less than 90 days prior to the expiration of the Initial Term or any Renewal Term.

**3. Rent.** Until the date that is the first (1st) day of the month following the date LESSEE commences installation of the Facilities at the Site ("Rent Commencement Date"), rent will be a one-time aggregate payment of **\$100.00**, the receipt of which Owner acknowledges. Thereafter, rent will be paid on or before the fifth (5<sup>th</sup>) day of each calendar month in advance in equal monthly installments of **\$750.00** (until increased as set forth herein), partial months to be prorated. Rent for each Renewal Term will be increased on the anniversary of the Lease Commencement Date to an amount equal to 110% of the rental rate in effect for the prior Term. Notwithstanding anything contained in this Section, Lessee's obligation to pay rent is contingent upon Lessee receipt of a W-9 form setting forth the tax identification number of Owner or of the person or entity to whom rent checks are to be made payable as directed in writing by Owner.

**4. Title and Quiet Possession.** Owner represents and warrants to LESSEE and further agrees that: (a) it is the owner of the property; (b) it has the right to enter into this Agreement; (c) the person signing this Agreement has the authority to sign; (d) LESSEE is entitled to access the Site at all times and to the quiet possession of the Site throughout the Initial Term and each Renewal Term so long as LESSEE is not in default beyond the expiration of any cure period; and (e) Owner will not have unsupervised access to the Site or to the Facilities.

**5. Assignment/Subletting.** LESSEE will have the right to sublease all or any portion of the Site, or assign its rights under this Agreement without notice to or consent of Owner.

**6. Notices.** All notices must be in writing and are effective only when deposited in the U.S. mail, certified and postage prepaid, or when sent via overnight delivery. Notices to Lessee must be sent to the address shown underneath Lessee's signature. Notices to Owner must be sent to the address shown underneath Owner's signature.

**7. Improvements.** Lessee may, at its expense, make improvements on the Site as it deems necessary or desirable from time to time for the operation of the Facilities. Owner agrees to cooperate with LESSEE with respect to obtaining any required zoning or other governmental approvals for the Site and the Facilities. Upon termination or expiration of this Agreement, LESSEE may remove the Facilities and will restore the Site to substantially the condition existing on the Lease Commencement Date, except for ordinary wear and tear and casualty loss.

**8. Compliance with Laws.** Owner represents and warrants to LESSEE that Owner's property (including the Site), and all improvements located thereon, are in substantial compliance with building, life/safety, disability and other laws, codes and regulations of applicable governmental authorities. LESSEE will substantially comply with all applicable laws relating to its possession and use of the Site.

**9. Interference.** LESSEE will resolve technical interference problems with other equipment located at the Site on the Lease Commencement Date or any equipment that becomes attached to the Site at any future date when LESSEE desires to add additional equipment to the Site. Likewise, Owner will not permit or suffer the installation of any equipment after the Lease Commencement Date that: (a) results in technical interference problems with the Facilities; or (b) encroaches onto the Site.

**10. Utilities.** Owner represents and warrants to Lessee that all utilities adequate for Lessee' use of the Site are available at or near the Site. LESSEE will pay for all utilities used by it at the Site. Owner will cooperate with LESSEE in LESSEE' efforts to obtain utilities from any location provided by Owner or the servicing utility, including signing any easement(s) or other instrument(s) reasonably required by the utility company. If there is a loss of electrical service at the Site, LESSEE may, at its expense, install and maintain a temporary generator and fuel storage tank at the Site or the property adjacent to the Site at the location depicted in Exhibit A.

**11. Termination.** Notwithstanding any provision contained in this Agreement, LESSEE may, in LESSEE' sole and absolute discretion and at any time and for any or no reason, terminate this Agreement without further liability by delivering prior written notice to Owner.

**12. Default.** If either party is in default under this Agreement for a period of 30 days following receipt of written notice from the non-defaulting party, the non-defaulting party may pursue any remedies available to it against the defaulting party at law or in equity, including, but not limited to, the right to terminate this Agreement. If a non-monetary default cannot reasonably be cured within a 30-day period, this Agreement may not be terminated if the defaulting party commences action to cure the default within the 30-day period and proceeds with due diligence to fully cure the default.

**13. Indemnity.** Subject to Section 17 hereof, Owner and LESSEE each indemnifies and agrees to defend the other against and holds the other harmless from any and all costs (including reasonable attorneys' fees) and claims of liability or loss which arise out of the ownership, use and occupancy of the Site by the indemnifying party. This indemnity does not apply to any claims arising from the negligence or intentional misconduct of the indemnified party. The indemnity obligations under this Section will survive termination of this Agreement.

**14. Hazardous Substances.** Owner represents and warrants to LESSEE that it has no knowledge of any substance, chemical or waste on the Site that is identified as hazardous, toxic or dangerous (collectively, "Substance") in any applicable federal, state or local law or regulation. LESSEE will not introduce or use any Substance on the Site in violation of any applicable law. Owner will have sole responsibility for the identification, investigation, monitoring and remediation and/or cleanup of any Substance discovered at the Site unless the presence or release of the Substance is caused by the activities of LESSEE.

**15. Subordination and Non-Disturbance.** This Agreement is subordinate to any mortgage or deed of trust of record against the Site as of the Lease Commencement Date. Promptly after this Agreement is fully executed, however, Owner will obtain a non-disturbance agreement in a form reasonably acceptable to LESSEE from the holder of any mortgage or deed of trust.

**16. Property Taxes.** LESSEE will be responsible for payment of all personal property taxes assessed directly upon and arising solely from its use of the Facilities on the Site. In the event that a reassessment of real property taxes are grossly increased and are deemed to be directly attributable to the addition of the tower on the Leased Premises, Lessee will appeal, on behalf of the Owner, the increased taxes, to the best of Lessee's ability. Owner shall provide Lessee with the annual tax assessment within ten (10) days of receipt of the tax bill. If Owner fails to provide such notice within such time frame, Owner shall be responsible for all increases in taxes for the year covered by the assessment. In the event that Lessor fails to pay, when due, any taxes affecting the Leased Premises or the Easement, Lessee shall have the right, but not the obligation, to pay such taxes and deduct the full amount of the taxes paid by Lessee on Lessor's behalf from future installments of Rent.

**17. Insurance.** LESSEE will procure and maintain commercial general liability insurance, with limits of not less than \$1,000,000 combined single limit per occurrence for bodily injury and property damage liability, with a certificate of insurance to be furnished to Owner within 30 days after LESSEE' receipt of a written request. Each party hereby waives its right of recovery against the other for any loss or damage covered by any insurance policies maintained by the waiving party. Each party will cause each insurance policy obtained by it to provide that the

insurance company waives all rights of recovery by subrogation against the other party in connection with any damage covered by the policy.

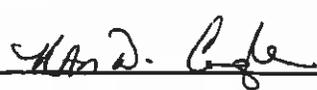
**18. Maintenance.** LESSEE will be responsible for repairing and maintaining the Facilities and any other improvements installed by LESSEE at the Site in a proper operating and reasonably safe condition; provided, however, if any repair or maintenance is required due to the acts or omissions of Owner, its agents, contractors or employees, Owner will promptly reimburse LESSEE for the reasonable costs incurred by LESSEE to restore the damaged areas to the condition which existed immediately prior thereto. Owner will maintain and repair all other portions of the property of which the Site is a part in a proper operating and reasonably safe condition.

**19. Miscellaneous.** (a) This Agreement applies to and binds the heirs, successors, executors, administrators and assigns of the parties to this Agreement; (b) this Agreement is governed by the laws of the state in which the Site is located; (c) Owner agrees to promptly execute and deliver to LESSEE a recordable Memorandum of Agreement in the form of Exhibit B, attached hereto; (d) Owner agrees not to lease any of its property within a radius of three (3) miles from the Site for construction of a tower or for use as a communications facility or for the operation of an antenna site leasing business which competes directly or indirectly with Lessee (e) this Agreement (including the Exhibits) constitutes the entire agreement between the parties and supersedes all prior written and verbal agreements, representations, promises or understandings between the parties. Any amendments to this Agreement must be in writing and executed by both parties; (f) If any provision of this Agreement is invalid or unenforceable with respect to any party, the remainder of this Agreement or the application of the provision to persons other than those as to whom it is held invalid or unenforceable, will not be affected and each provision of this Agreement will be valid and enforceable to the fullest extent permitted by law; and (g) the prevailing party in any action or proceeding in court or mutually agreed upon arbitration proceeding to enforce the terms of this Agreement is entitled to receive its reasonable attorneys' fees and other reasonable enforcement costs and expenses from the non-prevailing party.

**20. Right of First Refusal.** If Landlord elects, during the Term (i) to sell or otherwise transfer all or any portion of the Leased Premises, or (ii) grant to a third party by easement or other legal instrument an interest in and to that portion of the Leased Premises occupied by Tenant, with or without an assignment of this Agreement to such third party, Tenant shall have the right of first refusal to meet any bona fide offer of sale or transfer on the same terms and conditions of such offer. If Tenant fails to meet such bona fide offer within thirty (30) days after written notice thereof from Landlord, Landlord may sell or grant the easement or interest in the Leased Premises or portion thereof to such third person in accordance with the terms and conditions of such third party offer. For purposes of this Paragraph, any transfer, bequest or devise of Landlord's interest in the Leased Premises as a result of the death of Landlord, whether by will or intestate succession, shall not be considered a sale of the Leased Premises for which Landlord has any right of first refusal.

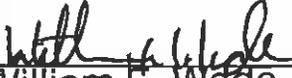
**21. Non-Binding Until Fully Executed.** This Agreement is for discussion purposes only and does not constitute a formal offer by either party. This Agreement is not and will not be binding on either party until and unless it is fully executed by both parties.

The following Exhibits are attached to and made a part of this Agreement: Exhibits A and B.

<b>OWNER(S):</b>	
	AND 
By: <u>Hubert G. Cagle Jr.</u>	By: <u>Nan D. Cagle</u>
SS#: <u>254-02-1237</u>	SS#: <u>226-90-9761</u>
Address: <u>7021 James Madison Hwy.</u>	Address: <u>7021 James Madison Hwy.</u>
<u>Fork Union, VA 23055</u>	<u>Fork Union, VA 23055</u>
Phone No.: <u>(434) 842-6352</u>	Phone No.: <u>(434) 842-6352</u>

**LESSEE:**

**Central States Tower II, LLC**, a Delaware limited liability company

By:   
Name: William E. Wade  
Title: President  
Address: 323 S Hale Street  
Suite 100  
Wheaton, IL 60187  
Date: 3/25/11

*Attach Exhibit A - Site Description*

*Attach Exhibit B - Memorandum of Agreement Form*

**EXHIBIT A  
TO GROUND LEASE AGREEMENT**

**Site Description  
Page 1 of 2**

Site consists of a 100 ft. x 100 ft. parcel located at 7021 James Madison Hwy., situated in the Town of Fork Union, County of Fluvanna, State of Virginia, together with 35' wide Ingress/egress and utilities easement(s) within the parent parcel commonly described as follows:

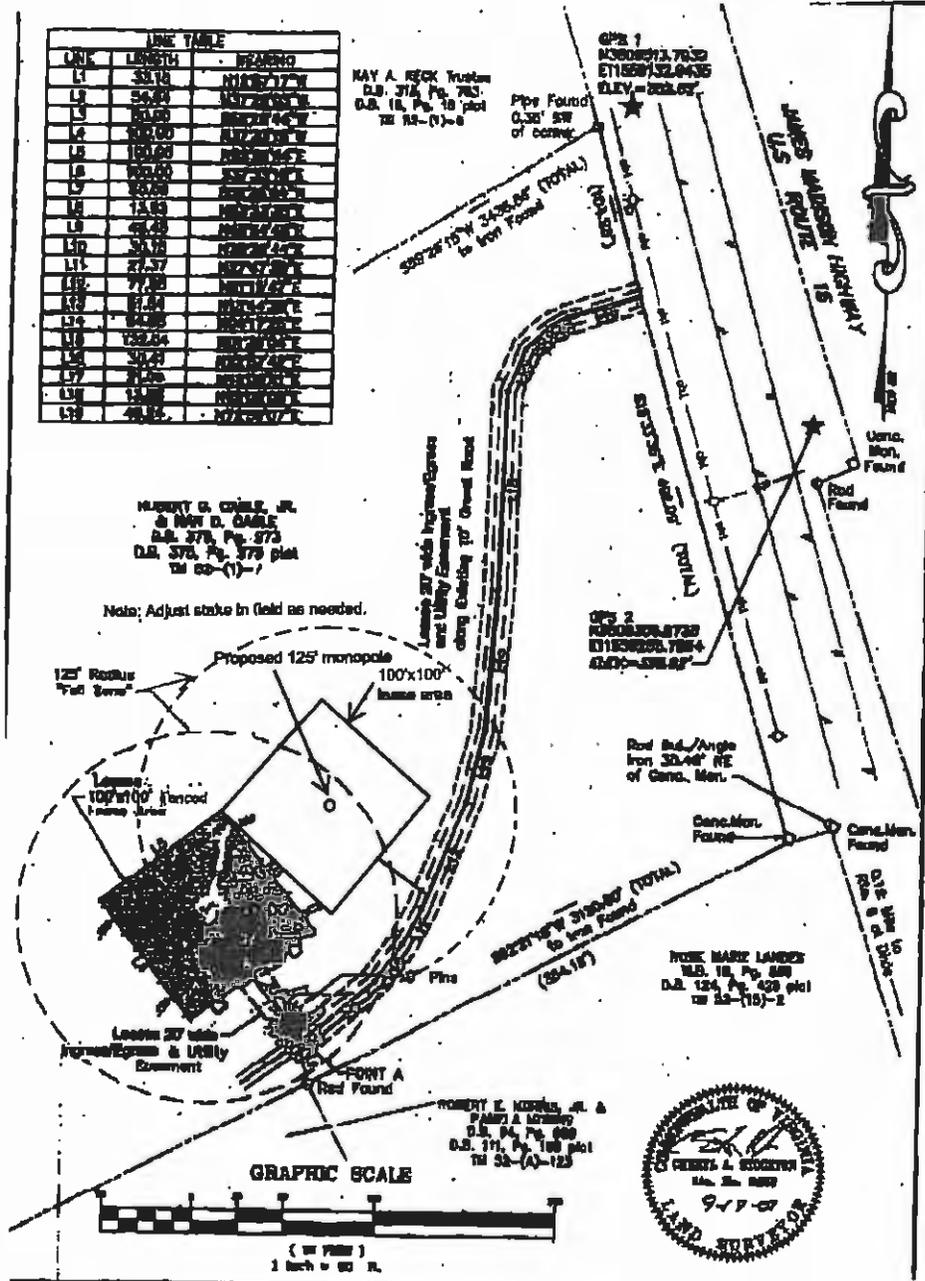
**Legal Description:**

All that certain tract or parcel of land, with improvements thereon and appurtenances thereto, lying and being situate in the Fork Union Magisterial District of Fluvanna County, Virginia, containing 29.389 acres, more or less, on the southwest side of and adjoining U.S. Highway No. 15 at Dixie, Virginia, being the land designated as Parcel 7, as shown on plat of survey made by Bryan J. Chambers, Land Surveyor, dated August 6, 1999, entitled "Plat Showing Boundary Survey of Tax Map 52(1), Parcel 7, Fork Union Dist., Fluvanna Co., Va., Property of Alvin & Rebecca Wilson," which plat is attached hereto, made a part hereof and is recorded herewith in the Clerk's Office of the Circuit Court of Fluvanna County for a more particular description of the real estate herein conveyed. Being the same property conveyed to the grantors herein by deed of Florence Ellen Cullen, widow, dated July 24, 1985 and recorded in the aforesaid Clerk's Office in Deed Book 162, page 405.

Owner Initials: H&C  
LESSEE Initials: (initials)

**EXHIBIT A  
TO GROUND LEASE AGREEMENT  
Site Description  
(Page 2 of 2)**

**Site Plan:**



Owner Initials: HGC  
LESSEE Initials: [Signature]

**Note:** Owner and LESSEE may, at LESSEE' option, replace this Exhibit with an exhibit setting forth the legal description of the property on which the Site is located and/or an as-built drawing depicting the Site.

# FIRST AMERICAN TITLE INSURANCE COMPANY

## COMMITMENT FOR TITLE INSURANCE

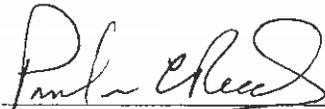
File No. FA11-0241

### SCHEDULE A

1. **Effective Date:** May 4, 2011, at 8:00 A.M.
2. **Policy or Policies to be issued:** **Amount**
  - (a) **ALTA Owner Policy: 6-17-06** \$150,000.00  
**Proposed INSURED:**  
Central States Tower
  - (b) **ALTA Loan Policy: 6-17-06** \$-0-  
**Proposed INSURED:**  
None
  - (c) **ALTA Leasehold Owner Policy: 6-17-06** \$-0-  
**Proposed INSURED:**  
None
3. **The estate or interest in the land described or referred to in the Commitment and covered herein is FEE SIMPLE; and at the Effective Date hereof the FEE SIMPLE title is vested in**  
  
Hubert G. Cagle and Nan D. Cagle
4. **The land referred to in this Commitment is situated in Fluvanna County, Virginia and described as follows:**  
  
AS SET FORTH ON ATTACHED SCHEDULE "A" (LEGAL DESCRIPTION)

MIDTOWN AGENCY, INC.

By:

  
Authorized Signatory

P.O. Box 250  
1430 Cardwell Road  
Crozier, Virginia 23039  
TEL: (804) 648-4853  
FAX: (804) 784-4602

*(Authorized Agent for First American Title Insurance Company)  
ALTA Commitment - Schedule A (Rev. 6/06)  
Valid only if Schedule B, Sections I and II are attached.*

# FIRST AMERICAN TITLE INSURANCE COMPANY

## COMMITMENT FOR TITLE INSURANCE

File No. FA11-0241

### SCHEDULE A

(LEGAL DESCRIPTION)

#### TENTATIVE DESCRIPTION

100'X100' Lease Area lying northeast of an existing 100'X100' lease to Cellco Partnership d/b/a Verizon Wireless as shown on a plat by Draper Aden Associates dated August 20, 2007, revised September 17, 2007, recorded with a Memorandum of Lease Agreement dated October 8, 2007 in deed Book 747, page 213.

Together with a 20' wide Ingress and Egress Easement from U.S. Route 15 to the 100'X100' Lease Area.

Being a part of the same property conveyed to Hubert G. Cagle and Nan D. Cagle by deed from Alvin L. Willson and Rebecca H. Willson dated August 16, 1999, recorded September 2, 1999 in the Clerk's Office, Circuit Court, Fluvanna County, Virginia in Deed Book 375, page 273.

#### TAX ASSESSMENT FOR 2011 (29.389 acres)

Tax Parcel No.	52-1-7
Land	\$ 85,500.00 (\$201,300.00 - \$115,800.00 in Land Use)
Improvements	\$203,500.00
Total	\$289,000.00
Total Tax	\$1,647.30

# FIRST AMERICAN TITLE INSURANCE COMPANY

## COMMITMENT FOR TITLE INSURANCE

File No. FA11-0241

### SCHEDULE B - SECTION 1

THE FOLLOWING ARE THE REQUIREMENTS TO BE COMPLIED WITH:

1. **Instrument(s) creating the estate or interest to be insured must be executed and filed for record, to wit:**
  - a) Lease from Hubert G. Cagle and Nan D. Cagle vesting leasehold estate in Central States Tower.
  - b) Subordination of the following Deed of Trust to the Lease:

Deed of Trust from Hubert G. Cagle and Nan D. Cagle to Carolann Rist, Trustee, dated January 19, 2007, recorded January 23, 2007 in the Clerk's Office, Circuit Court, Fluvanna County, Virginia in Deed Book 713, page 943.
2. **Pay the full consideration to, or for the account of, the grantors or mortgagors.**
3. **Pay us the premium(s), fees and charges for the Policy(ies).**
4. **Pay all taxes, charges, assessments, levied and assessed against subject premises, which are due and payable.**
5. Description appearing under Schedule A hereof is tentative and subject to change and modification. Upon receipt of satisfactory acceptable description, this Commitment shall be amended or otherwise modified.
6. Should the Proposed Insured(s) request deletion of General Exceptions, Nos. 1, 2 and 4, as referenced in Schedule B, Section 2, hereof, as of the date of recordation of the document(s) proposed to be insured, execute and return affidavit attached hereto as "Exhibit ONE".
7. Furnish copies of all instrument(s) in this transaction for review by First American Title Insurance Company prior to closing. This commitment is subject to such additional requirements and/or exceptions as may be deemed necessary by the company upon review of said instrument(s) and upon full disclosure of all facts of this transactions.

# FIRST AMERICAN TITLE INSURANCE COMPANY

## COMMITMENT FOR TITLE INSURANCE

File No. FA11-0241

### SCHEDULE B - SECTION 2

**SCHEDULE B OF THE POLICY OR POLICIES TO BE ISSUED WILL CONTAIN EXCEPTIONS TO THE FOLLOWING MATTERS UNLESS THE SAME ARE DISPOSED OF TO THE SATISFACTION OF THE COMPANY:**

Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date the proposed Insured acquires for value of record the estate or interest or mortgage thereon covered by this Commitment.

1. Rights or claims of parties in possession not shown by the public records.
2. Any lien, or right to a lien, for services, labor, or material heretofore or hereafter furnished, imposed by law and not shown by the public records.
3. Easements or claims of easements not shown by the public records, boundary line disputes, overlaps, encroachments, and any matters not of record which would be disclosed by an accurate survey and inspection of the premises.
4. Taxes or special assessments which are not shown as existing liens by the public records.
5. Taxes for the year 2011 and subsequent years.
6. Any additional taxes for past, present or future years which become due under the land use ordinance of Fluvanna County, but which are not currently payable because of the existing classification and use of the land.

/pcr

EXHIBIT ONE

CASE No. \_\_\_\_\_

OWNER'S AFFIDAVIT AND AGREEMENT

THE UNDERSIGNED, having been duly sworn on oath, states the following:

- a. That I/We have been the owner(s) of the property described on the **ATTACHED SCHEDULE A** for at least 123 days prior to the date hereof;
- b. That there has been no work, services or labor performed or material furnished in connection with repairs or improvements on the property within one hundred twenty-three (123) days prior to the date of this Affidavit; or That in the event work has been performed, services rendered, or materials furnished in connection with construction, repair or improvement on the property during such 123-day period, that all such work performed, services rendered, or materials furnished have been completed and are acceptable to the Owner(s); that the Owner(s) has/have paid in full all contractors, laborers, and materialmen for such work performed, services rendered, or material furnished in connection with construction, repairs, or improvements on the property during such 123-day period, except the following:

which shall be paid upon receipt of invoices; that the owner has no notice of any claim of any person against the property; and that there are no outstanding claims for mechanics' or materialmen's liens against the property;

- c. That no adverse claims have been made as to the title to the said property;
- d. That the undersigned has done no act to adversely affect the title to said property except matters of record as of the date hereof;
- e. That there are no easements or claims of easements not shown by the public records;
- f. That there are no parties in possession of said property;
- g. That no agreement or contract for conveyance, deed, written lease, or writing whatsoever, is in existence, adversely affecting the title to said property, except those in connection with which this Affidavit is given;
- h. That there are no unpaid or delinquent water and/or sewer bills for said property nor are there any delinquent real estate taxes or assessments against said property; that the undersigned has/have not received notice, or know of any recent or future planned improvements (such as street paving, sidewalks, etc.) that will or might result in a special assessment against this property;
- i. That there are no judgment liens entered against the undersigned in any court;
- j. THAT NO PROCEEDINGS IN BANKRUPTCY HAVE BEEN INSTITUTED BY OR AGAINST THE UNDERSIGNED IN ANY COURT IN ANY STATE.

This Affidavit is given to induce First American Title Insurance Company to issue its policy(ies) of title insurance with full knowledge that the Company will rely upon the accuracy of same. That undersigned further state(s) that he/she/they is/are each familiar with the nature of an oath; and with the penalties as provided by the laws of the State aforesaid for falsely swearing to statements made in an instrument of this nature. The undersigned further certifies that he/she/they has/have read and understands the full facts of this Affidavit. The undersigned do/does hereby jointly and severally agree to indemnify and hold First American Title Insurance Company harmless of and from any and all loss, cost, damage, and expense of every kind, including attorneys' fees, which said First American Title Insurance Company shall or may suffer or incur or become liable for under its said policy or policies directly or indirectly, due to its reliance on the accuracy of the foregoing statements or in connection with its enforcement of its rights under this Agreement.

\_\_\_\_\_ (date) \_\_\_\_\_ (SEAL)

\_\_\_\_\_ (date) \_\_\_\_\_ (SEAL)

State of \_\_\_\_\_

County/City of \_\_\_\_\_, to wit:

Sworn, subscribed to and acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Notary Public

My Commission expires:

# EXHIBIT 2

## Tower Design / Fall Zone Letter Letters of Compliance



October 10, 2011

Mr. Yuri Dobrowolsky  
Central States Tower  
323 South Hale Street, Suite 100  
Wheaton, IL 60187

RE: Proposed 195' 6-carrier Sabre Monopole for #VA-00-2199 Dixie, Fluvanna County, VA

Dear Mr. Dobrowolsky,

The above referenced Sabre monopole is to be designed for a Basic Wind Speed of 90 mph (no ice), 30 mph (0.75" ice), Structure Class II, Exposure Category C, and Topographic Category 1 in accordance with the Telecommunications Industry Association Standard ANSI/TIA-222-G, "Structural Standard for Antenna Supporting Structures and Antennas".

When designed according to this standard, the wind pressures and steel strength capacities include several safety factors, resulting in an overall minimum safety factor of 25%. Therefore, it is highly unlikely that the monopole will fail structurally in a wind event where the design wind speed is exceeded within the range of the built-in safety factors.

Should the wind speed increase beyond the capacity of the built-in safety factors, to the point of failure of one or more structural elements, the most likely location of the failure would be within one of the monopole shaft sections. This would result in a buckling failure mode, where the steel shaft would bend beyond its elastic limit (beyond the point where the shaft would return to its original shape upon removal of the wind load).

Therefore, it is likely that the overall effect of an extreme wind event would be localized buckling of the monopole shaft. Assuming that the wind pressure profile is similar to that used to design the monopole, the shaft will buckle at the location of the highest combined stress ratio in the upper portion of the monopole. This is likely to result in the portion of the monopole above "folding over" onto the portion below, essentially collapsing upon itself. **Please note that this letter only applies to a monopole designed and manufactured by Sabre Towers & Poles.** In the unlikely event of total separation, this, in turn, would result in collapse of that portion to the ground within a radius of 50% of the height of the monopole.

Sincerely,

Robert E. Beacom, P.E.  
Engineer



Cabled Towers

Self-Supporting Towers

Monopoles

Towers, Insulators

Tower Modifications





AT&T Mobility  
4801 Cox Road  
Suite 300  
Glen Allen, VA 23060

T: 804.290.5030  
F: 804.290.5055  
Peter.Kormanyos@att.com  
www.att.com

October 24, 2011

Fluvanna County  
Directors of Zoning and Planning  
PO Box 540  
Palmyra, Virginia 22963

Re: Zoning Application  
AT&T Site WV438/ CST Site VA-00-2199: Dixie  
7021 James Madison Hwy, Fork Union Virginia 23055

To Whom it May Concern:

AT&T Mobility is aware of the interference issues that can arise while co-locating with other carriers; therefore, careful isolation studies have been performed to determine the correct vertical and horizontal separation between AT&T Mobility's antennas and any other carrier. This avoids any possibility of our frequency interfering with other equipment. In addition, AT&T Mobility has acquired an FCC license, which exclusively entitles the company to operate within an assigned frequency range. This, in turn, eliminates any interference issues from CB radios, electronic appliances, pacemakers, fire and police equipment as well as other carriers. In the highly unlikely event, that interference is created, AT&T Mobility assumes full responsibility to take all necessary measures to resolve these issues.

Sincerely,

Peter Kormanyos  
Senior RF Engineer  
Virginia / West Virginia Markets



AT&T Mobility  
4801 Cox Road  
Suite 300  
Glen Allen, VA 23060

T: 804.290.5030  
F: 804.290.5055  
Peter.Kormanyos@att.com  
www.att.com

October 24, 2011

Fluvanna County  
Directors of Zoning and Planning  
PO Box 540  
Palmyra, Virginia 22963

Re: Zoning Application  
AT&T Site WV438/ CST Site VA-00-2199: Dixie  
7021 James Madison Hwy, Fork Union Virginia 23055

To Whom it May Concern:

To the best of its knowledge, AT&T Mobility is compliant and will remain compliant with FCC Bulletin OET-65 which was prepared to provide assistance in determining whether transmitting facilities comply with limits for human exposure to radio frequency fields and AT&T Mobility will continue to operate and maintain its equipment at the above-referenced site location in compliance with all applicable FCC rules regarding radio frequency interference.

Sincerely,

Peter Kormanyos  
Senior RF Engineer  
Virginia / West Virginia Markets



October 17, 2011

Mr. Brian Meier  
Chief Operating Officer  
Central States Tower II, LLC  
323 South Hale Street, Suite 100  
Wheaton, IL 60187

***RE: Letter of Intent / Central States Tower Site: VA-00-2199 Dixie / AT&T Site: CV438***

Dear Brian:

The purpose of this letter is to outline a basis of understanding between Central States Tower II, LLC and New Cingular Wireless PCS, LLC ("AT&T") regarding use by AT&T of a communications facility proposed to be built by Central States Tower II, LLC on certain real property located in at +/- 7021 James Madison Hwy, Fork Union, Virginia 23055 in Fluvanna County.

AT&T has submitted an application to lease the first carrier location on the proposed tower. Please note that although a lease agreement is in process, neither AT&T nor Central States Tower II, LLC should consider themselves bound by this Letter of Intent. Execution of the lease or license agreement is required under AT&T corporate guidelines in order to make such a commitment.

AT&T intends to provide full support to Central States Tower II, LLC in its efforts to secure zoning approval as well as any other federal, state or local approvals necessary to develop the communications facility.

Should you have any questions, please do not hesitate to contact me. We look forward to working with you on this important project.

Sincerely,

Carol A. Murphy  
Real Estate Manager  
Construction and Engineering  
804-290-2015  
carol.murphy@att.com

# EXHIBIT 3

## FAA Determination



Mail Processing Center  
 Federal Aviation Administration  
 Southwest Regional Office  
 Obstruction Evaluation Group  
 2601 Meacham Boulevard  
 Fort Worth, TX 76137

Aeronautical Study No.  
 2011-AEA-2619-OE  
 Prior Study No.  
 2011-AEA-1317-OE

Issued Date: 07/18/2011

BRIAN MEIER  
 CENTRAL STATES TOWER II  
 323 SOUTH HALE STREET  
 SUITE 100  
 WHEATON, IL 60187

**\*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\***

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure:	Antenna Tower VA-00-2199 DIXIE - Move
Location:	Fork Union, VA
Latitude:	37-47-00.92N NAD 83
Longitude:	78-14-13.98W
Heights:	199 feet above ground level (AGL) 553 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be completed and returned to this office any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part I)
- Within 5 days after the construction reaches its greatest height (7460-2, Part II)

**See attachment for additional condition(s) or information.**

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed and maintained in accordance with FAA Advisory circular 70/7460-1 K Change 2.

This determination expires on 01/18/2013 unless:

- (a) extended, revised or terminated by the issuing office.
- (b) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates , heights, frequency(ies) and power . Any changes in coordinates , heights, and frequencies or use of greater power will void this determination. Any future construction or alteration , including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Airmen (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

A copy of this determination will be forwarded to the Federal Communications Commission (FCC) because the structure is subject to their licensing authority.

If we can be of further assistance, please contact our office at (817) 838-1999. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2011-AEA-2619-OE.

**Signature Control No: 146008434-146311028**  
Debbie Cardenas  
Technician

( DNE )

Attachment(s)  
Additional Information

cc: FCC

**Additional information for ASN 2011-AEA-2619-OE**

No transmitted frequencies were submitted or approved for this tower at this time.

# EXHIBIT 4

## Zoning Map

**AddressMapText**

- MiscText**
- Roadnames**

**Transportation**

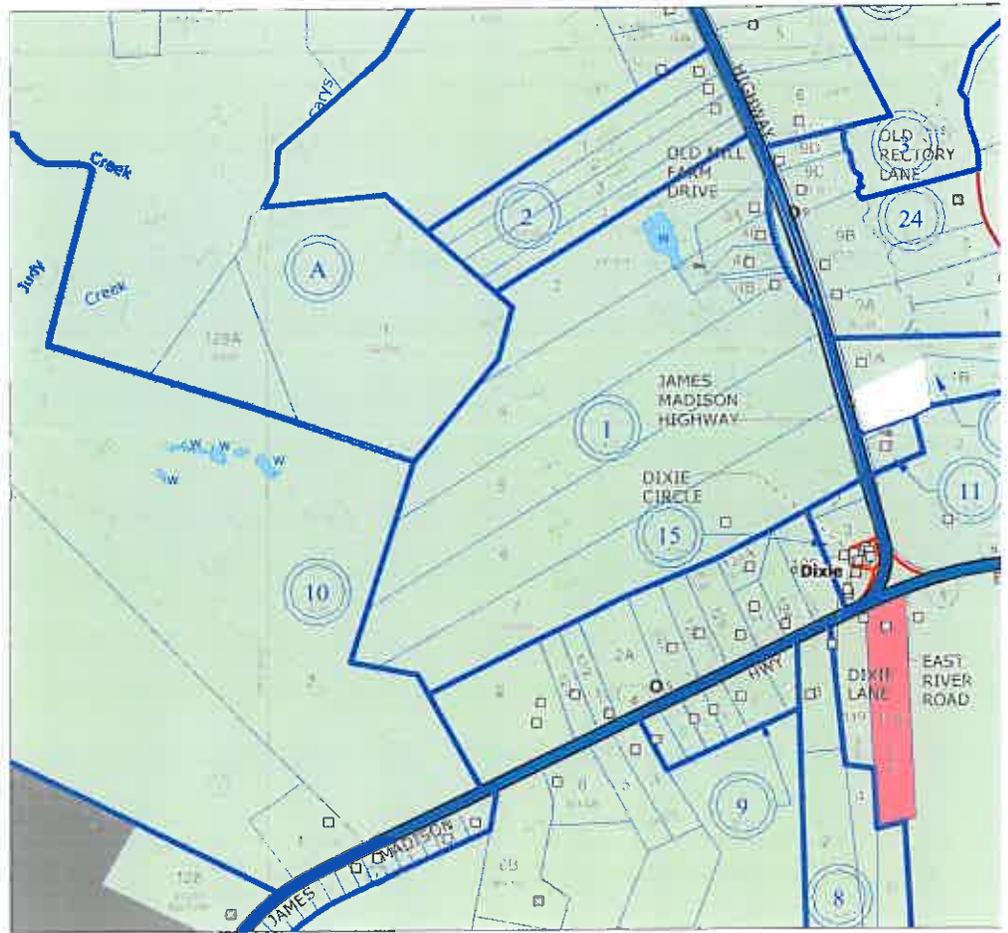
- Highways**
- Roads**
- Driveway**
- Utility Lines**
- Streams**
- Address**

**Tax Parcels**

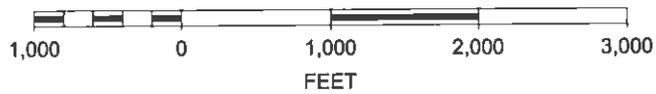
- Subdivision Boundaries**
- Parcel Text**
- Parcels**
- PlaceNames**
- Water**

**Overlays**

- Parcel Map Index**
- Zoning**
  - A-1 · Agriculture

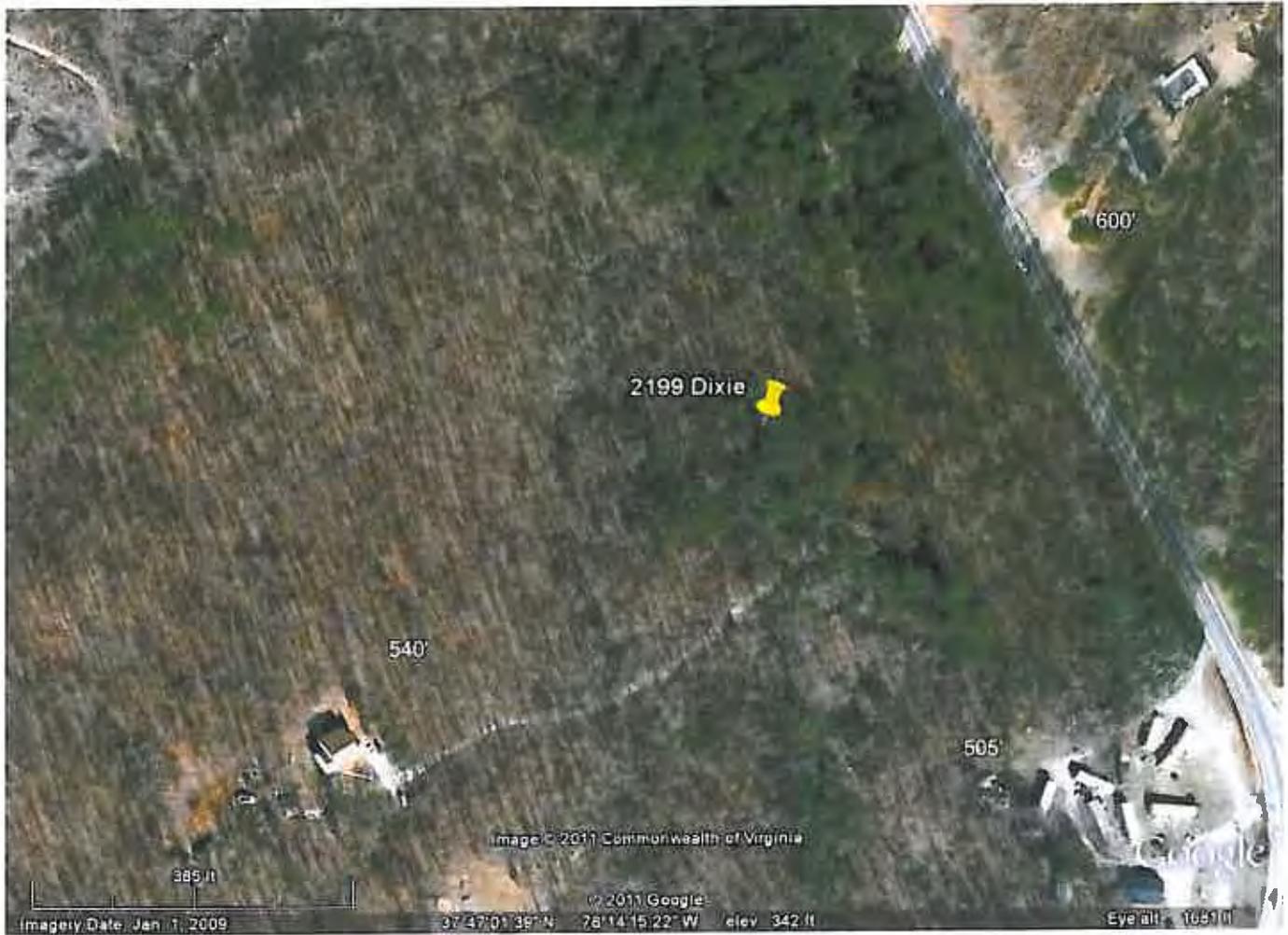


SCALE 1 : 15,720

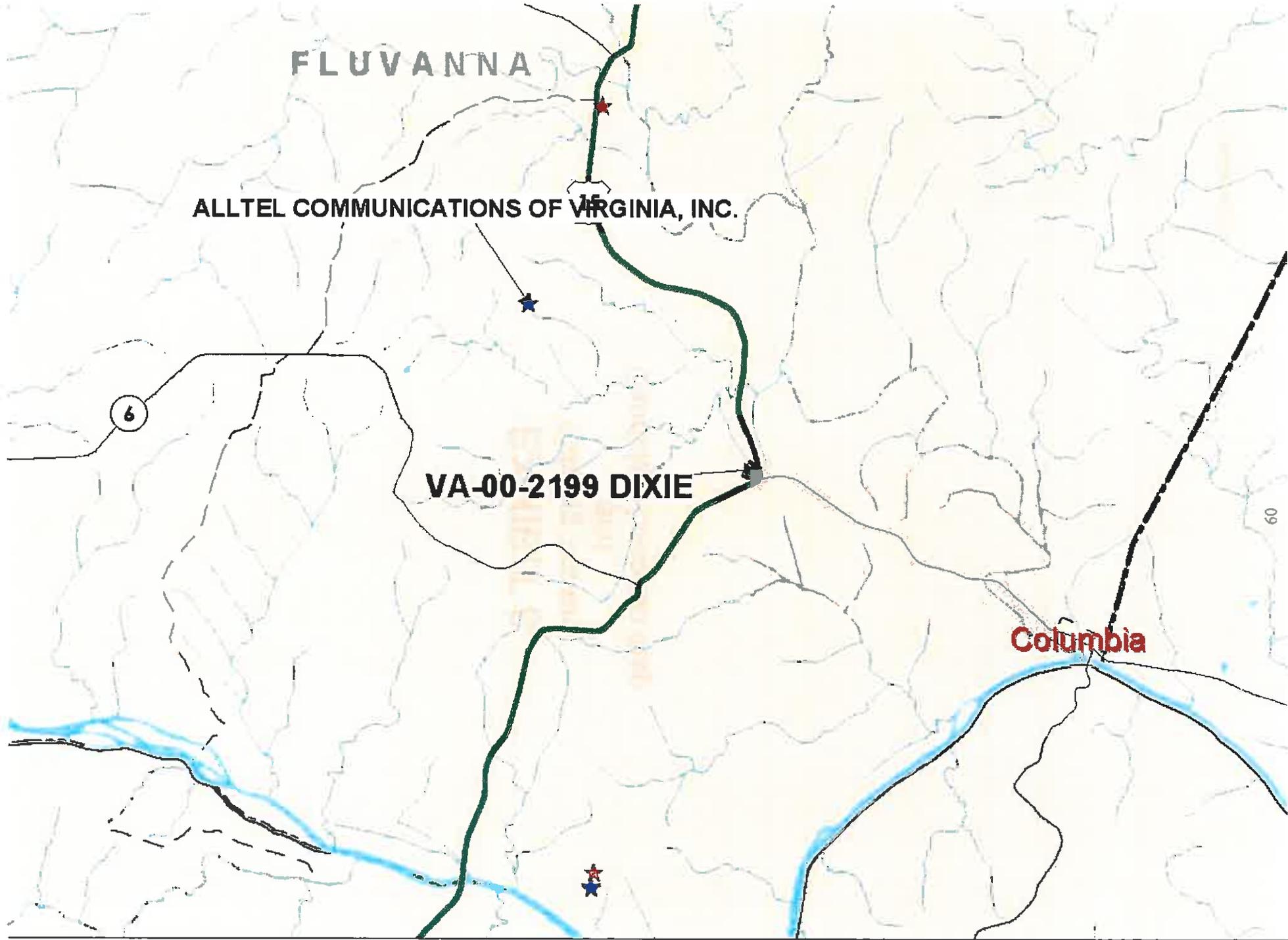


# EXHIBIT 5

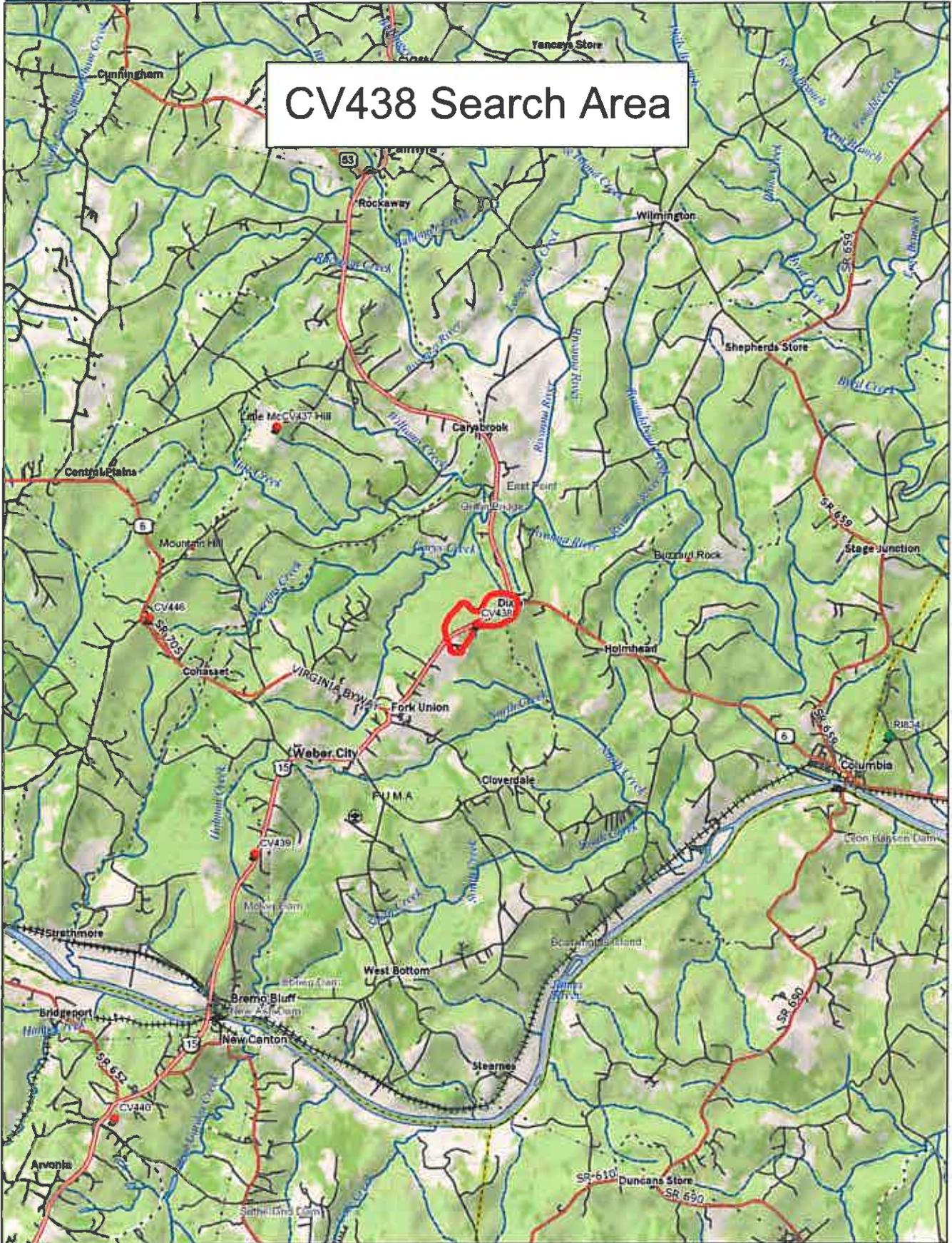
Aerial Photo



**EXHIBIT 6**  
Existing Towers  
and  
Candidate Location Map



# CV438 Search Area



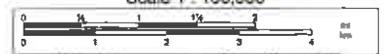
Data use subject to license.

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www.delorme.com



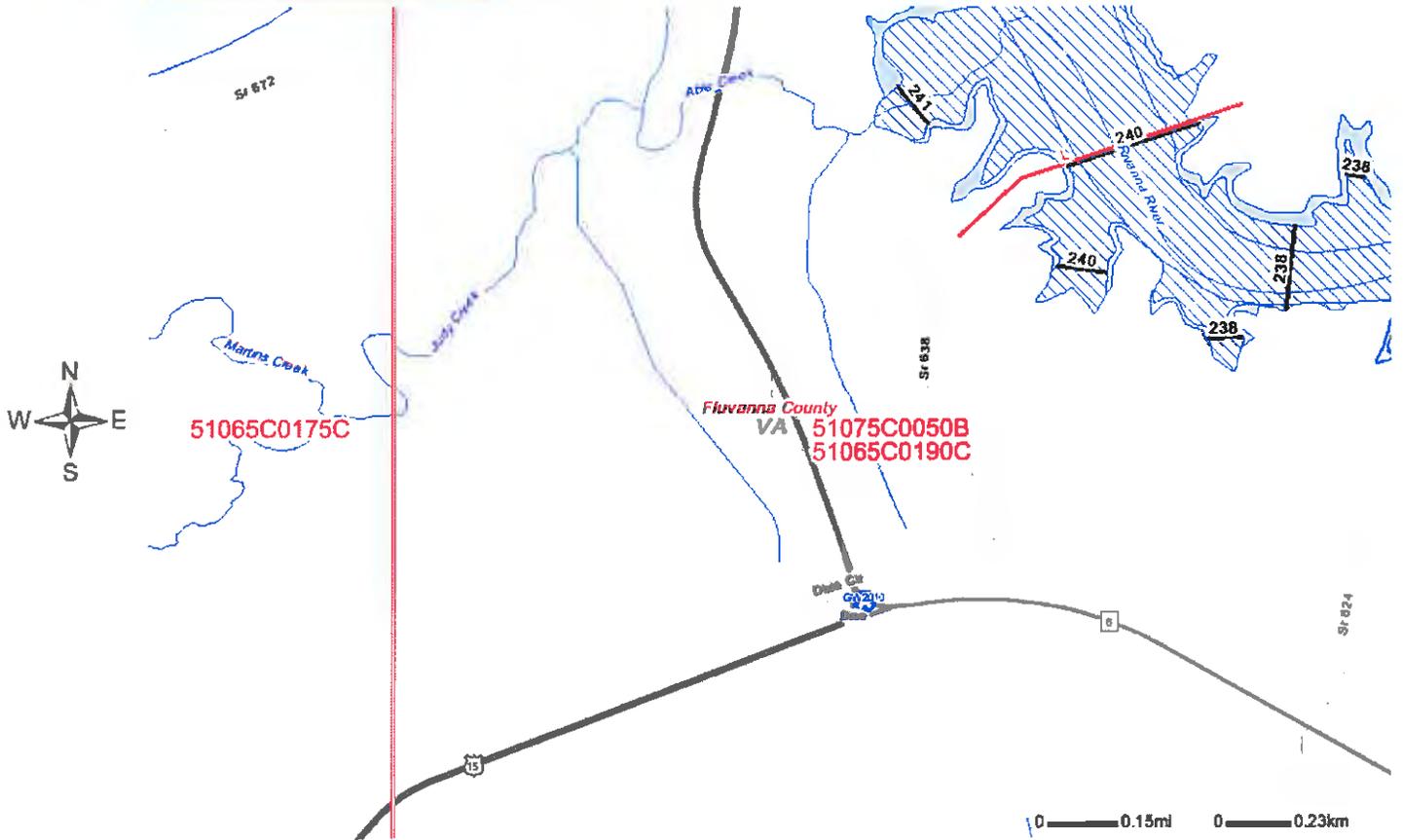
Scale 1 : 100,000





**EXHIBIT 7**  
100-yr. Floodplain and  
Wetland Map

This Map Is For Advisory Purposes Only



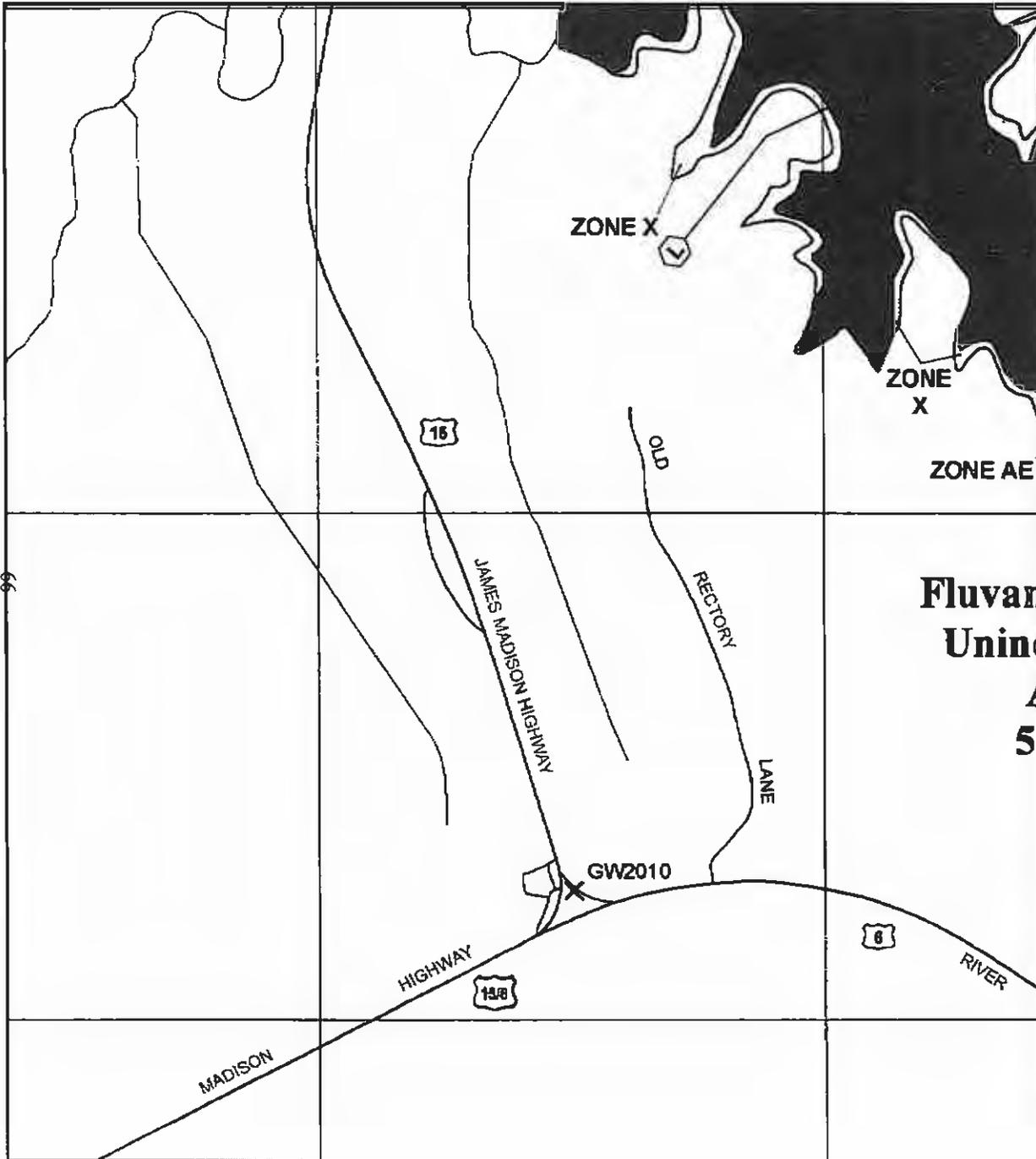
- |                             |                                 |                                      |
|-----------------------------|---------------------------------|--------------------------------------|
| Cities                      | BFE with NQV029 datum           | Zone V                               |
| Other Places                | BFE with NAVD88 datum           | Zone VI                              |
| Small Towns                 | BFE with other datum            | Zone D                               |
| Small Cities                | Cross Section Lines             | 0.2% Annual Chance Flood Hazard Zone |
| State Largest Cities        | Cross Section with NQV029 datum | Streets                              |
| Major Cities                | Cross Section with NAVD88 datum | Streets                              |
| Completed LOMAs             | Cross Section with other datum  | Major Roads                          |
| National Commodity Lines    | Political Jurisdictions         | Highways                             |
| LOMR's                      | Streams                         | Major Highways                       |
| DFIRM Panels                | Floodways                       | States                               |
| Bench Marks                 | Flood Hazard Zones              | Lakes, Major Rivers                  |
| General Structures          | Zone A                          | Land Areas                           |
| Cohorts                     | Zone AE                         | US                                   |
| Foot Bridges                | Zone AH                         | Other Countries                      |
| Dams                        | Zone AD                         |                                      |
| Levees                      | Zone AR                         |                                      |
| Wing Walls                  | Zone APB                        |                                      |
| Base Flood Elevation (cont) | Zone A99                        |                                      |
|                             | (cont)                          |                                      |

Monday, 11 April 2011 12:13



FEMA





# LEGEND



**SPECIAL FLOOD HAZARD AREA  
INUNDATION BY THE 1% ANNUAL CHANCE FLOOD**

The 1% annual chance flood (100-year flood), also known as the base flood.

PANEL 0190C

## FIRM FLOOD INSURANCE RATE MAP FLUVANNA COUNTY, VIRGINIA AND INCORPORATED AREAS

PANEL 190 OF 295  
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

**CONTAINS:**

COMMUNITY	NUMBER	PANEL	SUFFIX
FLUVANNA COUNTY	51065C	0190	C

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.



**MAP NUMBER  
51065C0190C**

**EFFECTIVE DATE  
MAY 16, 2008**

Federal Emergency Management Agency

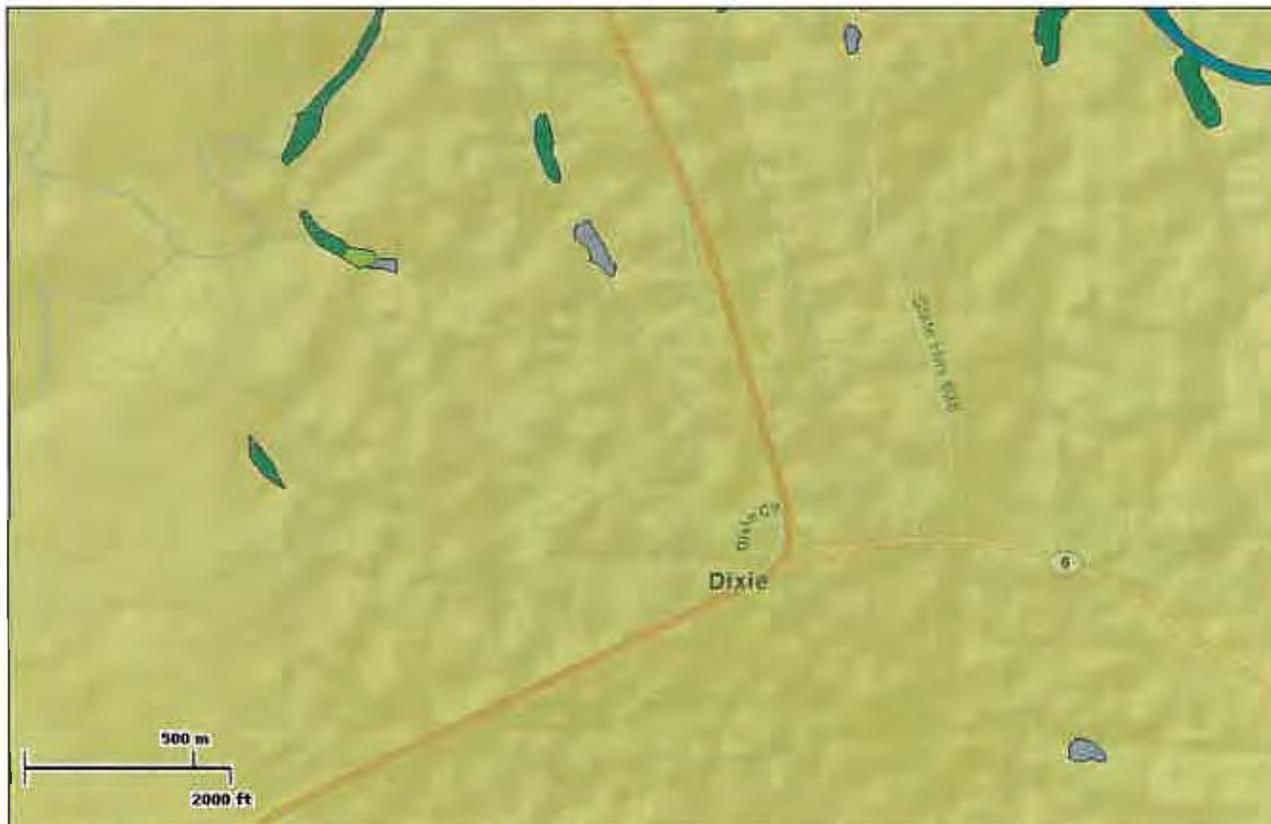
This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at [www.msc.fema.gov](http://www.msc.fema.gov)



U.S. Fish and Wildlife Service

# National Wetlands Inventory

Apr 11, 2011



## Wetlands

- Freshwater Emergent
- Freshwater Forested/Shrub
- Estuarine and Marine Deepwater
- Estuarine and Marine
- Freshwater Pond
- Lake
- Riverine
- Other

## Status

- Digital
- Scan
- Non-Digital
- No Data

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

User Remarks:

**EXHIBIT 8**  
Site Photos  
and  
Balloon Test Photos









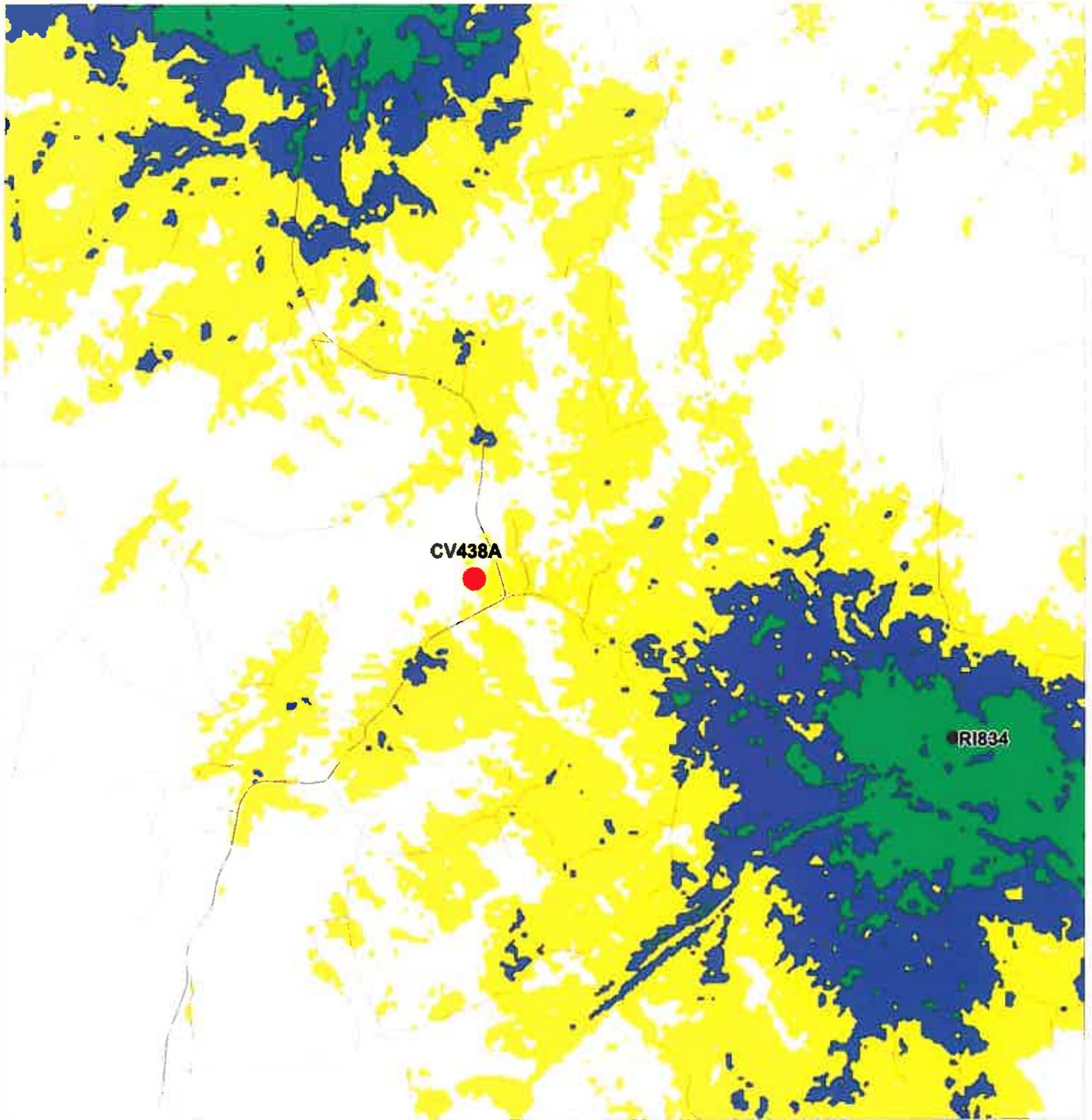




74

# EXHIBIT 9

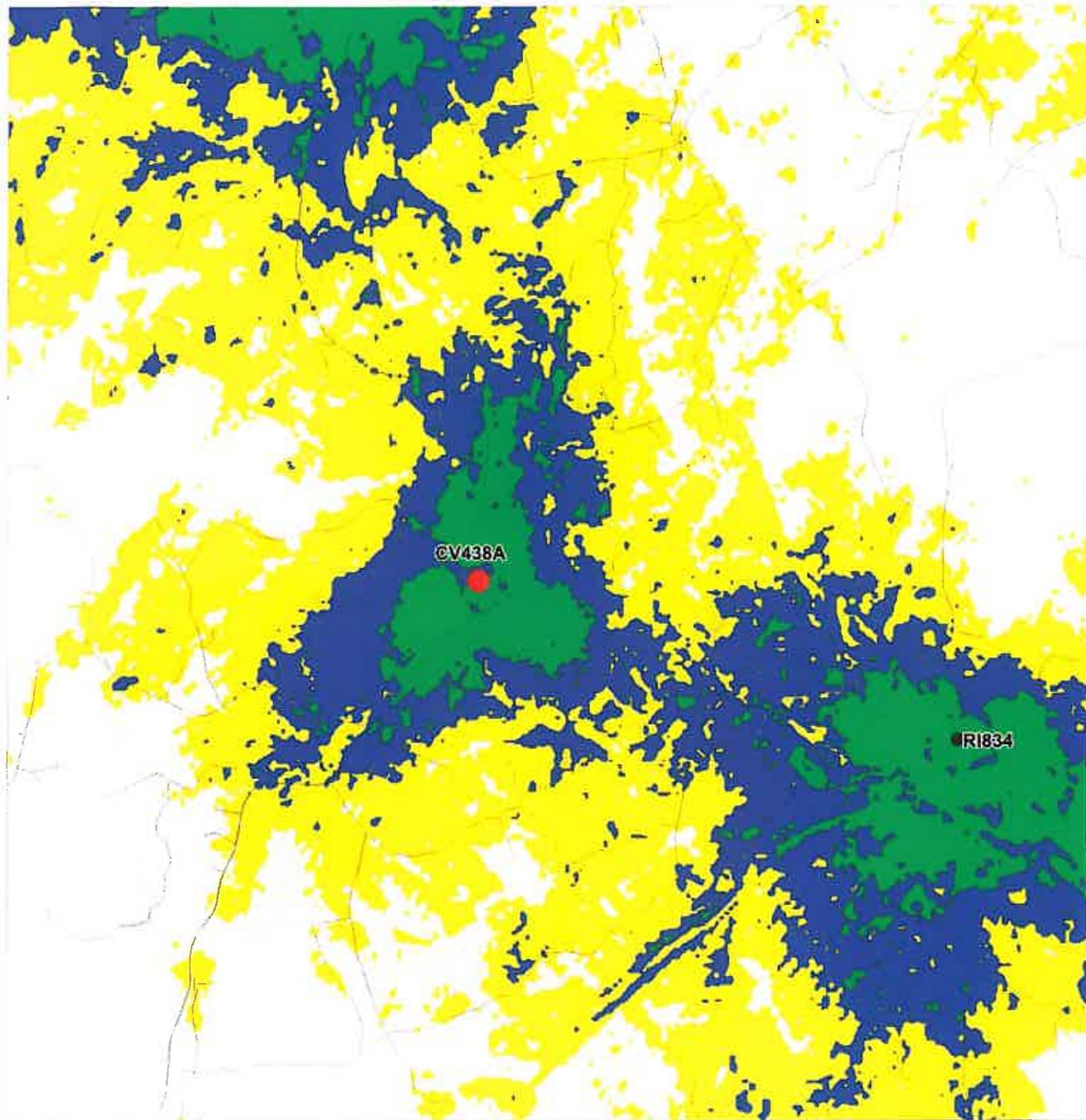
## RF Coverage Maps



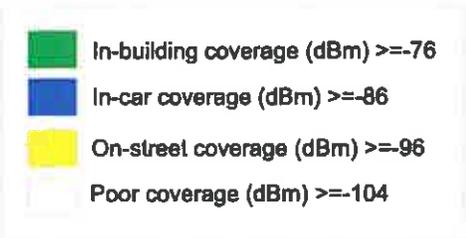
**CV438**  
Existing Coverage

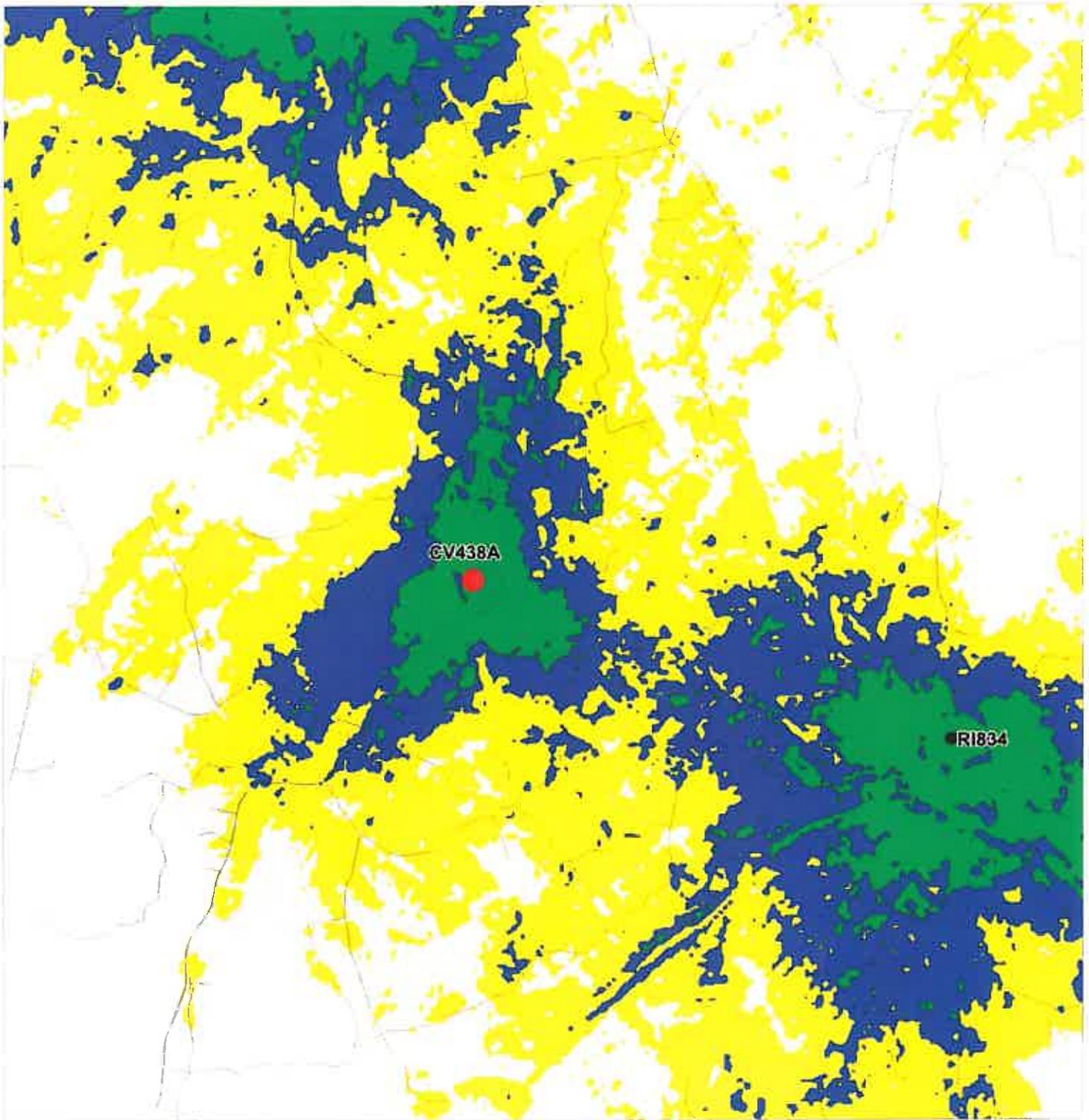
- In-building coverage (dBm)  $\geq -76$
- In-car coverage (dBm)  $\geq -86$
- On-street coverage (dBm)  $\geq -96$
- Poor coverage (dBm)  $\geq -104$



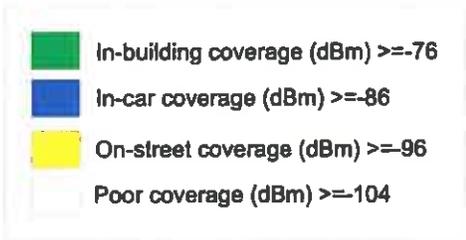


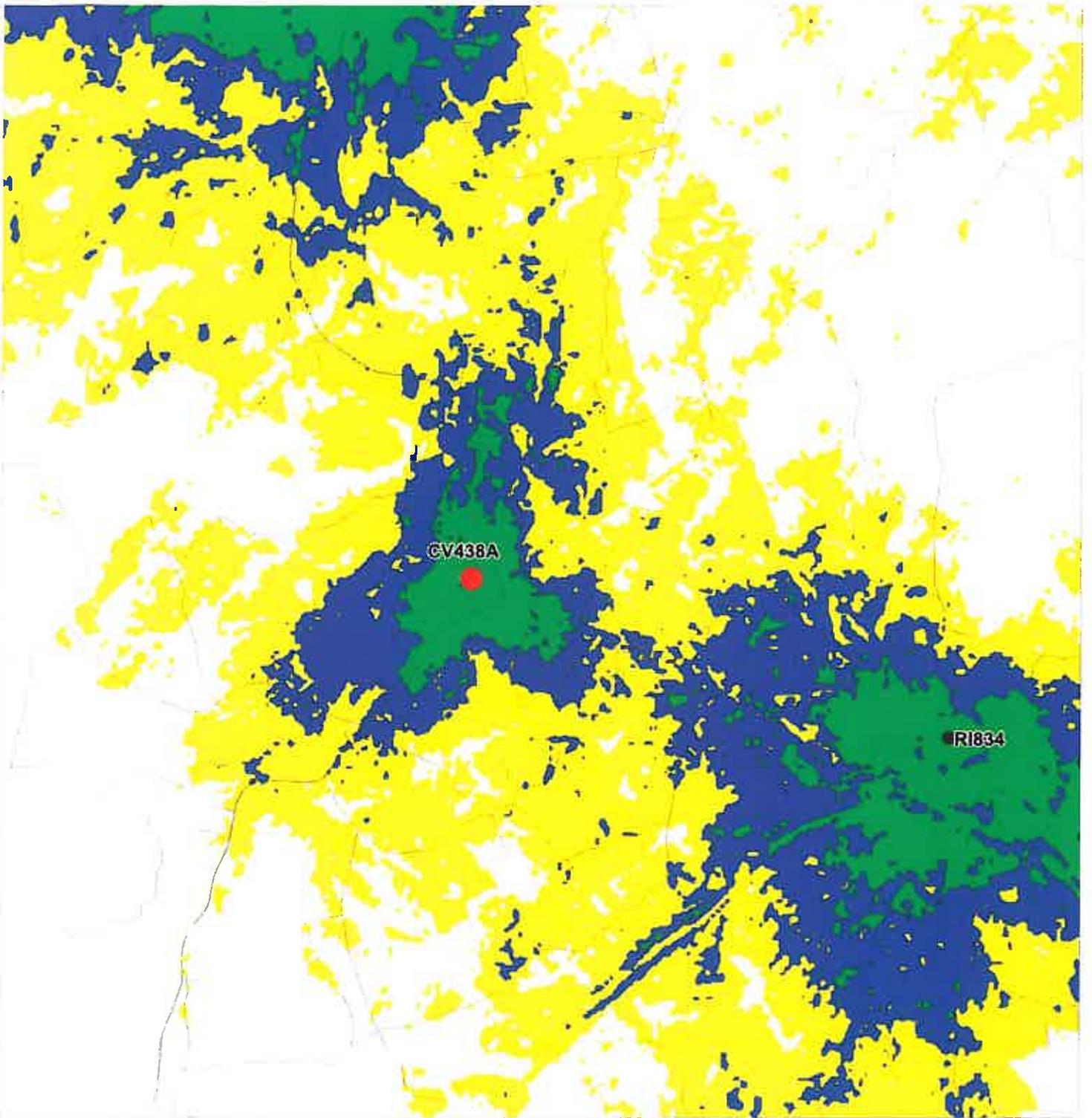
**CV438**  
**Coverage at 195FT**





**CV438**  
**Coverage at 160FT**

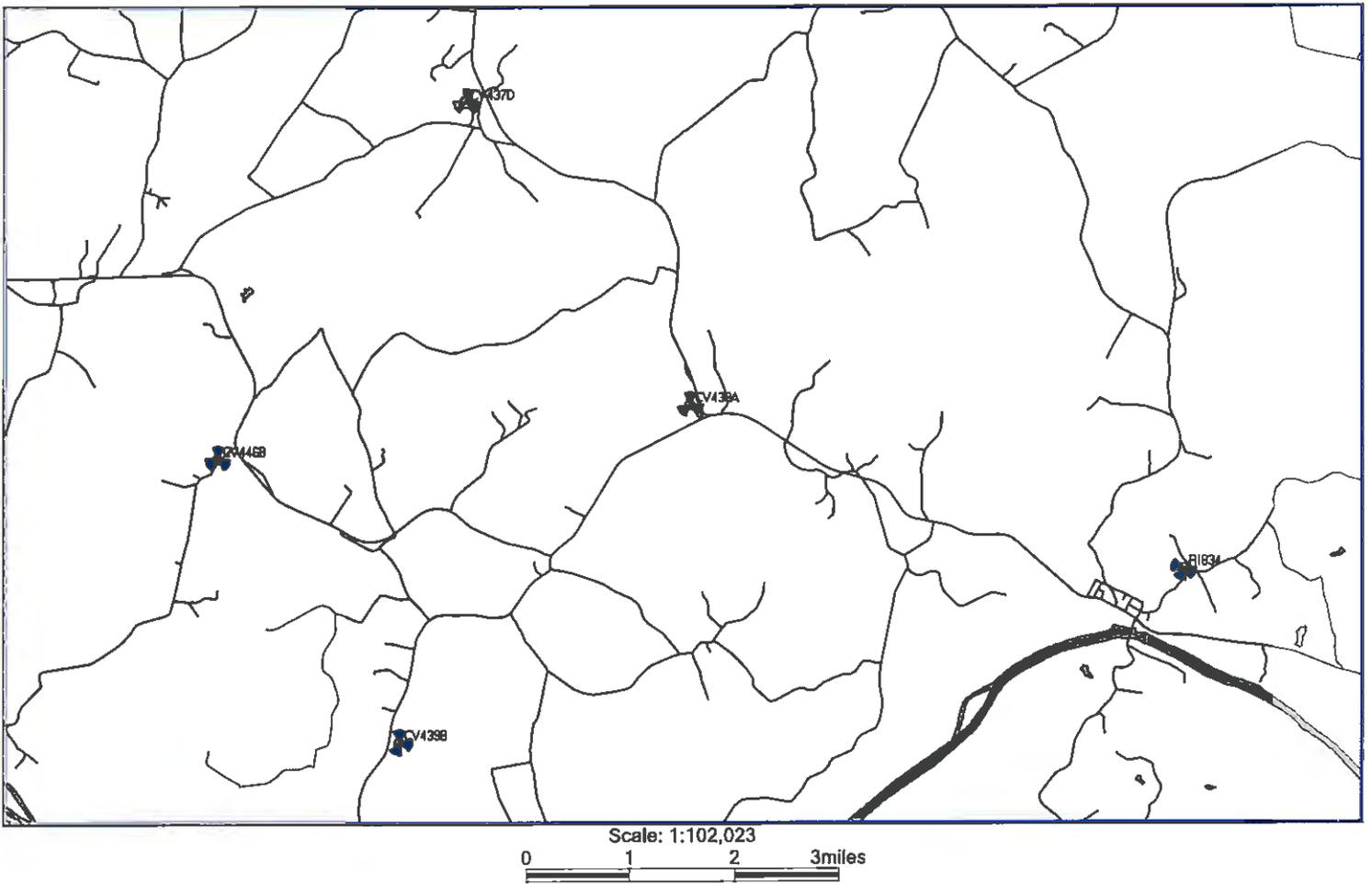




**CV438**  
**Coverage at 125FT**

- In-building coverage (dBm)  $\geq -76$
- In-car coverage (dBm)  $\geq -86$
- On-street coverage (dBm)  $\geq -96$
- Poor coverage (dBm)  $\geq -104$





	A	B	C	D
1	Site	Transmitter	Antenna	Power (dBm)
2	CV437D	CV437DA	SBNH-1D6565B_1920MHz_02DT	41
3	CV437D	CV437DB	SBNH-1D6565B_1920MHz_02DT	41
4	CV437D	CV437DC	SBNH-1D6565B_1920MHz_02DT	41
5	CV438A	CV438AA	SBNH-1D6565B_1920MHz_02DT	41
6	CV438A	CV438AB	SBNH-1D6565B_1920MHz_02DT	41
7	CV438A	CV438AC	SBNH-1D6565B_1920MHz_02DT	41
8	CV439B	CV439BA	HBX-6517DS-VTM_1900_02deg	41
9	CV439B	CV439BB	HBX-6517DS-VTM_1900_02deg	41
10	CV439B	CV439BC	HBX-6517DS-VTM_1900_02deg	41
11	CV446B	CV446BA	SBNH-1D6565B_1920MHz_02DT	41
12	CV446B	CV446BB	SBNH-1D6565B_1920MHz_02DT	41
13	CV446B	CV446BC	SBNH-1D6565B_1920MHz_02DT	41
14	RI834	RI834A	742215_1920MHz_M45pol_00deg	41
15	RI834	RI834B	742215_1920MHz_M45pol_00deg	41
16	RI834	RI834C	742215_1920MHz_M45pol_00deg	41
17				
18				
19				
20	Name	Longitude	Latitude	
21	CV437D	-78.274978	37.8268	
22	CV438A	-78.237217	37.7836	
23	CV439B	-78.289983	37.737806	
24	CV446B	-78.320217	37.778056	
25	RI834	-78.151778	37.758667	

**AT&T Proprietary (Internal Use Only)**  
Not for use or disclosure outside the AT&T companies  
except under written agreement

# EXHIBIT 10

## Construction Drawings



**SITE No: VA-00-2199**  
**SITE NAME: DIXIE**

APPROVAL BY DIRECTOR OF PLANNING  
 FLUVANNA COUNTY, VA:  
 SIGNATURE: \_\_\_\_\_  
 DATE: \_\_\_\_\_

The applicant agrees to comply with the conditions set forth on the approved SUP #07-015 dated 02/20/2008

DRAWING INDEX	REV
T-1	0
TITLE SHEET	0
SURVEY (BY OTHERS)	0
S-1 & S-2	0
ENLARGED SITE PLAN	0
P-1	0
SITE GRADING PLAN	0
P-2	0
FOUNDATION PLAN & H-FRAME DETAILS	0
C-1	0
TOWER ELEVATION DETAILS	0
C-2	0
ICE BRIDGE & FENCE DETAILS	0
C-3	0
GENERAL NOTES	0
C-4	0
ELECTRICAL NOTES AND DETAILS	0
E-1	0
SINGLE LINE DIAGRAM & DETAILS	0
E-2	0
ANTENNA SCHEMATICS & DETAILS	0
E-2A	0
E-2B	0
COAX COLOR CODING	0
E-3	0
GROUNDING DETAILS	0
E-4	0
GROUNDING & ELEVATION DETAILS	0
E-5	0
GROUNDING NOTES & DETAILS	0
E-6	0
OUTDOOR EQUIPMENT DETAILS	0
REF	0
CANOPY (DESIGN BY OTHERS)	0

**NOTES**

AT&T COMPLIANCE:  
 SIGNATURE: \_\_\_\_\_  
 DATE: \_\_\_\_\_

AT&T CONSTRUCTION:  
 SIGNATURE: \_\_\_\_\_  
 DATE: \_\_\_\_\_

AT&T RF ENGINEER:  
 SIGNATURE: \_\_\_\_\_  
 DATE: \_\_\_\_\_

TURNKEY CONSTRUCTION:  
 SIGNATURE: \_\_\_\_\_  
 DATE: \_\_\_\_\_

METRO CONSULTING ASSOCIATES  
 5001 SCHOOKER DR.  
 BELLEVILLE, IL 61811  
 PHONE: (734) 483-1437  
 FAX: (734) 483-5431

**CST**  
 CENTRAL STATES TOWER, INC.  
 323 SOUTH MALE STREET  
 SUITE 100  
 WHEATON, IL 60187

**ENGINEER:**  
 METRO CONSULTING ASSOCIATES  
 5001 SCHOOKER DR.  
 BELLEVILLE, IL 61811  
 PHONE: (734) 483-1437  
 FAX: (734) 483-5431  
 DAVID L. GARRETT, P.E.

**SURVEYOR:**  
 BLUE PRIDE SURVEYING & MAPPING, INC.  
 804 W. STUART DRIVE  
 HILLSVILLE, VA 24343  
 PHONE: (276) 728-2022  
 FAX: (276) 728-2023

**VICINITY MAP**

DIRECTIONS:  
 FROM ABOVE VA, FOLLOW I-81 NORTH ABOUT 78 MILES TO I-64 EAST, FOLLOW I-64 EAST ABOUT 50 MILES TO US-15 SOUTH (JAMES MADISON HWY). TURN RIGHT ON US-15 SOUTH ABOUT 1.5 MILES TO SITE ADDRESS #7021 EXISTING GRAVEL DRIVEWAY ON RIGHT. THE SITE IS LOCATED ABOUT 400 FEET FROM THE HWY ON THE RIGHT.



**PROJECT INFORMATION**

**SCOPE OF WORK:**

UNMANNED TELECOMMUNICATIONS FACILITY  
 TYPE OF CONSTRUCTION:  
 100' TOWER  
 W/ 4 LIGHTING RODS

**SITE ADDRESS:**

# 7021 JAMES MADISON HWY  
 FURK UNION, VIRGINIA, 23055

**TOWER LOCATION:**

LENGTH: 100' (MAD 83)  
 WIDTH: 14' (MAD 83)  
 GROUND ELEVATION (MEAS.): 353.1' (MAD 83)

**SQUARE FOOTAGE:**

PROPOSED LEASE AREA 10,000 SQ. FT.

**PROPERTY OWNER:**

HUBERT G. CAGLE, JR. AND MAN D. CAGLE  
 7021 JAMES MADISON HWY  
 FURK UNION, VA 23055

**PARCEL NUMBER (TAX ID)**

#92-1-7

**OCCUPANT LOAD**

UNOCCUPIED

**PARKING REQUIREMENTS:**

ADDITIONAL PARKING REQUIRED: NONE

EXISTING PARKING MODIFICATIONS: NONE REQUIRED

THE LOCATION OF THE EXISTING UTILITIES, AS SHOWN ON THIS PLAN, ARE APPROXIMATE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES. THE OWNER AND THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND VARIATION FROM THE LOCATION SHOWN ON THIS PLAN. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND VARIATION FROM THE LOCATION SHOWN ON THIS PLAN. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND VARIATION FROM THE LOCATION SHOWN ON THIS PLAN.

NOTE: THIS STAMP COVERS THE ONE SHEET ONLY. ARCHITECTURAL, STRUCTURAL, ELECTRICAL, MECHANICAL, AND PLUMBING SHEETS ARE NOT COVERED BY THIS STAMP.

**NOTES**

CONCRETE AND REINFORCING STEEL NOTES..... (SEE PAGE C-4)  
 APPLICABLE BUILDING CODES AND STANDARDS..... (SEE PAGE C-4)  
 SITE WORK GENERAL NOTES..... (SEE PAGE C-4)  
 STRUCTURAL STEEL NOTES..... (SEE PAGE C-4)  
 ELECTRICAL INSTALLATION NOTES..... (SEE PAGE E-3)  
 GENERAL NOTES..... (SEE PAGE E-4)

SHEET TITLE		SHEET NUMBER	
TITLE SHEET		T-1	
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**PARENT PARCEL LEGAL DESCRIPTION (AS PROVIDED)**

ALL THAT CERTAIN TRACT OR PARCEL OF LAND, WITH IMPROVEMENTS THEREON AND APPURTENANCES THERETO, LYING AND BEING SITUATE IN THE FORK UNION MAGISTERIAL DISTRICT OF FULVANA COUNTY, CONTAINING 29.380 ACRES, MORE OR LESS, ON THE SOUTHWEST SIDE OF AND ADJOINING U.S. HIGHWAY NO. 15 AT ODEE, VIRGINIA, BEING THE LAND DESIGNATED AS PARCEL 7, AS SHOWN ON PLAT OF SURVEY MADE BY BRIAN J. CHAMBERS, LAND SURVEYOR, DATED AUGUST 8, 1999, ENTITLED "PLAT SHOWING BOUNDARY SURVEY OF TAX MAP 52(1), PARCEL 7, FORK UNION DISTRICT, FULVANA COUNTY, VA, PROPERTY OF ALVIN & REBECCA WILSON."

**LATITUDE & LONGITUDE**

LATITUDE AND LONGITUDE OF SITE ARE BASED ON NAD 83.  
 LATITUDE: 37°43' 00.818" N  
 LONGITUDE: 78° 14' 13.980" W  
 GROUND ELEVATION AT TOWER BASE: 353.1' AMSL

**SITE INFORMATION**

**SITE ADDRESS:**  
 7021 JAMES MADISON HWY  
 FORK UNION, VA 23055

**PROPERTY OWNER:**  
 HUMBERT G. CAGLE, JR. AND NAN D. CAGLE  
 7021 JAMES MADISON HWY  
 FORK UNION, VA 23055

**LEASE AREA DESCRIPTION**

BEGINNING AT A 5/8" ROD SET, SAID ROD BEING N 61°42'08" W 88.25' FROM A 3/8" ROD FOUND; THENCE WITH THE LINE OF THE PROPOSED 100000 LEASE PARCEL N 37°29'18" W 100.00' TO A 5/8" ROD SET; THENCE N 52°30'41" E 100.00' TO A 5/8" ROD SET; THENCE S 37°29'18" E 100.00' TO A 5/8" ROD SET; THENCE S 52°30'41" W 100.00' TO THE POINT OF BEGINNING, AND CONTAINING 10,000 SQUARE FEET.

**ACCESS/PUBLIC UTILITY EASEMENT DESCRIPTION**

A THIRTY-FIVE FOOT WIDE EASEMENT FOR ACCESS AND EGRESS ACROSS THE PROPERTY ACQUIRED BY HUMBERT G. CAGLE, JR. AND NAN D. CAGLE, DEED BOOK 378, PAGE 273, LYING IN THE FORK UNION MAGISTERIAL DISTRICT OF FULVANA COUNTY, VIRGINIA, AND HAVING A CENTERLINE DESCRIBED AS BEGINNING AT A POINT IN THE SOUTHWESTERN RIGHT OF WAY OF U.S. ROUTE 15, SAID POINT BEING N 15°08'28" W 377.75' FROM A CONCRETE MONUMENT FOUND, THENCE WITH THE SAID CENTERLINE "THENCE S 77°02'21" W 33.31' TO A POINT; THENCE WITH A CURVE TO THE LEFT WITH A DELTA ANGLE OF 77°00'00", WITH AN ARC LENGTH OF 100.00', WITH A RADIUS OF 75.00', WITH A CHORD BEARING OF S 28°29'57" W, WITH A CHORD LENGTH OF 83.46', TO A POINT; THENCE S 09°07'38" E 128.88' TO A POINT; THENCE WITH A CURVE TO THE RIGHT WITH A DELTA ANGLE OF 21°38'01", WITH AN ARC LENGTH OF 188.85', WITH A RADIUS OF 450.00', WITH A CHORD BEARING OF S 10°48'22" W, WITH A CHORD LENGTH OF 188.84', TO A POINT; THENCE S 21°33'23" W 84.98' TO A POINT; THENCE WITH A CURVE TO THE RIGHT WITH A DELTA ANGLE OF 41°02'25", WITH AN ARC LENGTH OF 112.64', WITH A RADIUS OF 157.35', WITH A CHORD BEARING OF S 43°08'04" W, WITH A CHORD LENGTH OF 110.44', TO A 5/8" ROD SET; THENCE N 37°27'03" W 53.51' TO A 5/8" ROD SET IN THE SOUTHEASTERN LINE OF THE PROPOSED LEASE AREA, THE ENDLINES OF SAID EASEMENT LENGTH AND/OR SIGHTED TO BEGIN AT THE SOUTHWESTERN EDGE OF THE RIGHT OF WAY OF U.S. ROUTE 15 (VARIABLE R/W PUBLIC) AND TERMINATE ALONG THE NORTHEASTERN LINE OF THE PROPOSED LEASE AREA.

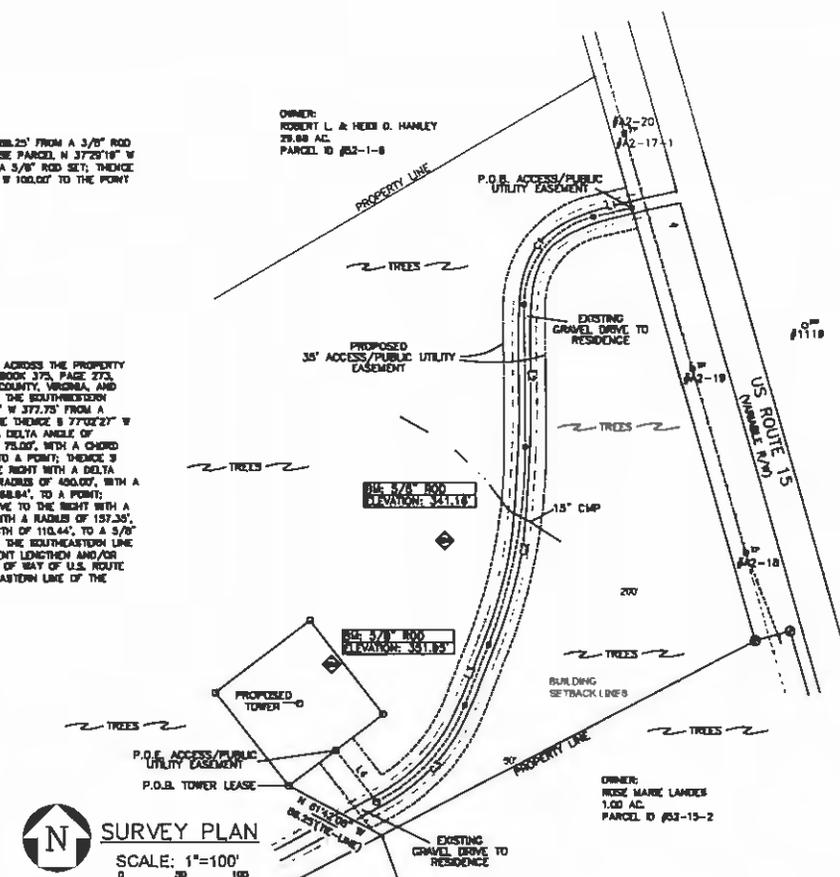
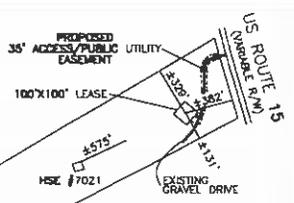
**OWNER:**  
 ROBERT L. & HEIDI O. HANLEY  
 29.88 AC.  
 PARCEL ID #02-1-8

**OWNER:**  
 ROSE MARIE LANDER  
 1.00 AC.  
 PARCEL ID #02-13-2

**OWNER:**  
 ROBERT E. & PAMELA MORRIS  
 3.00 AC.  
 PARCEL ID #02-123

**GENERAL NOTES**

NO PROPOSED MUNICIPAL SEWER OR WATER UTILITIES ARE REQUIRED FOR THIS SITE. FINISH GRADE WILL CLOSELY MATCH EXISTING CONTOUR. THERE WILL BE NO CHANGE IN DRAINAGE PATTERN DUE TO THE PROPOSED INSTALLATION. NO SIGNIFICANT RUNOFF IS GENERATED BY THE PROPOSED INSTALLATION. NO HAZARDOUS MATERIALS WILL BE USED, PROCESSED OR STORED AT THE SITE. TOWER LIGHTING SHALL CONFORM TO FAA STANDARDS, AS REQUIRED. ALL WORK SHALL CONFORM TO FAA & FCC REGULATIONS.



**NOTIFY UTILITY COMPANIES BEFORE DIGGING**  
 THE LOCATIONS OF THE EXISTING UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. IT SHALL BE THE RESPONSIBILITY OF ALL CONCERNED PARTIES, THE OWNER AND THE CONTRACTOR, TO BE RESPONSIBLE FOR ANY DAMAGE OR INTERFERENCE FROM THE LOCATIONS SHOWN. THE CONTRACTOR SHALL NOTIFY THE UTILITY AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

**CERTIFICATION**

I, BRIAN L. SUTPHIN, CERTIFY THAT I HAVE LOCATED AND MARKED THE PROPOSED PCS INSTALLATION AND EXISTING FEATURES.

Brian L. Sutphin, L.S. Virginia L.S. No. 2879 Date

**ZONING INFORMATION**

SUBJECT SITE ZONING: A-1  
 ADJACENT ZONING: TOWER SETBACKS:  
 NORTH: A-1 FRONT: 125' (100X X TOWER HEIGHT)  
 SOUTH: A-1 REAR: 125' (100X X TOWER HEIGHT)  
 EAST: A-1 SIDES: 125' (100X X TOWER HEIGHT)  
 WEST: A-1

Line	Bearing	Distance
L1	S 77°02'21" W	33.31'
L2	S 28°29'57" W	83.46'
L3	S 09°07'38" E	128.88'
L4	S 10°48'22" W	188.84'
L5	S 21°33'23" W	84.98'
L6	S 43°08'04" W	110.44'

Curve	Delta Angle	Radius	Arc Length	Chord Bearing	Chord Length
C1	77°00'00"	75.00'	100.00'	S 28°29'57" W	83.46'
C2	21°38'01"	450.00'	188.85'	S 10°48'22" W	188.84'
C3	41°02'25"	157.35'	112.64'	S 43°08'04" W	110.44'



- IRON FOUND
- IRON SET
- COMPUTED POINT
- P.K. NAIL SET
- GPS MONUMENT
- ⊙ MONUMENT BOX FOUND
- ⊙ MONUMENT FOUND
- ⊙ MONUMENT SET
- (R) RECORD
- (M) MEASURED
- STORM MANHOLE
- CATCH BASIN
- SQUARE CATCH BASIN
- SANITARY MANHOLE
- SANITARY CLEAN-OUT
- MONITOR WELL
- TELCO MANHOLE
- POWER POLE
- BRK CLY
- LIGHT POLE
- ELECTRIC TRANSFORMER
- ELECTRIC METER
- ELECTRIC HANDHOLE
- WATER VALVE
- HYDRANT
- GAS METER
- GAS MARKER
- GAS VALVE
- TELEPHONE PEDESTAL
- SIGN POST
- FENCE LINE
- BENCHMARK
- POST

**LEGEND**  
 ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.

BEARING BASIS: VA SOUTH ZONE NAD83 AS DETERMINED BY GPS OBSERVATION

**BLUE RIDGE SURVEYING & MAPPING, INC.**  
 884 WEST STUART DRIVE  
 HILLSVILLE, VIRGINIA 24343  
 PHONE FAX 276 726 2022 - E-MAIL: brrs@brrs.com

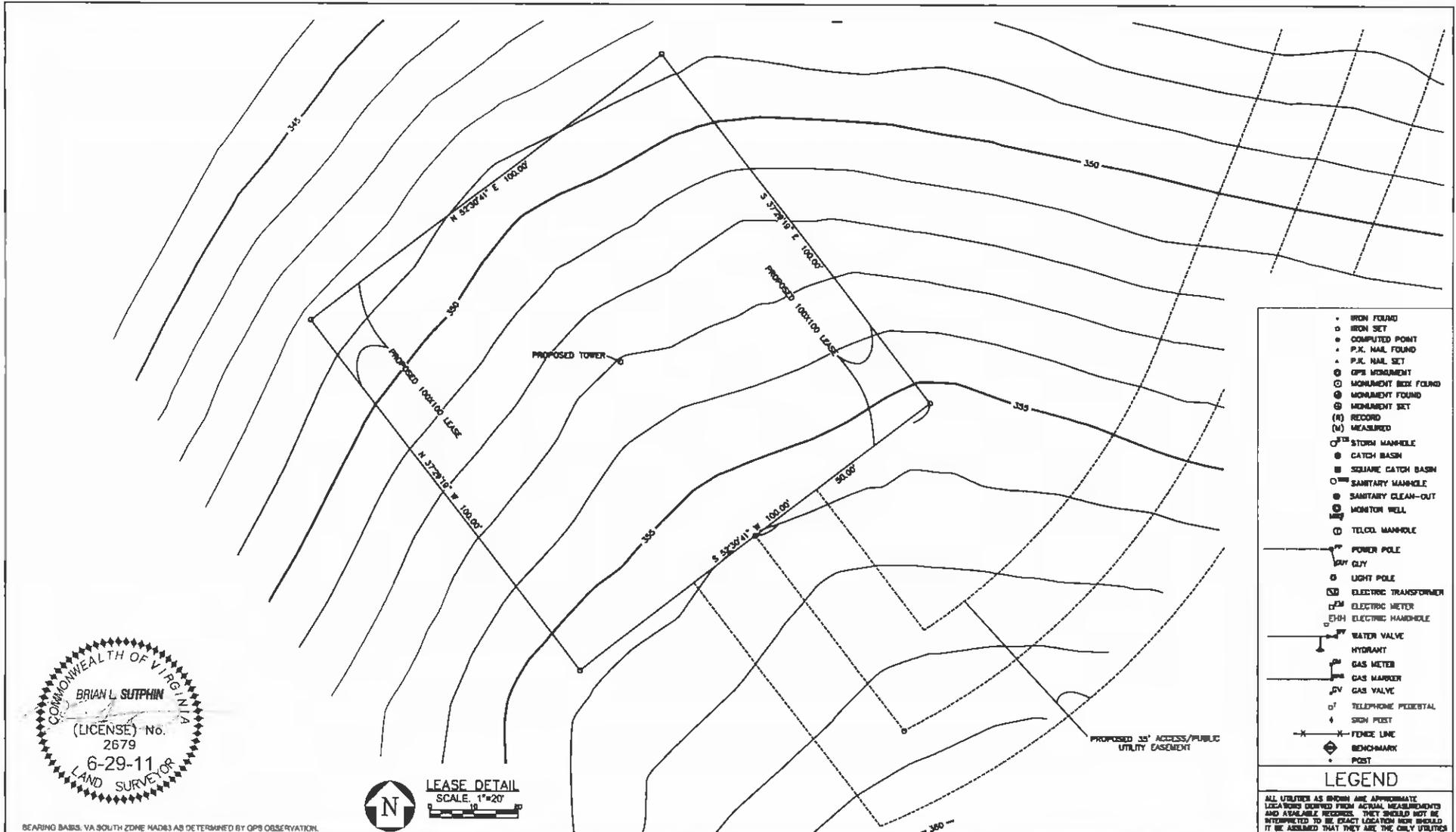
**(CST) CENTRAL STATES TOWER, INC.**  
 323 SOUTH MALE STREET  
 SUITE 100  
 WHEATON, IL 60157

**VA-00-2199 DIXIE**  
 7021 JAMES MADISON HWY  
 FORK UNION, VA 23055

NO.	DATE	REVISIONS	BY	CHK	APP'D
1	03/18/11	ISSUED FOR REVIEW	BLB		

SCALE: AS SHOWN DESIGNED BY: DRBEN BY: BLB

**SHEET S-1**  
**SURVEY PLAN**  
**DRAWING NUMBER**  
 1532



LEASE DETAIL  
SCALE: 1"=20'

BEARING BASIS, VA SOUTH ZONE NAD83 AS DETERMINED BY GPS OBSERVATION.

- IRON FOUND
- IRON SET
- COMPUTED POINT
- P.K. NAIL FOUND
- P.K. NAIL SET
- GPS MONUMENT
- MONUMENT BOX FOUND
- MONUMENT FOUND
- MONUMENT SET
- (R) RECORD
- (M) MEASURED
- <sup>ST</sup> STORM MANHOLE
- <sup>C</sup> CATCH BASIN
- <sup>SB</sup> SEWAGE CATCH BASIN
- <sup>S</sup> SANITARY MANHOLE
- <sup>SC</sup> SANITARY CLEAN-OUT
- <sup>M</sup> MONITOR WELL
- <sup>T</sup> TELCO. MANHOLE
- POWER POLE
- GUY
- LIGHT POLE
- <sup>ET</sup> ELECTRIC TRANSFORMER
- <sup>EM</sup> ELECTRIC METER
- <sup>EH</sup> ELECTRIC HANDHOLE
- WATER VALVE
- HYDRANT
- GAS METER
- GAS MARKER
- GAS VALVE
- <sup>T</sup> TELEPHONE PEDestal
- SIGN POST
- FENCE LINE
- BENCHMARK POST

**LEGEND**

ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS UNLESS IT IS ASSURED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.

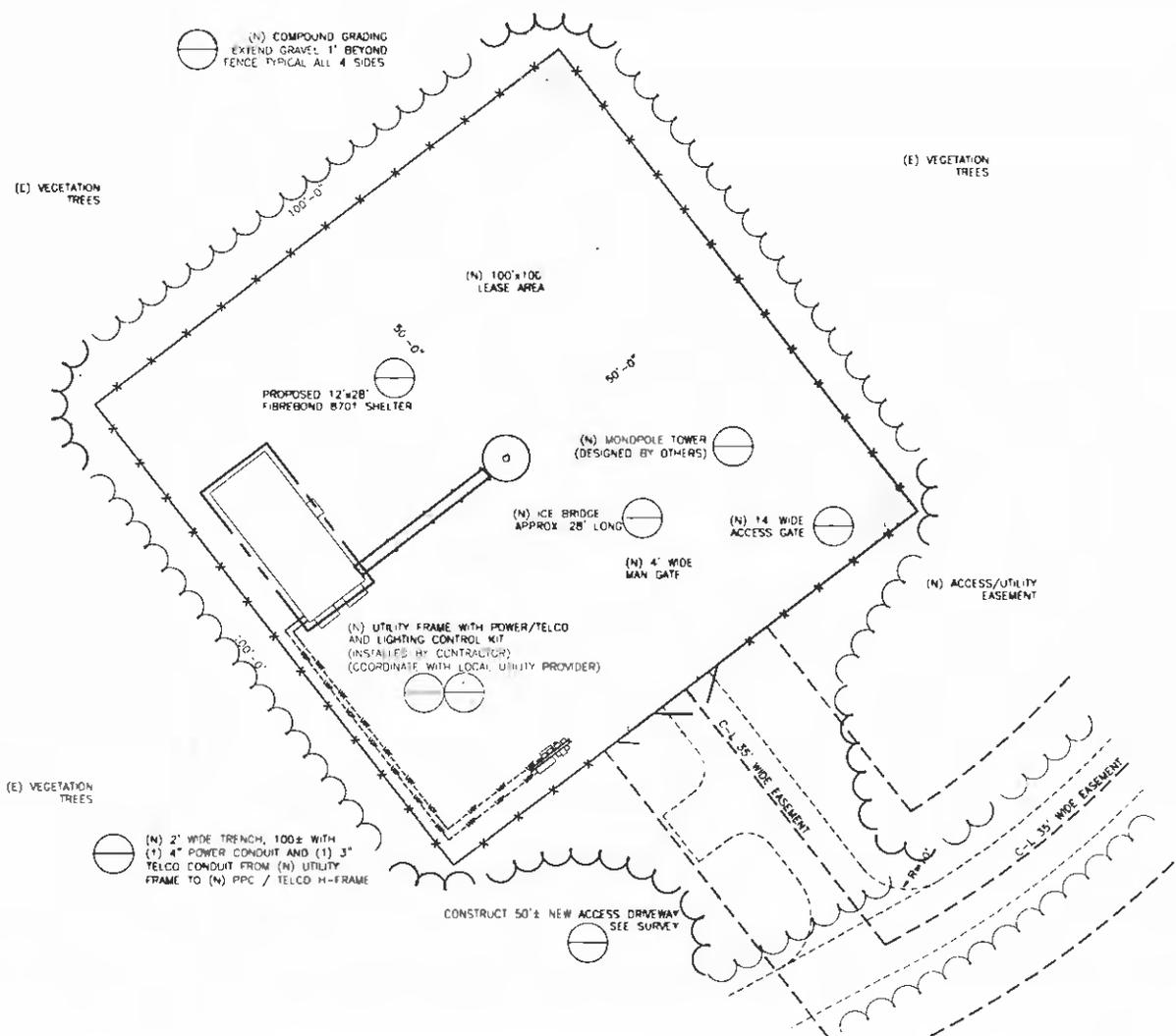
BLUE RIDGE SURVEYING & MAPPING, INC.  
884 WEST STUART DRIVE  
HILLSVILLE VIRGINIA 24343  
PHONE/FAX 278 728 2022 - EMAIL: bksurvey@comcast.net

**(CST)** CENTRAL STATES TOWER, INC.  
323 SOUTH HALE STREET  
SUITE 100  
WHEATON, IL 60187

VA-00-2199  
DIXIE  
±7021 JAMES MADISON HWY  
FORK UNION, VA 23055

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SHEET S-2  
LEASE DETAIL  
DRAWING NUMBER  
1532A



- NOTES**
- 1 ONLY CLEAR TREES NECESSARY TO CONSTRUCT THE ACCESS ROAD, PARKING AREA, AND WITHIN FENCED COMPOUND. VERIFY WITH CONSTRUCTION MANAGER PRIOR TO ANY REMOVAL.
  - 2 CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM PROPOSED SHELTER OR EXISTING COMPOUND AT A MINIMUM 1% AND MAXIMUM 5% GRADE.
  - 3 DIMENSIONS WITHIN COMPOUND SUBJECT TO CHANGE PENDING TOWER DIMENSION.
  - 4 REFER TO SURVEY FOR OVERALL SITE PLAN.
  - 5 CANOPY DESIGNED BY OTHERS. CONTRACTOR TO INSTALL AS REQUIRED BY MANUFACTURER'S RECOMMENDATIONS-SEE REFERENCE SHEET PROVIDED BY CLIENT.
  - 6 ICE BRIDGE AND COAX ROUTING SHALL BE VERIFIED WITH CONSTRUCTION MANAGER PRIOR TO INSTALLATION BY CONTRACTOR.

1 ENLARGE SITE PLAN  
SCALE 1" = 20'-0" (11"x17" SIZE)  
1" = 10'-0" (24"x36" SIZE)

N

WHITE PINE LAND COMPANY  
1110 COPPER RIDGE DR  
SUITE 255  
TRAVERSE CITY, MI 49684  
PH: 231-929-3434  
WWW.WP-LANDCOMPANIES.COM

**CST** CENTRAL STATES TOWER, INC.  
323 SOUTH HALE STREET  
SUITE 100  
WHEATON, IL 60187

VA-00-2199 DIXIE  
±7021 JAMES MADISON HWY  
FORK UNION, VA 23055

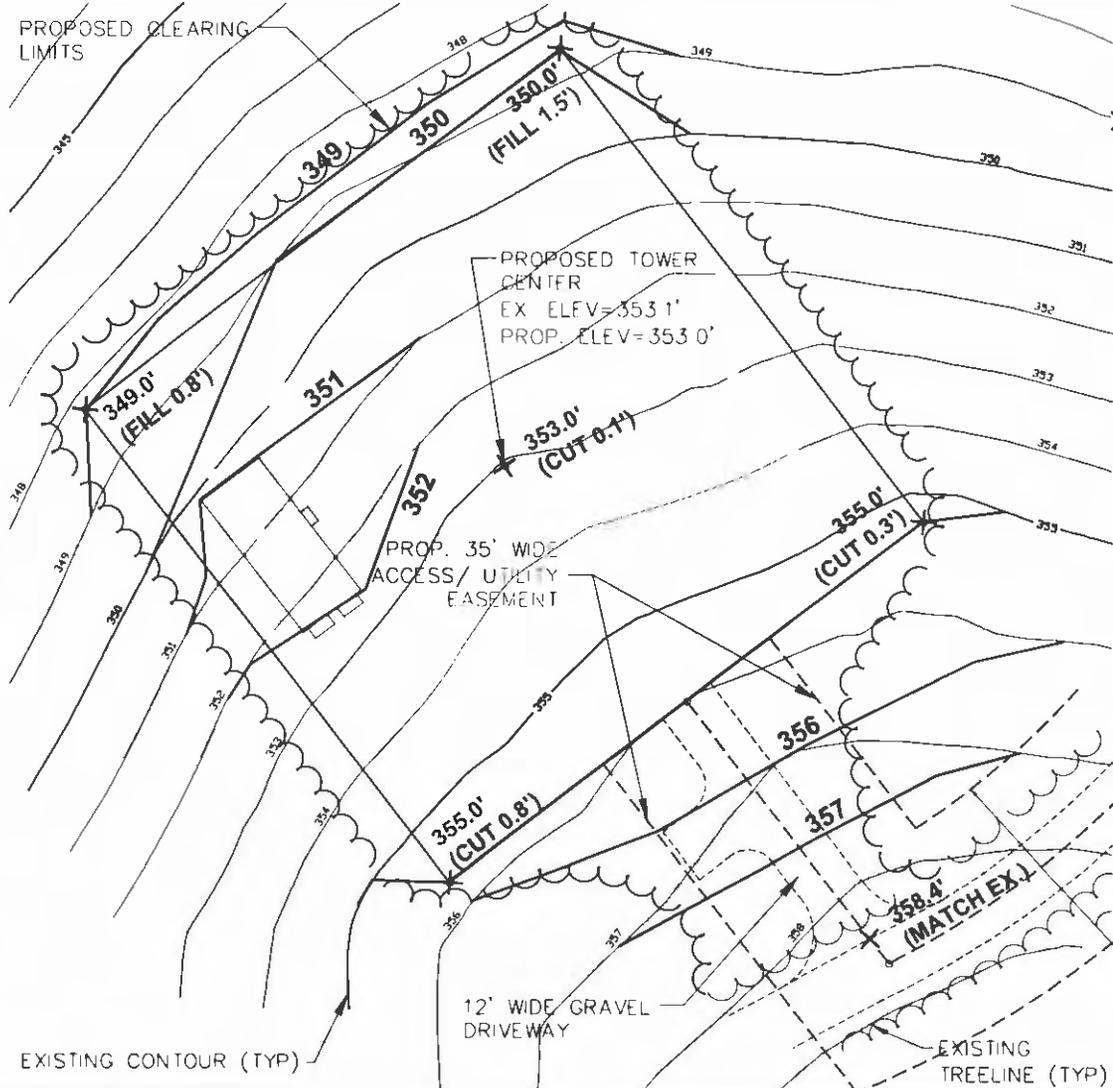
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SCALE	AS SHOWN	DESIGNED BY	DRAWN BY		

SHEET TITLE	
ENLARGED SITE PLAN	
SHEET NUMBER	
P - 1	

**SITE GRADING NOTES:**

1. SITE MAY HAVE BEEN ROUGHLY GRADED AND ALTERED SINCE THE ORIGINAL TOPO CONTOURS WERE MAPPED.
2. TEMPORARY GRADING EASEMENTS MAY BE REQUIRED FOR EARTHWORK PERFORMED OUTSIDE OF THE LEASE AREA AND ACCESS/UTILITY EASEMENT.
3. GRADE SITE TO DIVERT STORM WATER RUNOFF IN SHALLOW DITCHES OR SWALES FROM THE UPHILL SIDE OF LEASE AREA TO BYPASS AROUND THE SIDES OF THE LEASE AREA.
4. INSTALL TEMPORARY AND PERMANENT SOIL EROSION CONTROL DEVICES SUCH AS MULCH BLANKETS AND/OR ROCK CHECK DAMS AS REQUIRED TO AVOID EROSION NEAR THE LEASE AREA AND ALONG ROAD DITCHES.
5. REMOVE ALL TOPSOIL, ORGANIC MATERIAL, FROZEN SOIL, CLODS PRIOR TO PLACING ENGINEERED FILL MATERIAL.
6. SCARIFY SURFACE AND PROPERLY BENCH PRIOR TO PLACEMENT OF ENGINEERED FILL.
7. ENGINEERED FILL SHALL BE FREE FROM TOPSOIL, ORGANIC MATERIAL, FROZEN SOIL, CLODS OR OTHER HARMFUL MATERIAL.
8. SPREAD ENGINEERED FILL IN LEVEL LIFTS OF 9 INCHES OR LESS (LOOSE THICKNESS) AND COMPACT TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 (MODIFIED PROCTOR).
9. ALL ENGINEERED FILL SHALL BE PLACED AT OR NEAR OPTIMUM MOISTURE CONTENT.
10. A QUALIFIED GEOTECHNICAL ENGINEER SHOULD SUPERVISE ALL GEOTECHNICAL RELATED WORK, INCLUDING FOUNDATION CONSTRUCTION, SUBGRADE PREPARATION, AND ENGINEERED FILL PLACEMENT. THE GEOTECHNICAL ENGINEER SHOULD PERFORM THE APPROPRIATE TESTING TO CONFIRM THAT THE GEOTECHNICAL CONDITIONS GIVEN IN THE SOIL BORING AND ROCK CORING INVESTIGATION REPORT ARE FOUND DURING CONSTRUCTION.
11. THE CONTRACTOR SHALL, UPON BECOMING AWARE OF SUBSURFACE OR LATENT PHYSICAL CONDITIONS DIFFERING FROM THOSE DISCLOSED BY THE ORIGINAL SOIL INVESTIGATION WORK, PROMPTLY NOTIFY THE OWNER VERBALLY TO PERMIT VERIFICATION OF THE CONDITIONS, AND IN WRITING AS TO THE NATURE OF THE DIFFERING CONDITIONS. NO CLAIM BY THE CONTRACTOR FOR ANY CONDITIONS DIFFERING FROM THOSE ANTICIPATED IN THE PLANS AND SPECIFICATIONS AND DISCLOSED BY THE SOIL STUDIES WILL BE ALLOWED UNLESS THE CONTRACTOR HAS SO NOTIFIED THE OWNER, VERBALLY AND IN WRITING, AS REQUIRED ABOVE, OF SUCH DIFFERING SUBSURFACE CONDITIONS.

PROPOSED CLEARING LIMITS



**LEGEND**

- + 347.5' PROPOSED SPOT GRADE ELEVATION
- PROPOSED CONTOUR

**GENERAL NOTES:**

1. FILL SLOPES SHALL BE 1 VERTICAL TO 3 HORIZONTAL OR FLATTER WITHOUT TENSAR (OR EQUAL) GEO-GRID SOIL REINFORCEMENT. INSTALL PER MANUFACTURERS SPECIFICATIONS.
2. RESTORE ALL DISTURBED AREAS OUTSIDE FENCE AREA W/ TOPSOIL, SEED & MULCH. MULCH BLANKET TREATMENT SHALL BE USED ON ALL STEEP SLOPES TO STABILIZE AND MINIMIZE SOIL EROSION.
3. GRADE SITE TO APPROXIMATE SPOT ELEVATIONS AS SHOWN. NO EARTHWORK CALCULATIONS ARE SHOWN DUE TO MINIMAL SITE GRADING REQUIRED.



SCALE: 1" = 20'  
(11x17 SIZE)

**NOTIFY UTILITY COMPANIES BEFORE DIGGING**  
THE LOCATION OF THE EXISTING UTILITIES, AS SHOWN ON THIS PLAN, ARE APPROXIMATE ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ACTUAL LOCATION AND DEPTH OF ALL EXISTING UTILITIES. THE OWNER AND THE SURVEYOR SHALL NOT BE RESPONSIBLE FOR ANY OMISSION OR VARIATION FROM THE LOCATION SHOWN. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-552-7001. VIRGINIA LAW REQUIRES 48 HOURS NOTICE FOR CONSTRUCTION PHASE AND 10 DAYS IN DESIGN STAGE.

87

WHITE PINE LAND COMPANY  
4810 COPPER RIDGE DR  
SUITE 255  
TRAVERSE CITY, MI 49684  
PH: 231-929-3424  
WWW.WHITOPRECIPANIES.COM



CENTRAL STATES TOWER, INC.  
323 SOUTH HALE STREET  
SUITE 100  
WHEATON, IL 60187

VA-00-2199 DIXIE  
47021 JAMES MADISON HWY  
FORK UNION, VA 23055

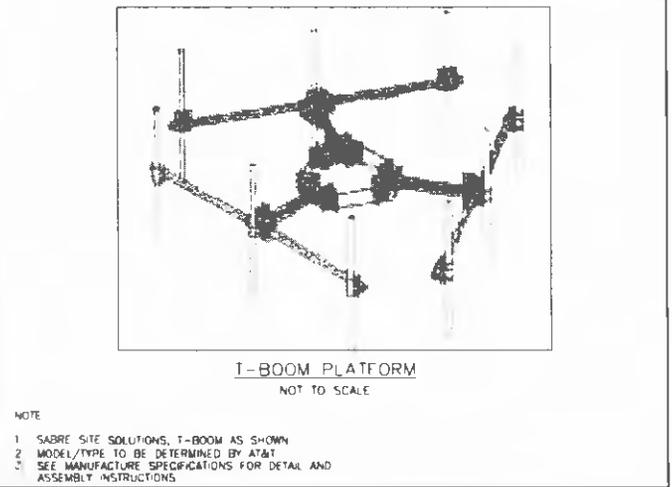
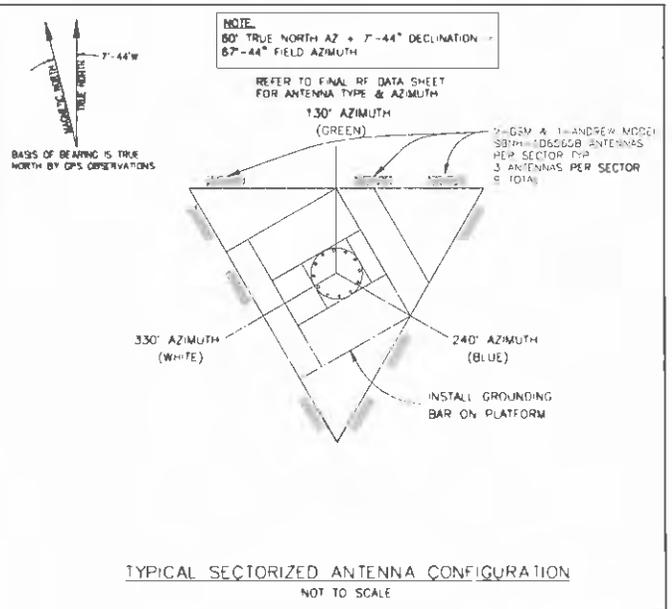
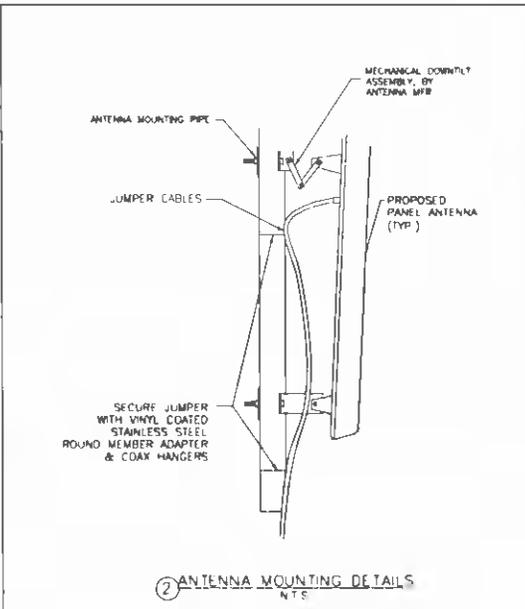
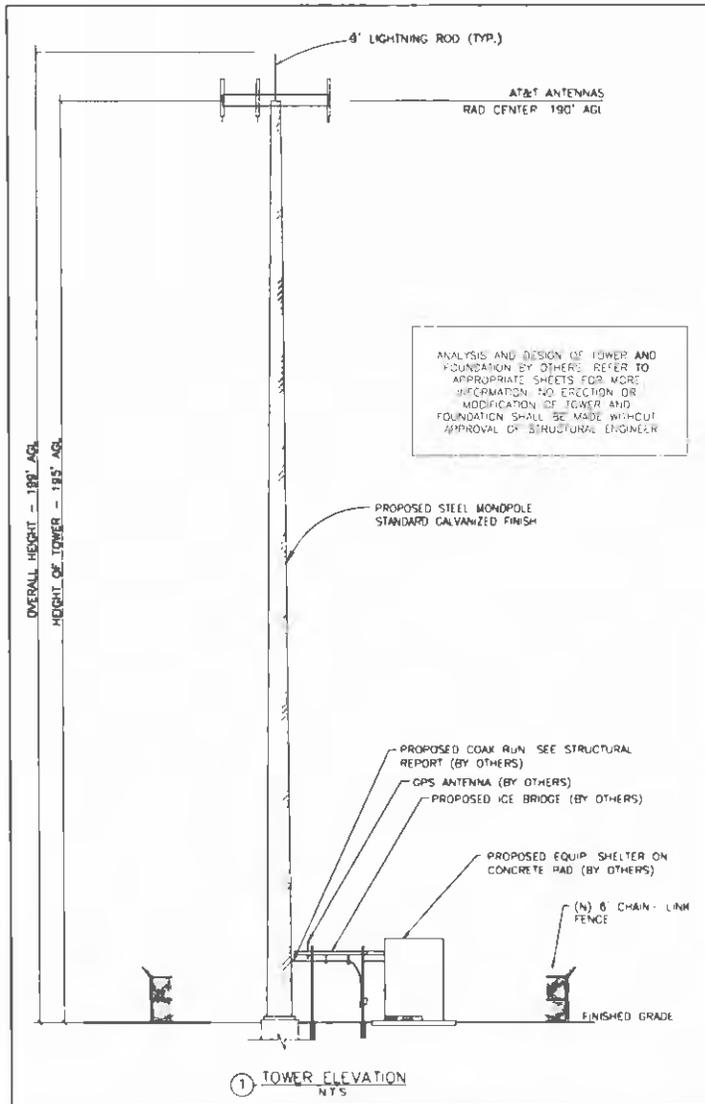
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SHEET TITLE

SITE GRADING PLAN

SHEET NUMBER

P-2



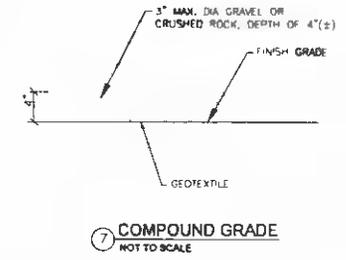
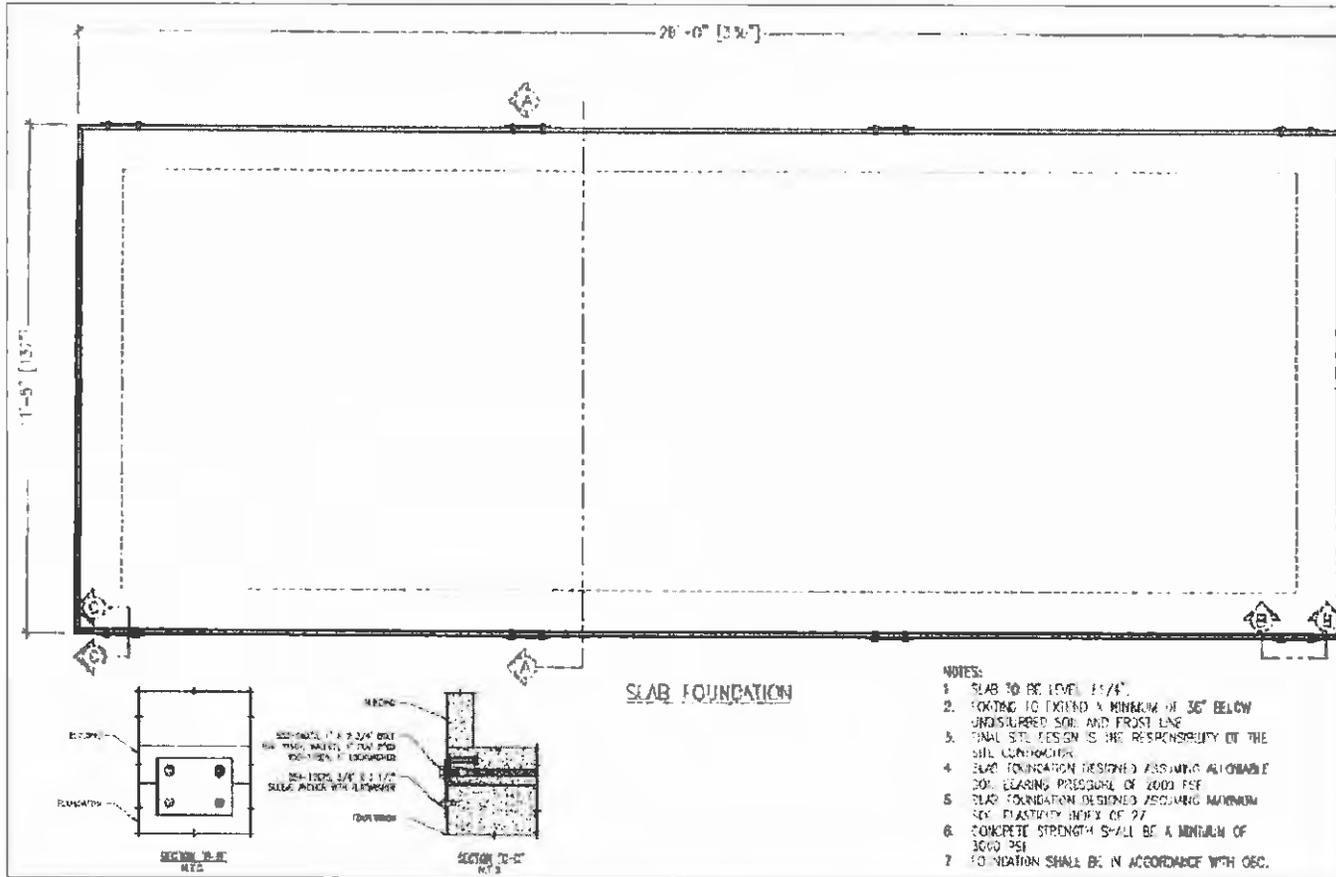
WHITE PINE LAND COMPANY  
410 COPPER RIDGE DR  
SUITE 250  
TRAMERSVILLE, TN 37084  
PH: 231-929-3431  
www.whitepine.com

**CST** CENTRAL STATES TOWER, INC.  
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SUITE 100  
WHEATON, IL 60187

VA-00-2199 DIXIE  
47021 JAMES MADISON HWY  
FORK UNION, VA 23055

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SCALE	AS SHOWN	DESIGNED BY		DRAWN BY	

SHEET TITLE	
TOWER ELEVATION & DETAILS	
SHEET NUMBER	
C-1	



**FIBREBOND CORPORATION**  
1300 Davenport Drive  
Minden, Louisiana 71055 800-824-2614



**12'x28' D8701 FIBREBOND EQUIPMENT SHELTER,  
SPECIFICATIONS TO BE SUBMITTED WITH BP APPLICATION.**

WHITE PINE LAND COMPANY  
4110 WOODLAW RIDGE DR  
SUITE 253  
TRAVERSE CITY, MI 49684  
Ph: 231-929-3431  
www.whitepinecompanies.com



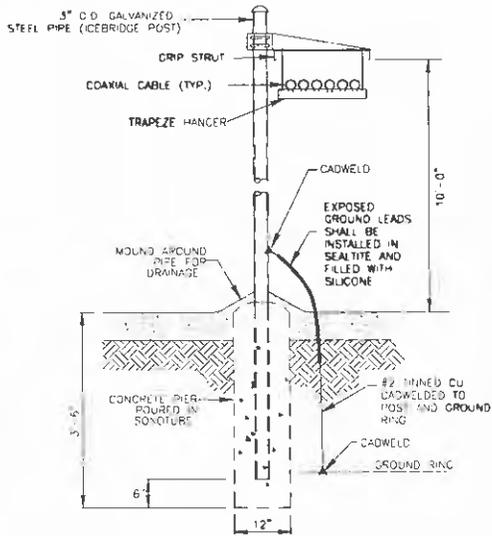
**CENTRAL STATES TOWER, INC**  
323 SOUTH MALE STREET  
SUITE 100  
WHEATON, IL 60187

VA-00-2199 DIXIE  
17021 JAMES MADISON HWY  
FORK UNION, VA 23055

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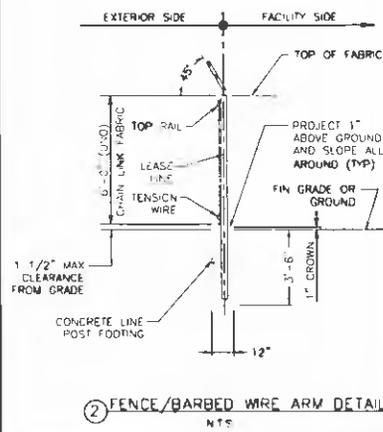
SCALE: AS SHOWN      DESIGNED BY:      DRAWN BY:

SHEET TITLE	
FOUNDATION PLAN & H-FRAME DETAILS	
SHEET NUMBER	
C-2	

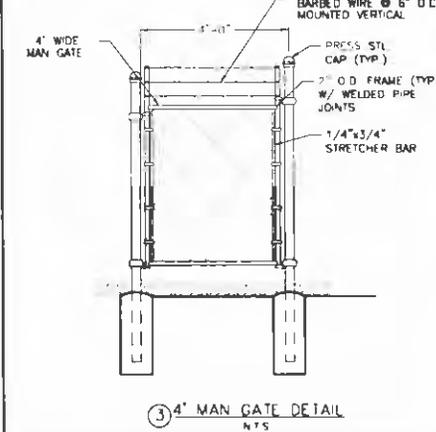


1 ICE BRIDGE DETAIL  
NOT TO SCALE

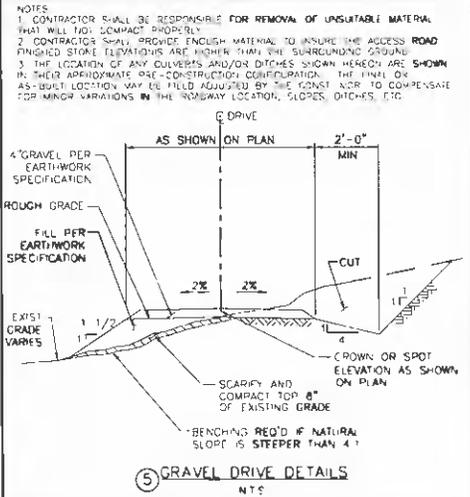
- NOTES:
1. WHEN USING COMPONENTS AS SHOWN IN STANDARD DETAILS, MAXIMUM ALLOWABLE SPAN BETWEEN SUPPORTS ON A CONTINUOUS SINGLE SECTION OF BRIDGE CHANNEL SHALL BE 9 FEET FOR 10 FEET BRIDGE CHANNEL.
  2. WHEN USING COMPONENTS FOR SPLICING BRIDGE CHANNEL SECTIONS THE SPLICE SHOULD BE PROVIDED AT THE SUPPORT, IF POSSIBLE, OR AT A MAXIMUM OF 2 FEET FROM THE SUPPORT.
  3. WHEN USING COMPONENTS, SUPPORT SHOULD BE PROVIDED AS CLOSE AS POSSIBLE TO THE ENDS OF ICE BRIDGES, WITH A MAXIMUM CANTILEVER DISTANCE OF 2 FEET FROM THE SUPPORT TO THE FREE END OF THE ICE BRIDGE.
  4. CUT BRIDGE CHANNEL SECTIONS SHALL HAVE RAW EDGES TREATED WITH A MATERIAL TO RESTORE THESE EDGES TO THE ORIGINAL CHANNEL, OR EQUIVALENT, FINISH, SOFTNER TO BE PLACED OVER END.
  5. ICE BRIDGES MAY BE CONSTRUCTED WITH COMPONENTS FROM OTHER MANUFACTURERS, PROVIDED THE MANUFACTURER'S INSTALLATION GUIDELINES ARE FOLLOWED.
  6. DEVIATIONS FROM STANDARDS FOR COMPONENT INSTALLATIONS ARE PERMITTED WITH THE RESPECTIVE MANUFACTURER'S APPROVAL.
  7. DEVIATIONS FROM ICE BRIDGE FOUNDATIONS REQUIRE ENGINEERING APPROVAL.
  8. THE DESIGN IS BASED ON ASCE 7-98, 3 SECOND GUST WIND SPEED OF 110 MPH, EXPOSURE C, ELEVATION AT GRADE.
  9. THIS DESIGN IS BASED ON 24\"/>



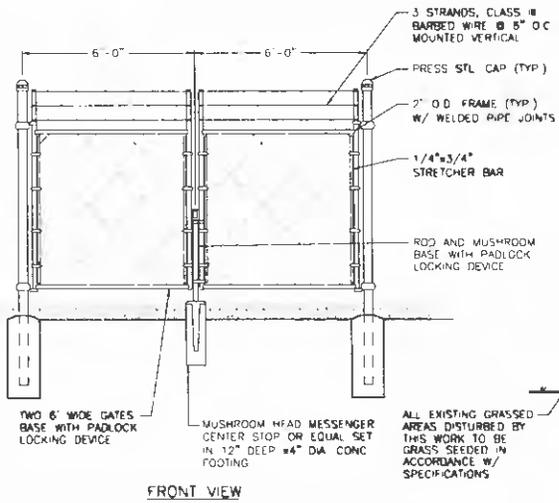
2 FENCE/BARBED WIRE ARM DETAIL  
NTS



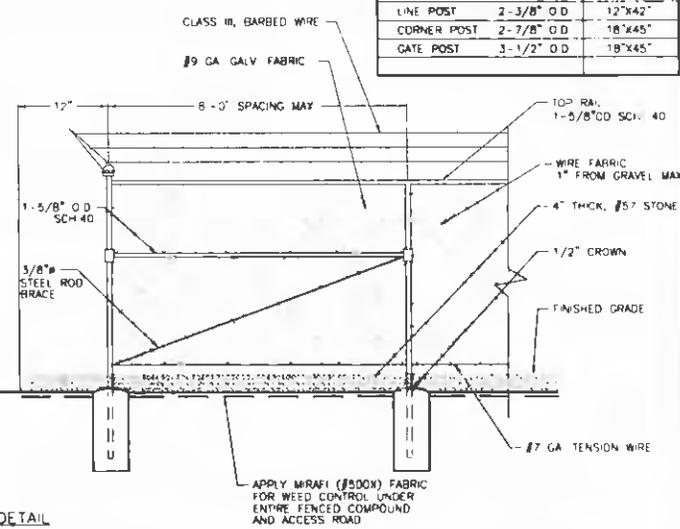
3 4' MAN GATE DETAIL  
NTS



5 GRAVEL DRIVE DETAILS  
NTS



4 FENCE AND GATE DETAIL  
NTS



	6 HIGH FENCE	FOOTINGS
LINE POST	2-3/8" O.D.	12"x42"
CORNER POST	2-7/8" O.D.	18"x45"
GATE POST	3-1/2" O.D.	18"x45"

- NOTES:
1. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF UNSUITABLE MATERIAL THAT WILL NOT COMPACT PROPERLY.
  2. CONTRACTOR SHALL PROVIDE ENOUGH MATERIAL TO INSURE THE ACCESS ROAD FINISHED STONE ELEVATIONS ARE HIGHER THAN THE SURROUNDING GROUND.
  3. THE LOCATION OF ANY CULVERTS AND/OR DITCHES SHOWN HEREOF ARE SHOWN IN THEIR APPROXIMATE PRE-CONSTRUCTION CONFIGURATION. THE FINAL OR AS-BUILT LOCATION MAY BE FIELD ADJUSTED BY THE CONTRACTOR TO COMPENSATE FOR MINOR VARIATIONS IN THE ROADWAY LOCATION, SLOPES, DITCHES, ETC.

WHITE PINE LAND COMPANY  
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TRAVERSE CITY, MI 49684  
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CENTRAL STATES TOWER, INC  
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WHEATON, IL 60187

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SCALE: AS SHOWN    DESIGNED BY:    DRAWN BY:

SHEET TITLE	
ICE BRIDGE & FENCE DETAILS	
SHEET NUMBER	
C-3	

**SITE WORK GENERAL NOTES**

1. THE SUBCONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES PRIOR TO THE START OF CONSTRUCTION.
2. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY CONTRACTOR. EXTREME CAUTION SHOULD BE USED BY THE SUBCONTRACTOR WHEN EXCAVATING OR DRILLING PIERS AROUND OR NEAR UTILITIES. SUBCONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS WILL INCLUDE, BUT NOT BE LIMITED TO: A) FALL PROTECTION B) CONFINED SPACE C) ELECTRICAL SAFETY D) TRENCHING & EXCAVATION.
2. ALL SITE WORK SHALL BE AS INDICATED ON THE DRAWINGS AND PROJECT SPECIFICATIONS.
4. IF NECESSARY, RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
5. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF CONTRACTOR, OWNER AND/OR LOCAL UTILITIES.
6. THE SUBCONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE.
7. THE SUBCONTRACTOR SHALL PROVIDE SITE SIGNAGE IN ACCORDANCE WITH THE TECHNICAL SPECIFICATION FOR SITE SIGNAGE.
8. THE SITE SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE BID EQUIPMENT AND TOWER AREAS.
9. NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND. FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.
10. THE SUB GRADE SHALL BE COMPACTED AND BROUGHT TO A SMOOTH UNIFORM GRADE PRIOR TO FINISHED SURFACE APPLICATION.
11. THE AREAS OF THE OWNERS PROPERTY (DISTURBED BY THE WORK AND NOT COVERED BY THE TOWER, EQUIPMENT OR DRIVEWAY, SHALL BE GRADED TO A UNIFORM SLOPE, AND STABILIZED TO PREVENT EROSION AS SPECIFIED IN THE PROJECT SPECIFICATIONS.
12. SUBCONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE LOCAL GUIDELINES FOR EROSION AND SEDIMENT CONTROL.

**STRUCTURAL STEEL NOTES**

1. ALL STEEL WORK SHALL BE PAINTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND IN ACCORDANCE WITH ASTM A36 UNLESS OTHERWISE NOTED.
2. ALL WELDING SHALL BE PERFORMED USING E70XX ELECTRODES AND WELDING SHALL CONFORM TO AISC, WHERE FILLET WELD SIZES ARE NOT SHOWN, PROVIDE THE MINIMUM SIZE PER TABLE J2.4 IN THE AISC "MANUAL OF STEEL CONSTRUCTION". PAINTED SURFACES SHALL BE TOUCHED UP.
3. BOLTED CONNECTIONS SHALL BE ASTM A325 BEARING TYPE (3/4") CONNECTIONS AND SHALL HAVE MINIMUM OF TWO BOLTS UNLESS NOTED OTHERWISE.
4. NON-STRUCTURAL CONNECTIONS FOR STEEL GRATING MAY USE 5/8" DIA ASTM A 307 BOLTS UNLESS NOTED OTHERWISE.
5. INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHOR, SHALL BE PER MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS, NO REBAR SHALL BE CUT WITHOUT PRIOR CONTRACTOR APPROVAL. WHEN DRILLING HOLES IN CONCRETE SPECIAL INSPECTIONS, REQUIRED BY GOVERNING CODES, SHALL BE PERFORMED IN ORDER TO MAINTAIN MANUFACTURER'S MAXIMUM ALLOWABLE LOADS.

**CONCRETE AND REINFORCING STEEL NOTES**

1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318, ACI 318R, ACI 318M, ACI 318S AND THE DESIGN AND CONSTRUCTION SPECIFICATION FOR CAST-IN-PLACE CONCRETE.
2. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS, UNLESS NOTED OTHERWISE. CONCRETE CYLINDER BREAK TESTS SHALL BE PERFORMED ON 7, 14 AND 28 DAYS FOR THE TOWER FOUNDATION.
3. REINFORCING STEEL SHALL CONFORM TO ASTM A 615, GRADE 60, DEFORMED UNLESS NOTED OTHERWISE. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185 WELDED STEEL WIRE FABRIC UNLESS NOTED OTHERWISE. SPLICES SHALL BE CLASS "B" AND ALL HOOKS SHALL BE STANDARD, UNO.
4. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS SHOWN OTHERWISE ON DRAWINGS:
 

CONCRETE CAST AGAINST EARTH	3 IN
CONCRETE EXPOSED TO EARTH OR WEATHER	2 IN
#5 AND LARGER	2 IN
#5 AND SMALLER & WWF	1-1/2 IN
CONCRETE NOT EXPOSED TO EARTH OR WEATHER OR NOT CAST AGAINST THE GROUND	
SLAB AND WALL	3/4 IN
BEAMS AND COLUMNS	1-1/2 IN
5. A CHAMFER 3/4" SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE, UNO IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.
6. INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHOR SHALL BE PER MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR ENGINEERING APPROVAL. WHEN DRILLING HOLES IN CONCRETE EXPANSION BOLTS SHALL BE PROVIDED BY RAMSET/RED-HEAD OR APPROVED EQUAL.

**GENERAL NOTES**

1. FOR THE PURPOSE OF CONSTRUCTION DRAWING, THE FOLLOWING DEFINITIONS SHALL APPLY:
  - CONTRACTOR - WHITE PINE LAND COMPANY / SSI COMMUNICATIONS, LLC
  - SUBCONTRACTOR - GENERAL CONTRACTOR (CONSTRUCTION)
  - OWNER - CENTRAL STATES TOWER, INC (CST) / AT&T
  - DEM - ORIGINAL EQUIPMENT MANUFACTURER
2. PRIOR TO THE SUBMISSION OF BIDS, THE BIDDING SUBCONTRACTOR SHALL VISIT THE CELL SITE TO FAMILIARIZE WITH THE EXISTING CONDITIONS AND TO CONFIRM THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN ON THE CONSTRUCTION DRAWINGS. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE ATTENTION OF CONTRACTOR.
3. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. SUBCONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
4. DRAWINGS PROVIDED HERE ARE NOT TO SCALE AND ARE INTENDED TO SHOW OUTLINE ONLY.
5. UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES, AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
6. THE SUBCONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
7. IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE SUBCONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY THE CONTRACTOR.
8. SUBCONTRACTOR SHALL DETERMINE ACTUAL ROUTING OF CONDUIT, POWER AND 11 CABLES, GROUNDING CABLES AS SHOWN ON THE POWER, GROUNDING AND TOWER PLAN DRAWING AND DOCUMENT.
9. THE SUBCONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT SUBCONTRACTOR'S EXPENSE TO THE SATISFACTION OF OWNER.
10. SUBCONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.
11. SUBCONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION.
12. CONSTRUCTION SHALL COMPLY WITH SPECIFICATION 24782-000 - SIPS-AD02-00002, "GENERAL CONSTRUCTION SERVICES FOR CONSTRUCTION OF AT&T GSM SITES" AS APPLICABLE.
13. ALL ABOVE GROUND CONDUITS TO BE SCHEDULE 80.

**APPLICABLE BUILDING CODES AND STANDARDS**

SUBCONTRACTORS WORK SHALL COMPLY WITH ALL THE APPLICABLE NATIONAL, STATE AND LOCAL CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION (AMJ) FOR THE LOCATION. THE EDITION OF THE AMJ ADOPTED CODES AND STANDARDS IN EFFECT ON THE DATE OF THE CONTRACT AWARD SHALL GOVERN THE DESIGN.

INTERNATIONAL BUILDING CODE (IBC 2000 OR LATEST EDITION)

NATIONAL ELECTRICAL CODE (NEC 2002 PART B STATE AMENDMENTS) WITH LOCAL UNDERWRITER LABORATORIES APPROVED ELECTRICAL PRODUCTS.

LIFE SAFETY CODE NFPA - 101

SUBCONTRACTOR'S WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING:

- AMERICAN CONCRETE INSTITUTE (ACI) 318, BUILDING CODE REQUIREMENT FOR STRUCTURAL
- AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC), MANUAL OF STEEL CONSTRUCTION (ASD)
- TELECOMMUNICATIONS INDUSTRY ASSOCIATION (TIA) EA-222-G, STRUCTURAL STANDARD FOR STRUCTURAL ANTENNA TOWER AND ANTENNA SUPPORTING STRUCTURES
- INSTITUTE FOR ELECTRICAL AND ELECTRONICS ENGINEERS (IEEE) B1, GUIDE FOR MEASURING EARTH RESISTIVITY, GROUND IMPEDENCE AND EARTH SURFACE POTENTIAL OF A GROUND SYSTEM
- IEEE 1100 (1988) RECOMMENDED PRACTICE FOR POWERING AND GROUNDING OF ELECTRONIC EQUIPMENT
- IEEE C62.41, RECOMMENDED PRACTICES ON SURGE VOLTAGES IN LOW VOLTAGE AC POWER CIRCUITS (FOR LOCATION CATEGORY "C3" AND HIGH SYSTEM EXPOSURE)
- TIA 607 COMMERCIAL BUILDING GROUNDING AND BONDING REQUIREMENTS FOR TELECORDIA CR-1503 COAXIAL CABLE CONNECTIONS.

FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS REGARDING MATERIAL METHODS OF CONSTRUCTION OR OTHER REQUIREMENTS, THE MOST RESTRICTIVE REQUIREMENT SHALL GOVERN. WHERE THERE IS A CONFLICT BETWEEN A GENERAL REQUIREMENT AND A SPECIFIC REQUIREMENT, THE SPECIFIC REQUIREMENT SHALL GOVERN.

**ABBREVIATIONS & SYMBOLS**

SYMBOLS		ABBREVIATIONS	
	SOLID GROUND BUS BAR	AGL	ABOVE GRADE LEVEL
	SOLID NEUTRAL BUS BAR	BTS	BASE TRANSCIVER STATION
	SUPPLEMENTAL GROUND CONDUCTOR	(E)	EXISTING
	2-POLE THERMAL-MAGNETIC CIRCUIT BREAKER	MIN	MINIMUM
	SINGLE-POLE THERMAL-MAGNETIC CIRCUIT BREAKER	N.T.S	NOT TO SCALE
	CHEMICAL GROUND ROD	REF	REFERENCE
	GROUND ROD	RF	RADIO FREQUENCY
	DISCONNECT SWITCH	T.B.D.	TO BE DETERMINED
	METER	T.B.P	TO BE RESOLVED
	EXOTHERMIC WELD (CADWELD) (UNLESS OTHERWISE NOTED)	TYP	TYPICAL
	MECHANICAL CONNECTION (UNLESS OTHERWISE NOTED)	REQ	REQUIRED
	5/8" = 10' COPPER CLAD STEEL GROUND	EGR	EQUIPMENT GROUND RING
	5/8" = 10' COPPER CLAD STEEL GROUND ROD WITH INSPECTION SLEEVE	AWG	AMERICAN WIRE GAUGE
	EXOTHERMIC WELD (CADWELD) WITH INSPECTION SLEEVE	MGB	MASTER GROUND BUS
	GROUNDING WIRE	EG	EQUIPMENT GROUND
		BCW	BARE COPPER WIRE
		SIAD	SMART INTEGRATED ACCESS DEVICE
		GEN	GENERATOR
		IGR	INTERIOR GROUND RING (HALO)
		RBS	RADIO BASE STATION

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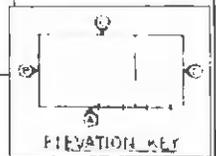
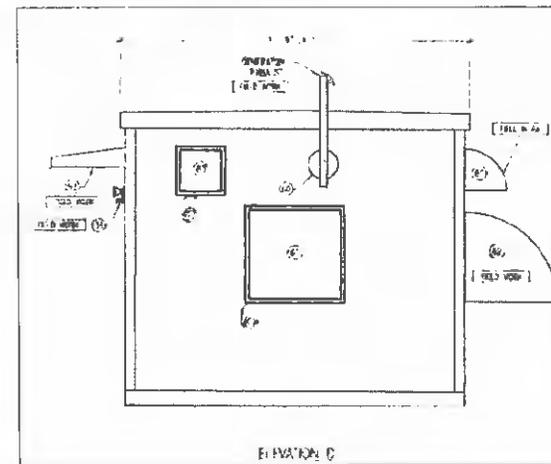
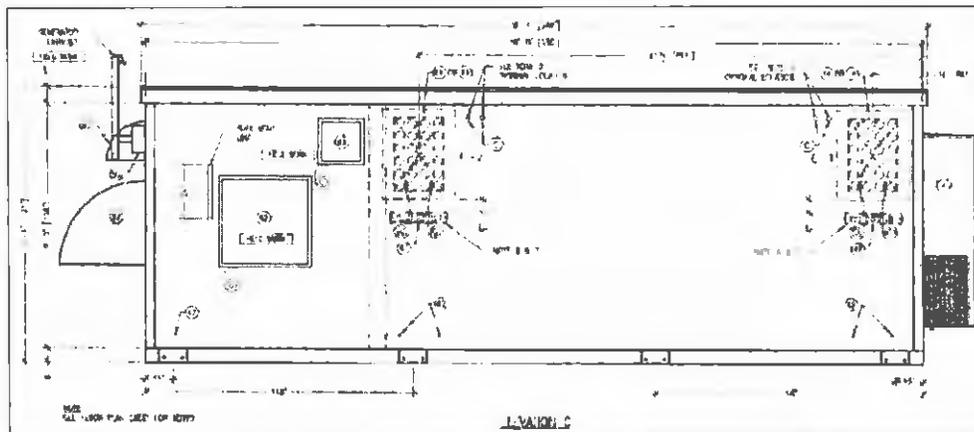
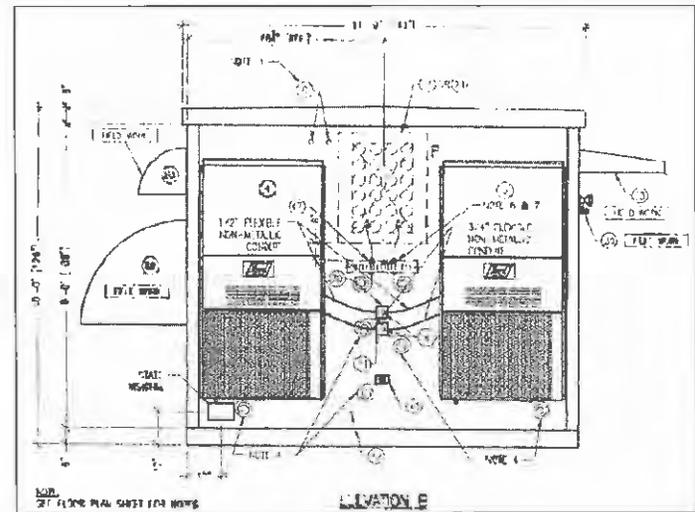
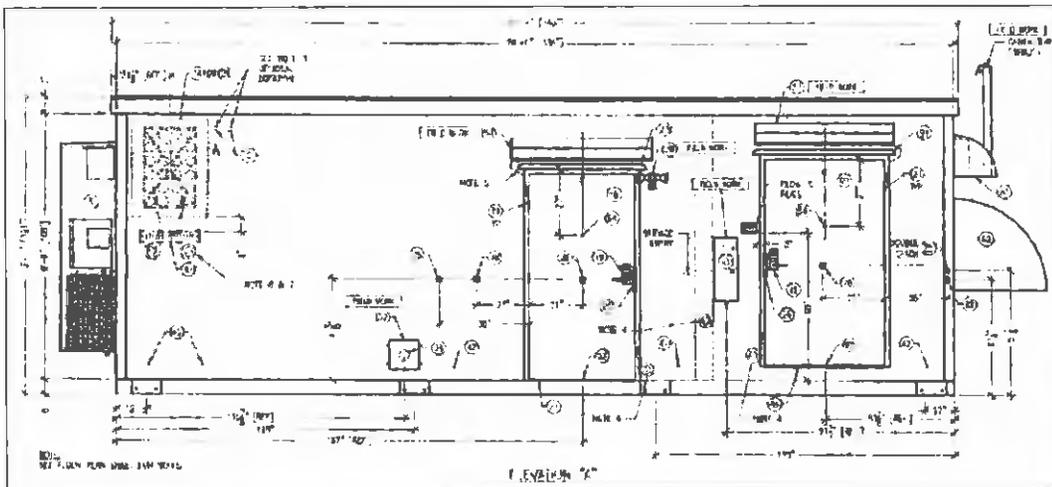


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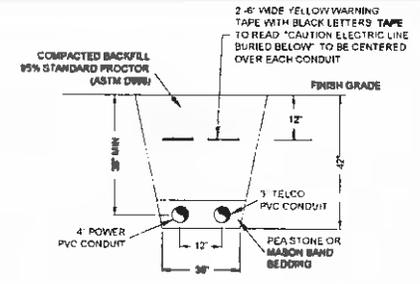
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FIBREBOND ELEVATION DETAILS
SHEET NUMBER
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**ELECTRICAL INSTALLATION NOTES:**

- ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, NEC AND ALL APPLICABLE LOCAL CODES.
- CONDUIT ROUTINGS ARE SCHEMATIC. SUBCONTRACTOR SHALL INSTALL CONDUITS SO THAT ACCESS TO EQUIPMENT IS NOT BLOCKED.
- WIRING, RACEWAY AND SUPPORT METHODS AND MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE NEC.
- ALL CIRCUITS SHALL BE SEGREGATED AND MAINTAIN MINIMUM CABLE SEPARATION AS REQUIRED BY THE NEC.
- CABLES SHALL NOT BE ROUTED THROUGH LADDER-STYLE CABLE TRAY RUNGS.
- EACH END OF EVERY POWER, POWER PHASE CONDUCTOR (I.F., HGSS), GROUNDING, AND T1 CONDUCTOR AND CABLE SHALL BE LABELED WITH COLOR-CODED INSULATION OR ELECTRICAL TAPE (3M BRAND, 1/2" PLASTIC ELECTRICAL TAPE WITH UV PROTECTION, OR EQUAL). THE IDENTIFICATION METHOD SHALL CONFORM WITH NEC & OSHA.
- ALL ELECTRICAL COMPONENTS SHALL BE CLEARLY LABELED WITH PLASTIC TAPE PER COLOR SCHEDULE. ALL EQUIPMENT SHALL BE LABELED WITH THEIR VOLTAGE RATING, PHASE CONFIGURATION, WIRE CONFIGURATION, POWER OR AMPACITY RATING, AND BRANCH CIRCUIT ID NUMBERS (I.E., PANELBOARD AND CIRCUIT ID'S).
- PANELBOARDS (ID NUMBERS) AND INTERNAL CIRCUIT BREAKERS (CIRCUIT ID NUMBERS) SHALL BE CLEARLY LABELED WITH PLASTIC LABELS.
- ALL TIE WRAPS SHALL BE CUT FLUSH WITH APPROVED CUTTING TOOL TO REMOVE SHARP EDGES.
- POWER, CONTROL, AND EQUIPMENT GROUND WIRING IN TUBING OR CONDUIT SHALL BE SINGLE CONDUCTOR (#14 AWG OR LARGER), 600 V., OIL RESISTANT THHN OR THWN-2 CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (WET AND DRY) OPERATION, LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED, UNLESS OTHERWISE SPECIFIED.
- SUPPLEMENTAL EQUIPMENT GROUND WIRING LOCATED INDOORS SHALL BE SINGLE CONDUCTOR (#6 AWG OR LARGER), 600 V., OIL RESISTANT THHN OR THWN-2 GREEN INSULATION, CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (WET AND DRY) OPERATION, LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED, UNLESS OTHERWISE SPECIFIED.
- POWER AND CONTROL WIRING, NOT IN TUBING OR CONDUIT, SHALL BE MULTI-CONDUCTOR, TYPE TC CABLE (#14 AWG OR LARGER), 600 V., OIL RESISTANT THHN OR THWN-2, CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (WET AND DRY) OPERATION, WITH OUTER JACKET, LISTED OR LABELED FOR THE LOCATION USED, UNLESS OTHERWISE SPECIFIED.
- ALL POWER AND GROUNDING CONNECTIONS SHALL BE CRIMP-STYLE, COMPRESSION WIRE LUGS AND WRENUTS BY THOMAS AND BETTS (OR EQUAL). LUGS AND WRENUTS SHALL BE RATED FOR OPERATION AT NO LESS THAN 75°C (90°C IF AVAILABLE).
- RACEWAY AND CABLE TRAY SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANS/IEEE, AND NEC.
- ELECTRICAL METALLIC TUBING (EMT) OR RIGID NONMETALLIC CONDUIT (I.E., RIGID PVC SCHEDULE 40 OR RIGID PVC SCHEDULE 80 FOR LOCATIONS SUBJECT TO PHYSICAL DAMAGE) SHALL BE USED FOR EXPOSED INDOOR LOCATIONS.
- ELECTRICAL METALLIC TUBING (EMT), ELECTRICAL NONMETALLIC TUBING (ENT), OR RIGID NONMETALLIC CONDUIT (RIGID PVC, SCHEDULE 40) SHALL BE USED FOR CONCEALED INDOOR LOCATIONS.
- GALVANIZED STEEL INTERMEDIATE METALLIC CONDUIT (IMC) SHALL BE USED FOR OUTDOOR LOCATIONS ABOVE GRADE.
- RIGID NONMETALLIC CONDUIT (I.E., RIGID PVC SCHEDULE 40 OR RIGID PVC SCHEDULE 80) SHALL BE USED UNDERGROUND, DIRECT BURIED, IN AREAS OF OCCASIONAL LIGHT VEHICLE TRAFFIC OR ENCASED IN REINFORCED CONCRETE IN AREAS OF HEAVY VEHICLE TRAFFIC.
- LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT (LIQUID-TITE FLEX) SHALL BE USED INDOORS AND OUTDOORS, WHERE VIBRATION OCCURS OR FLEXIBILITY IS NEEDED.
- CONDUIT AND TUBING FITTINGS SHALL BE THREADED OR COMPRESSION-TYPE AND APPROVED FOR THE LOCATION USED. SETSCREW FITTINGS ARE NOT ACCEPTABLE.
- CABINETS, BOXES, AND WIREWAYS SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANS/IEEE, AND NEC.
- WIREWAYS SHALL BE EPOXY-COATED (GRAY) AND INCLUDE A HINGED COVER, DESIGNED TO SWING OPEN DOWNWARD, SHALL BE RACQUIT TYPE E (OR EQUAL), AND RATED NEMA 1 (OR BETTER) INDOORS, OR NEMA 3R (OR BETTER) OUTDOORS.

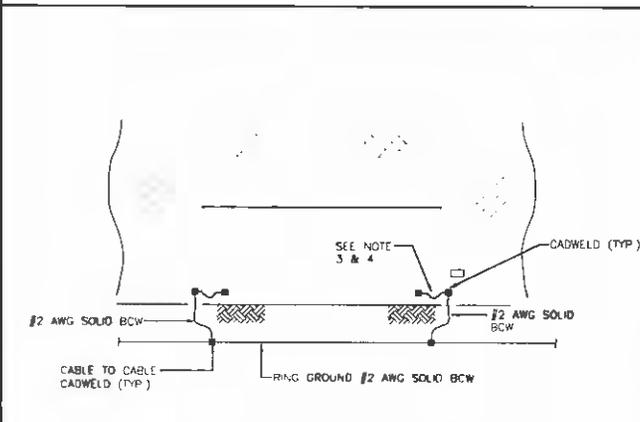
**ELECTRICAL INSTALLATION NOTES (cont.):**

- EQUIPMENT CABINETS, TERMINAL BOXES, JUNCTION BOXES, AND PULL BOXES SHALL BE GALVANIZED OR EPOXY-COATED SHEET STEEL, SHALL MEET OR EXCEED UL 50 AND RATED NEMA 1 (OR BETTER) INDOORS OR NEMA 3R (OR BETTER) OUTDOORS.
- METAL RECEPTACLE, SWITCH, AND DEVICE BOXES SHALL BE GALVANIZED, EPOXY-COATED, OR NON-CORRODING, SHALL MEET OR EXCEED UL 514A AND NEMA OS 1, AND RATED NEMA 1 (OR BETTER) BETTER INDOORS, OR WEATHER PROTECTED (WP OR BETTER) OUTDOORS.
- NONMETALLIC RECEPTACLE, SWITCH, AND DEVICE BOXES SHALL MEET OR EXCEED NEMA OS 2, AND RATED NEMA 1 (OR BETTER) INDOORS, OR WEATHER PROTECTED (WP OR BETTER) OUTDOORS.
- THE SUBCONTRACTOR SHALL NOTIFY AND OBTAIN NECESSARY AUTHORIZATION FROM THE CONTRACTOR BEFORE COMMENCING WORK ON THE AC POWER DISTRIBUTION PANELS.
- THE SUBCONTRACTOR SHALL PROVIDE NECESSARY TAGGING ON THE BREAKERS, CABLES AND DISTRIBUTION PANELS IN ACCORDANCE WITH THE APPLICABLE CODES AND STANDARDS TO SAFEGUARD AGAINST LIFE AND PROPERTY.



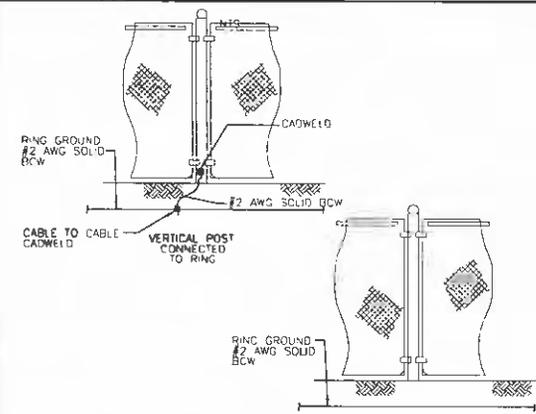
**2 TYPICAL TRENCH DETAIL**  
NTS

- NOTE**
- CONDUITS ARE TO BE STUBBED UP TO NEAREST UTILITY POLE WITHIN 2' OF THE POLE.
  - ALL DISTURBED AREAS NOT COVERED BY STONE ARE TO BE SEDED AND MULCHED.
  - CONTRACTOR WILL BE RESPONSIBLE FOR REMOVAL OF UNSUITABLE MATERIAL WHICH WILL NOT COMPACT PROPERLY.



- NOTES:**
- THE #2 AWG, BCW FROM THE RNG GROUND SHALL BE CADWELDED TO THE POST ABOVE GRADE.
  - BOND EACH HORIZONTAL POLE/BRACE TO EACH OTHER AND TO EACH VERTICAL POLE BONDED TO THE EXTERIOR GROUND RING.
  - GATE JUMPER SHALL BE #4/0 AWG WELDING CABLE OR FLEXIBLE COPPER BRAID BURNOUT TYPE B WITH SLEEVES ON EACH END DESIGNED FOR EXOTHERMIC WELDING.
  - GATE JUMPER SHALL BE INSTALLED SO THAT IT WILL NOT BE SUBJECTED TO DAMAGING STRAIN WHEN GATE IS FULLY OPEN IN EITHER DIRECTION.

**1 FENCE GATE GROUNDING DETAILS**  
NTS



- NOTE:**
- VERTICAL POSTS SHALL BE BONDED TO THE RING AT EACH CORNER AND AT EACH GATE POST AS A MINIMUM ONE VERTICAL POST SHALL BE BONDED TO THE GROUND RING IN EVERY 100 FOOT STRAIGHT RUN TO FENCE.
  - HORIZONTAL POLES SHALL BE BONDED TO EACH OTHER.
  - BOND EACH HORIZONTAL POLE / BRACE TO EACH OTHER AND TO EACH VERTICAL POST THAT IS BONDED TO THE EXTERIOR GROUND RING.

**3 FENCE GROUNDING DETAILS**  
NTS

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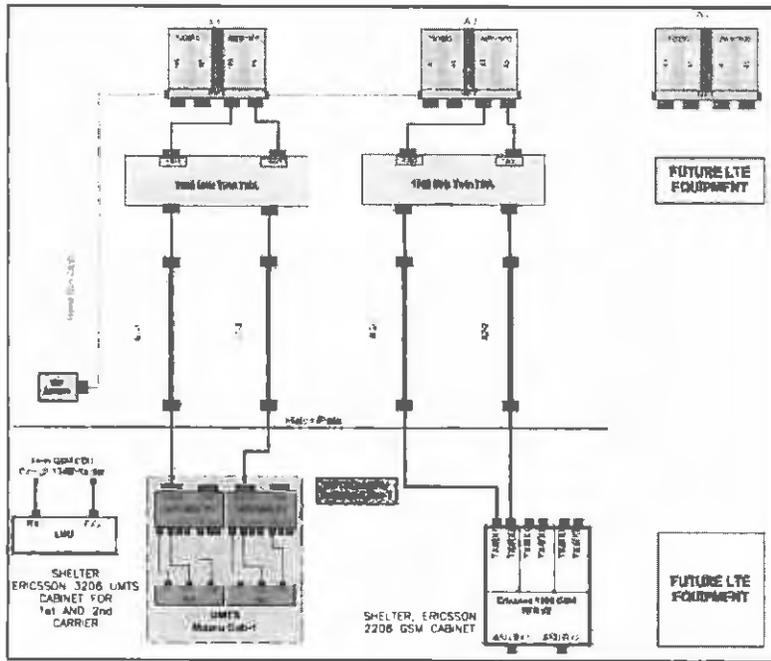
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ELECTRICAL NOTES & DETAILS	
SHEET NUMBER	
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① 3 - ANTENNAS PER SECTOR CONFIGURATION

**NOTES:**

1. ALL MATERIALS SHALL BE PROVIDED BY THE CONTRACTOR TO THE SUBCONTRACTOR FOR INSTALLATION.
2. SUBCONTRACTOR SHALL DOCUMENT AS-BUILT CABLE LENGTHS AND PROVIDE ANTENNA SERIAL NUMBERS ON RED-LINED DRAWINGS.
3. ANTENNAS SHALL BE PROCURED AND INSTALLED WITH DOWN-TILT BRACKETS AND HEAVY DUTY CLAMPS SUPPLIED BY ANTENNA MANUFACTURER.
4. FOLLOW DETAIL FOR AT&T COAX COLOR CODING.
5. COAX GROUND KITS, COAX WEATHER PROOFING, SNAP-IN HANGER CLAMPS AND HOISTING GRIPS SHALL BE PROVIDED BY THE CONTRACTOR TO THE SUBCONTRACTOR FOR INSTALLATION.
6. RF DATA IS TO BE VERIFIED BY CONTRACTOR WITH AT&T PRIOR TO CONSTRUCTION.
7. ALL JUMPERS FROM TMA AND GROUND KITS TO BE SUPPORTED TO TOWER WITH STAINLESS STEEL BRACKETS OR STRAPS.
8. DRANCE STRIPE ON 850 GSM / PURPLE STRIP ON 1900 GSM.

**VERIFY & CONFIRM WITH FINAL RF DATA SHEET**

TACS	SECTOR	ANTENNA TYPE	ANTENNA SERIAL NUMBER	ELEC DIMEN (FT)	MECH DIMEN (FT)	AZ/EL/UT	ANTENNA		CABLE LENGTH	COAXIAL CABLE	TOP JUMPER	BOTTOM JUMPER	COLOR CODE	TMA TYPE	DIPLEXER	DC BLOCK Y/N
							RAO CTR	TOP HEIGHT								
A1	1	SBH4-1D65658		2'	0'	130'	120	124	140	ANDREWS AWA7-50 1-5/8"	(8') 1/20 LDF4P	(8') 1/20 SF	1 GREEN STRIPE	/ ETW100V12UB	-	N
A2	1	SBH4-1D65658		2'	0'	130'	120	124	140	ANDREWS AWA7-50 1-5/8"	(8') 1/20 LDF4P	(8') 1/20 SF	2 GREEN STRIPES	/ ETW100V12UB	-	N
A3	FUTURE	FUTURE		-	-	-	-	-	-	ANDREWS AWA7-50 1-5/8"	(8') 1/20 LDF4P	(8') 1/20 SF	3 GREEN STRIPES	-	-	N
A4	1	SBH4-1D65658		2'	0'	130'	120	124	140	ANDREWS AWA7-50 1-5/8"	(8') 1/20 LDF4P	(8') 1/20 SF	4 GREEN STRIPES	/ ETW100V12UB	-	N
B1	2	SBH4-1D65658		2'	0'	240'	120	124	140	ANDREWS AWA7-50 1-5/8"	(8') 1/20 LDF4P	(8') 1/20 SF	1 BLUE STRIPE	/ ETW100V12UB	-	N
B2	2	SBH4-1D65658		2'	0'	130'	120	124	140	ANDREWS AWA7-50 1-5/8"	(8') 1/20 LDF4P	(8') 1/20 SF	2 BLUE STRIPES	/ ETW100V12UB	-	N
B3	FUTURE	FUTURE		-	-	-	-	-	-	ANDREWS AWA7-50 1-5/8"	(8') 1/20 LDF4P	(8') 1/20 SF	3 BLUE STRIPES	-	-	N
B4	2	SBH4-1D65658		2'	0'	240'	120	124	140	ANDREWS AWA7-50 1-5/8"	(8') 1/20 LDF4P	(8') 1/20 SF	4 BLUE STRIPES	/ ETW100V12UB	-	N
C1	3	SBH4-1D65658		2'	0'	330'	120	124	140	ANDREWS AWA7-50 1-5/8"	(8') 1/20 LDF4P	(8') 1/20 SF	1 WHITE STRIPE	/ ETW100V12UB	-	N
C2	3	SBH4-1D65658		2'	0'	130'	120	124	140	ANDREWS AWA7-50 1-5/8"	(8') 1/20 LDF4P	(8') 1/20 SF	2 WHITE STRIPES	/ ETW100V12UB	-	N
C3	FUTURE	FUTURE		-	-	-	-	-	-	ANDREWS AWA7-50 1-5/8"	(8') 1/20 LDF4P	(8') 1/20 SF	3 WHITE STRIPES	-	-	N
C4	3	SBH4-1D65658		2'	0'	330'	120	124	140	ANDREWS AWA7-50 1-5/8"	(8') 1/20 LDF4P	(8') 1/20 SF	4 WHITE STRIPES	/ ETW100V12UB	-	N

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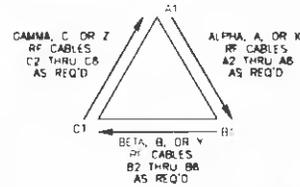
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SHEET NUMBER	E-2A

ALL RF CABLE SHALL BE MARKED AS PER CABLE MARKING LOCATIONS TABLE BELOW

CABLE MARKING LOCATIONS TABLE			
NO	TAPE	TAG	LOCATIONS
1	X		EACH TOP-JUMPER SHALL BE COLOR CODED WITH (1) SET OF 3" WIDE BANDS
2	X		EACH MAIN COAX SHALL BE COLOR CODED WITH (1) SET OF 3" WIDE BANDS NEAR THE TOP-JUMPER CONNECTION AND WITH (1) SET OF 3/4" WIDE COLOR BANDS JUST PRIOR TO ENTERING THE BTS OR TRANSMITTER BUILDING
3	X		ALL BOTTOM JUMPERS SHALL BE COLOR CODED WITH (1) SET OF 3/4" WIDE BANDS ON EACH END OF THE BOTTOM JUMPER
4	*	*	ALL BOTTOM JUMPERS SHALL BE COLOR CODED WITH (1) SET OF 3/4" WIDE BANDS ON EACH END OF THE BOTTOM JUMPER

(\* - DENOTES TAG OR TAPE.)



NOTE  
SECTOR ORIENTATION/AZIMUTH WILL VARY FROM REGION TO REGION AND IS SITE SPECIFIC REFER TO RF REPORT FOR EACH SPECIFIC SITE TO DETERMINE THE SECTOR ORIENTATION

ANTENNA SECTOR AND CABLE DEFINITION

NOTES

- 1 USING COLOR BANDS ON THE CABLES, MARK ALL RF CABLES BY SECTOR AND CABLE NUMBER, AS SHOWN ON "CABLE MARKING COLOR CONVENTION TABLE" (EX: SECTOR ALPHA, CABLE A3 WOULD BE THREE GREEN BANDS)
- 2 THE STANDARD CABLE MARKING TAPE IS BASED ON THE 5 "NEMA" COLORED TAPES: GREEN, BLUE, WHITE, RED AND ORANGE
- 3 UNITS CABLES WILL BE MARKED WITH A MINIMUM OF 3" WIDE AT TOP AND MIDDLE OF TOWER, AND 2" WIDE AT THE BOTTOM ALL JUMPERS SHALL BE INCLUDED
- 4 ALL COLOR CODE TAPE SHALL BE 3M-35 AND SHALL BE INSTALLED USING A MINIMUM OF (3) WRAPS OF TAPE AND SHALL BE NEATLY TRIMMED AND SMOOTHED OUT TO AVOID UNWRAPPING
- 5 ALL COLOR CODE TAPE SHALL BE 3" WIDE AT TOP AND MIDDLE OF TOWER, AND 2" WIDE AT THE BOTTOM ALL JUMPERS SHALL BE INCLUDED
- 6 SEE AT&T CONSTRUCTION FOR MICROWAVE COLOR CODE

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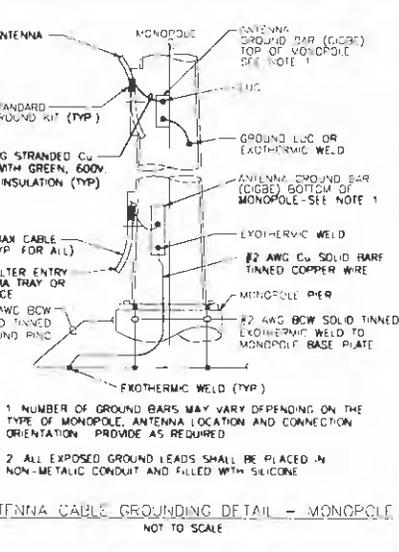
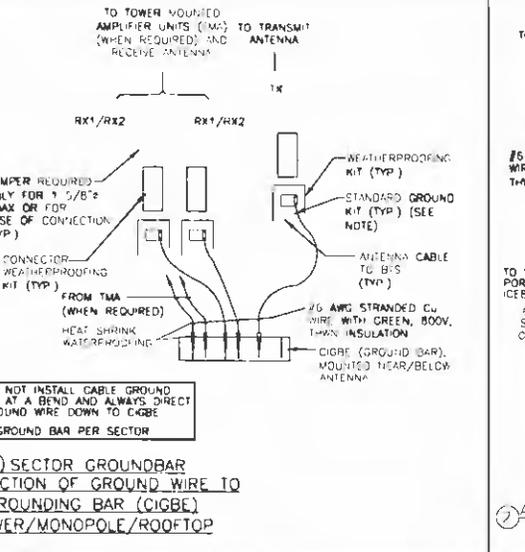
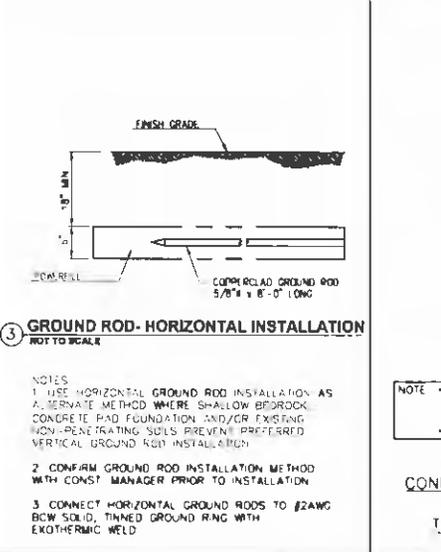
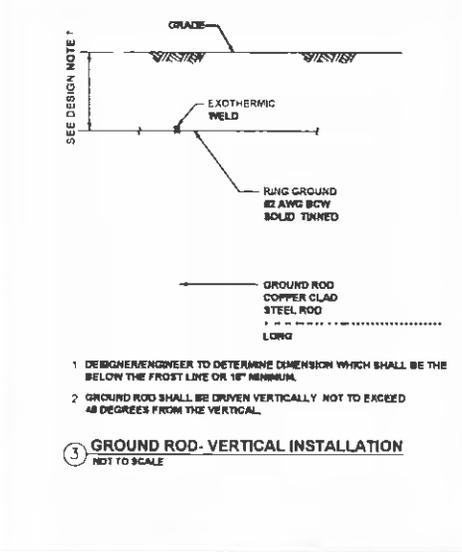
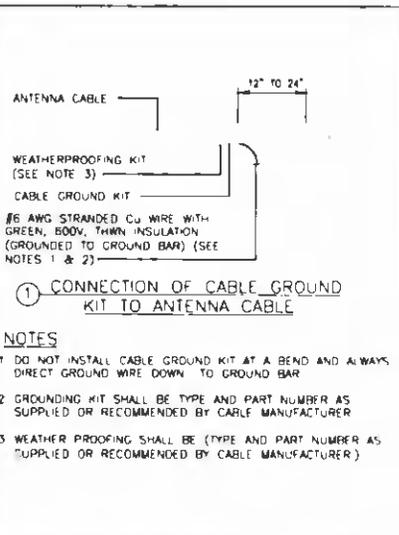
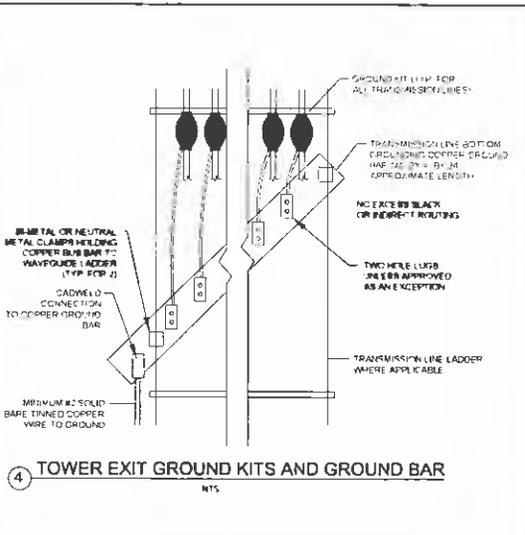
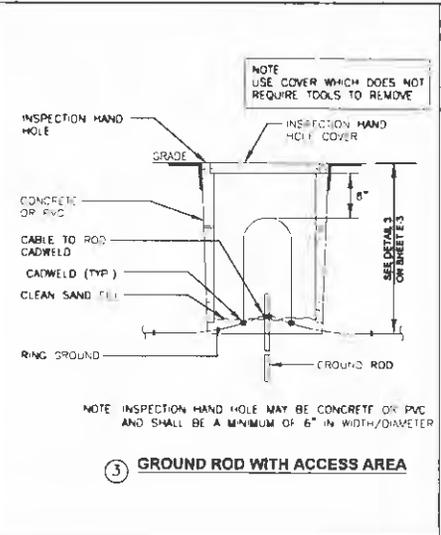
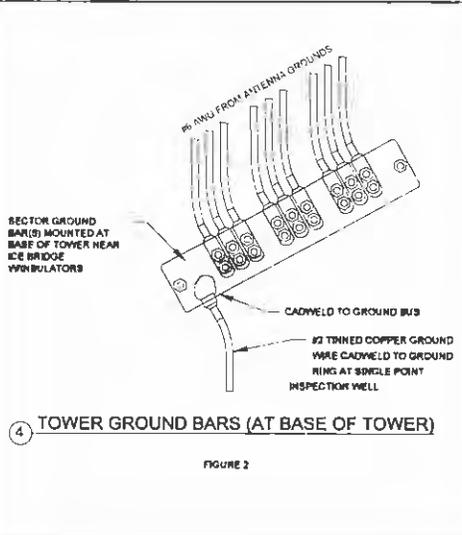
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SHEET TITLE

COAX COLOR CODING

SHEET NUMBER

C-2B



97

WHITE PINE LAND COMPANY  
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PH: 231-923-3434  
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**CST** CENTRAL STATES TOWER, INC  
323 SOUTH MALE STREET  
SUITE 100  
WHEATON, IL 60187

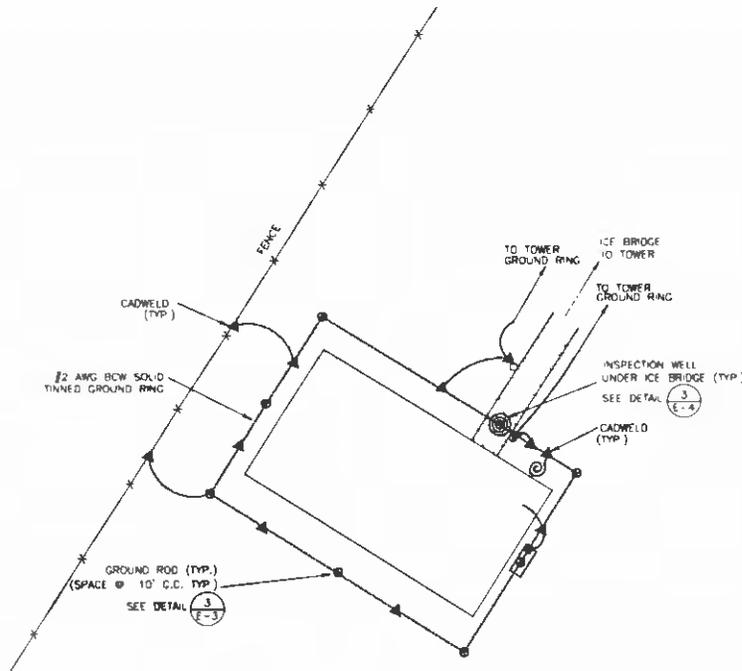
VA-00-2199 DIXIE  
47021 JAMES MADISON HWY  
FORK UNION, VA 23055

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SHEET TITLE
GROUNDING DETAILS
SHEET NUMBER
E-3

**12'X28' D8743 FIBREBOND EQUIPMENT SHELTER.  
SPECIFICATIONS TO BE SUBMITTED WITH BP APPLICATION.**



NOTE THIS GROUNDING PLAN LAYOUT IS TYPICAL SEE SHEET P-1 FOR ACTUAL EQUIPMENT ORIENTATION

**GROUNDING PLAN**

SCALE 1" = 8'



**GROUNDING NOTES**

1. ALL GROUND ELECTRODE SYSTEMS (INCLUDING TELECOMMUNICATION, RADIO, LIGHTNING PROTECTION, AND AC POWER GESS'S) SHALL BE BONDED TOGETHER AT OR BELOW GRADE, BY TWO OR MORE COPPER BONDING CONDUCTORS IN ACCORDANCE WITH THE NEC.
2. THE SUBCONTRACTOR SHALL PERFORM IEEE FALL-OF-POTENTIAL RESISTANCE TO EARTH TESTING (PER IEEE 1100 AND E-1) FOR GROUND ELECTRODE SYSTEMS. THE SUBCONTRACTOR SHALL FURNISH AND INSTALL SUPPLEMENTAL GROUND ELECTRODES AS NEEDED TO ACHIEVE A TEST RESULT OF 5 OHMS OR LESS.
3. THE SUBCONTRACTOR IS RESPONSIBLE FOR PROPERLY SEQUENCING GROUNDING AND UNDERGROUND CONDUIT INSTALLATION AS TO PREVENT ANY LOSS OF CONTINUITY IN THE GROUNDING SYSTEM OR DAMAGE TO THE CONDUIT.
4. METAL CONDUIT AND TRAY SHALL BE GROUNDING AND MADE ELECTRICALLY CONTINUOUS WITH LISTED BONDING FITTINGS OR BY BONDING ACROSS THE DISCONTINUITY WITH #6 AWG COPPER WIRE OR APPROVED GROUNDING TYPE CONDUIT CLAMPS.
5. METAL RACEWAY SHALL NOT BE USED AS THE NEC REQUIRED EQUIPMENT GROUND CONDUCTOR. STRANDED COPPER CONDUCTORS WITH GREEN INSULATION, SIZED IN ACCORDANCE WITH THE NEC, SHALL BE FURNISHED AND INSTALLED WITH THE POWER CIRCUITS TO BTS EQUIPMENT.
6. EACH BTS CABINET FRAME SHALL BE DIRECTLY CONNECTED TO THE MASTER GROUND BAR WITH GREEN INSULATED SUPPLEMENTAL EQUIPMENT GROUND WIRES, 6 AWG STRANDED COPPER OR LARGER FOR INDOOR BTS, 2 AWG STRANDED COPPER FOR OUTDOOR BTS.
7. CONNECTIONS TO THE GROUND BUS SHALL NOT BE DOUBLED UP OR STACKED. BACK TO BACK CONNECTIONS ON OPPOSITE SIDES OF THE GROUND BUS ARE PERMITTED.
8. ALL EXTERIOR GROUND CONDUCTORS BETWEEN EQUIPMENT/GROUND BARS AND THE GROUND RING, SHALL BE #7 AWG SOLID TINNED COPPER UNLESS OTHERWISE INDICATED.
9. ALUMINUM CONDUCTOR OR COPPER CLAD STEEL CONDUCTOR SHALL NOT BE USED FOR GROUNDING CONNECTIONS.
10. USE OF 90° BENDS IS PROHIBITED, MAXIMUM BENDING IN THE PROTECTION GROUNDING CONDUCTORS IS 45°.
11. EXOTHERMIC WELDS SHALL BE USED FOR ALL GROUNDING CONNECTIONS BELOW GRADE.
12. ALL GROUND CONNECTIONS ABOVE GRADE (INTERIOR & EXTERIOR) SHALL BE FORMED USING HIGH PRESS CRAMPS.
13. COMPRESSION GROUND CONNECTIONS MAY BE REPLACED BY EXOTHERMIC WELD CONNECTIONS.
14. ICE BRIDGE BONDING CONDUCTORS SHALL BE EXOTHERMICALLY BONDED OR BOLTED TO THE BRIDGE AND THE TOWER GROUND BAR.
15. APPROVED ANTI-OXIDANT COATINGS (I.E. CONDUCTIVE GEL OR PASTE) SHALL BE USED ON ALL COMPRESSION AND BOLTED GROUND CONNECTIONS.
16. ALL EXTERIOR GROUND CONNECTIONS SHALL BE COATED WITH A CORROSION RESISTANT MATERIAL.
17. MISCELLANEOUS ELECTRICAL AND NON-ELECTRICAL METAL BOXES, FRAMES AND SUPPORTS SHALL BE BONDED TO THE GROUND RING IN ACCORDANCE WITH THE NEC.
18. BOND ALL METALLIC OBJECTS WITHIN 6 FT. OF MAIN GROUND WIRES WITH 1-#2 AWG TIN-PLATED COPPER GROUND CONDUCTOR.
19. GROUND CONDUCTORS USED IN THE FACILITY GROUND AND LIGHTNING PROTECTION SYSTEMS SHALL NOT BE ROUTED THROUGH METALLIC OBJECTS THAT FORM A RING AROUND THE CONDUCTOR, SUCH AS METALLIC CONDUITS, METAL SUPPORT CLIPS OR SLEEVES THROUGH WALLS OR FLOORS. WHEN IT IS REQUIRED TO BE HOUSED IN CONDUIT TO MEET CODE REQUIREMENTS OR LOCAL CONDITIONS, NON-METALLIC MATERIAL SUCH AS PVC PLASTIC CONDUIT SHALL BE USED. WHERE USE OF METAL CONDUIT IS UNAVOIDABLE (E.G. NON-METALLIC CONDUIT PROHIBITED BY LOCAL CODE) THE GROUND CONDUCTOR SHALL BE BONDED TO EACH END OF THE METAL CONDUIT.
20. INSTALL GROUND RODS FOR THE NEW GROUND RING. SEPARATION BETWEEN GROUND RODS SHOULD NOT BE LESS THAN THE LENGTH OF THE RODS NOR BE MORE THAN ONE AND ONE-HALF TIMES THE LENGTH OF THE RODS. CONNECT THE NEW RING TO EXISTING GROUND RING IN AT LEAST TWO SEPARATE PLACES.
21. ALL EXPOSED GROUND LEADS SHALL BE PLACED IN NON-METALLIC CONDUIT AND FILLED WITH SILICONE.

86

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**CENTRAL STATES TOWER, INC**  
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SUITE 100  
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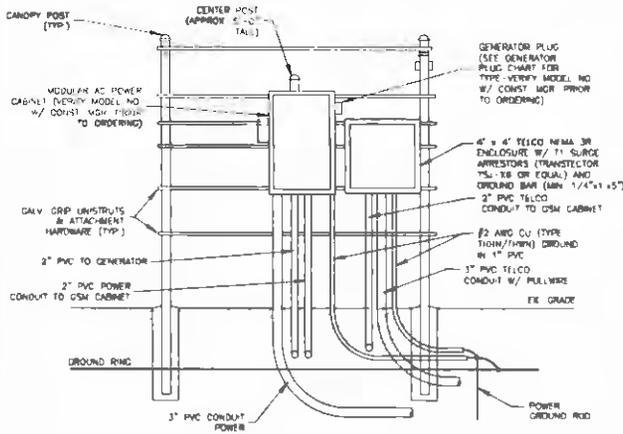
VA-00-2199 DIXIE

17021 JAMES MADISON HWY  
FORK UNION VA 23055

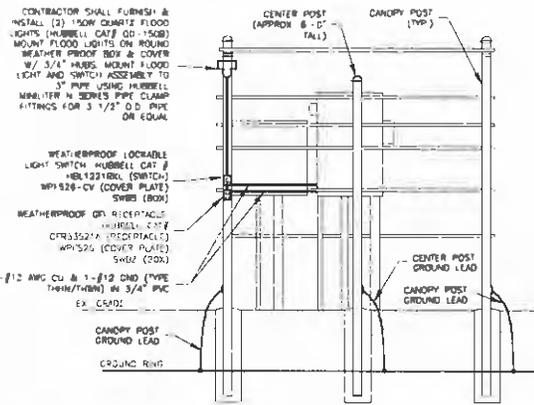
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GROUNDING NOTES & DETAILS	
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E-4	

NOTE ALL PARTS PROVIDED BY CONTRACTOR SHALL BE EQUAL OR EQUIVALENT TO THE PART NUMBERS SHOWN

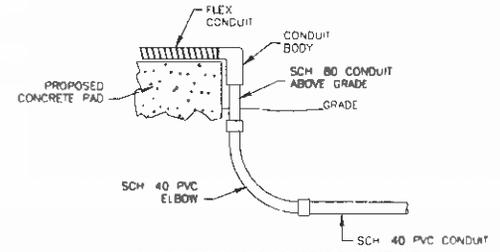


8 H-FRAME DETAIL (FRONT VIEW)  
NOT TO SCALE



8 H-FRAME DETAIL (BACK VIEW)  
NOT TO SCALE

GENERATOR PLUG CHART			
CHARLESTON	BECKLEY	ELKINS	CLARKSBURG
4-PRONG	3-PRONG	4-PRONG	3-PRONG
PPC WITH AUTOMATIC TRANSFER SWITCH / MODEL 891483			



UNDERGROUND CONDUIT STUB-UP

RF NOTES.

- ACTUAL LENGTHS SHALL BE DETERMINED PER SITE CONDITION BY SUBCONTRACTORS
- THE DESIGN IS BASED ON RF DATA SHEETS, SIGNED AND APPROVED.
- RADIO SIGNAL CABLE AND RACEWAY SHALL COMPLY WITH THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE (NEC, NFPA 70), CHAPTER 9.
- ALL SPECIFIED MATERIAL FOR EACH LOCATIONS (E.G., OUTDOORS, INDOORS-OCCUPIED, INDOORS UNOCCUPIED, OLENUMS RISER SHAFTS, ETC.) SHALL BE APPROVED, LISTED, OR LABELED AS REQUIRED BY THE NEC.
- FOLLOW THE TECHNICAL GUIDELINE FOR OUTSIDE ANTENNA JUMPER SUPPORT (24782-3DU-GEX-00001) HARDLINE CABLE SHALL BE SUPPORTED AS REQUIRED BY THE MANUFACTURER BUT AT A MINIMUM OF EVERY THREE (3) FEET EXCEPT INSIDE MONOPOLES OR LATTICE TOWERS WHERE CABLE AND CONNECTOR MANUFACTURER'S RECOMMENDATIONS SHALL BE FOLLOWED. MANUFACTURER RECOMMENDED CABLE SUPPORT ACCESSORIES SHALL BE USED.
- THE OUTDOOR CABLE SUPPORT SYSTEM SHALL BE PROVIDED WITH AN ICE SHIELD TO SUPPORT AND PROTECT ANTENNA CABLE RUNS.
- DRIP LOOPS SHALL BE REQUIRED ON ALL OUTSIDE CABLES. CABLES SHALL BE SLOPED AWAY FROM THE BUILDING OR OUTDOOR BITS CABINETS TO PREVENT WATER FROM ENTERING THROUGH THE COAXIAL CABLE PORT.
- ALL FEEDER LINE AND JUMPER CONNECTIONS FOR AT&T GSM SHALL BE AT&T APPROVED 7/16 DIN CABLE CONNECTORS THAT MEET IP88 STANDARDS.

- DELETED
- 7/16 DIN CONNECTORS REQUIRE NO WEATHER PROOFING IN INDOOR APPLICATIONS. IN OUTDOOR APPLICATIONS WEATHER PROOFING IS REQUIRED AND THE FOLLOWING PROCEDURE SHOULD BE FOLLOWED:  
APPLY A "COURTESY" WRAP OF ONE LAYER OF 7MIL THICK VINYL ELECTRICAL TAPE EXTENDING APPROXIMATELY TWO (2) INCH ON EACH SIDE OF THE COAX CABLE/ CONNECTOR JUNCTURE  
USING WEATHERPROOFING KIT APPROVED BY CABLE MANUFACTURER AND CONTRACTOR. START TAPE APPROXIMATELY 5 INCHES FROM THE CONNECTOR AND WRAP 2 INCHES TOWARD THE CONNECTOR, THEN REVERSE THE TAPE SO THAT THE STICKY SIDE IS UP. TAPE OVER THE CONNECTOR OR SURGE ARRESTOR UNTIL THREE (3) TO FOUR (4) INCHES BEYOND THE CONNECTOR AND REVERSE AGAIN WITH THE STICKY SIDE DOWN FOR ANOTHER INCH OR TWO AND THE BUMPER RUBBER AND FINISH WITH A FINAL LAYER OF TAPE. COLD SHRINK IS STRICTLY PROHIBITED.
- DELETED
- ANTENNAS SHALL BE PAINTED, WHEN REQUIRED, BY THE LANDLORD OR AUTHORITY HAVING JURISDICTION IN ACCORDANCE WITH ANTENNA MANUFACTURERS, SURFACE PREPARATION AND PAINTING REQUIREMENTS.
- CABLE SHIELDS, AND TOWER CONDUITS SHALL BE GROUNDED AT THE TOP OF THE TOWER, WITHIN 10 FEET OF THEIR CONNECTORS, AND AT THE BOTTOM OF THE TOWER ABOUT 6 INCHES BEFORE THEY TURN TOWARD THE FACILITY. THEY SHALL BE GROUNDED AT THE MIDPOINT OF TOWERS THAT ARE BETWEEN 100 FEET AND 200 FEET HIGH, AND AT INTERVALS OF 100 FEET OR LESS ON TOWERS THAT ARE HIGHER THAN 200 FEET.

- APPROVED GROUNDING KITS, WHICH INCLUDE GROUNDING STRAPS SHALL BE USED TO GROUND THE COAXIAL CABLE SHIELDS, AND CONDUITS. THE GROUND CONDUCTORS FOR THE KITS AT THE TOP OF THE TOWER, AND IN THE MIDDLE SECTION OF THE TOWER, ARE BONDED DIRECTLY TO TOWER STEEL USING EXOTHERMIC BOLTED, OR APPROVED CLAMP CONNECTIONS.
- ALL RADIO SIGNAL CABLE SHALL BE LABELED PER MARKET REQUIREMENTS.
- DELETED
- DELETED
- MHA/TMA'S TO BE INSTALLED AT TOWER TOP, SHALL BE SUPPLIED TO THE SUBCONTRACTOR (WHERE REQUIRED) AND INSTALLED BY THE SUBCONTRACTOR. THE GROUND CONDUCTORS OF THE TMA MAY BE BONDED DIRECTLY TO THE TOWER STEEL USING EXOTHERMIC BOLTED OR APPROVED CLAMP CONNECTIONS. EXOTHERMIC WELDS SHALL BE PERMITTED ON TOWERS ONLY WITH THE EXPRESS APPROVAL OF THE TOWER MANUFACTURER OR THE CONTRACTORS STRUCTURAL ENGINEER.
- ANTENNA FEED LINE SYSTEM SWEEP TESTING SHALL BE PERFORMED AND REPORTED IN ACCORDANCE WITH THE REQUIREMENTS OF AT&T-GSM SERVICES PROJECT DOCUMENT NO 24782-000-3PS-EFY0-00001. CONTRACTOR WILL NOT ACCEPT A RADIO SIGNAL CABLE INSTALLATION WITH UNSATISFACTORY SWEEP RESULTS.

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SUITE 100  
WHEATON, IL 60187

VA-00-2199 DIXIE  
+7021 JAMES MADISON HWY  
FORK UNION, VA 23055

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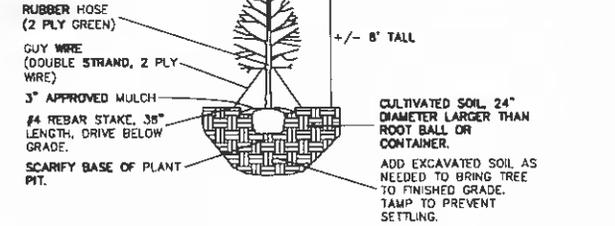
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EQUIPMENT NOTES & H-FRAME DETAILS	
SHEET NUMBER	
E-5	

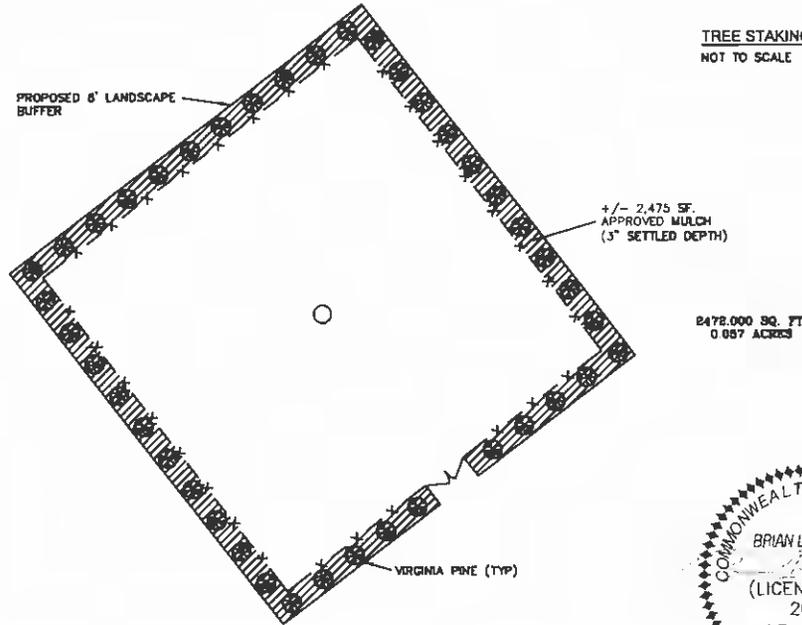
**GENERAL PLANTING NOTES**

1. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK", LATEST EDITION, REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
2. ALL PLANTS ARE SUBJECT TO APPROVAL OF THE ENGINEER'S REPRESENTATIVE BEFORE, DURING, AND AFTER INSTALLATION.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OF ANY DAMAGED UTILITIES.
4. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE FROM PESTS AND DISEASE.
5. ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED AS SPECIFIED.
6. ALL TREES MUST BE STRAIGHT TRUNKED, FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
7. ALL TREES MUST BE GUYED OR STAKED AS SHOWN.
8. ALL PLANTS AND PLANTING MUST BE COMPLETELY MULCHED AS SPECIFIED.
9. THE ENGINEER'S REPRESENTATIVE SHALL APPROVE THE STAKED LOCATION OF ALL PLANT MATERIAL BEFORE INSTALLATION.
10. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THIS PLAN.
11. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL PLANTINGS UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE ENGINEER'S REPRESENTATIVE.
12. ANY PLANT MATERIAL THAT DIES, TURNS BROWN, OR DEFOLIATES PRIOR TO ACCEPTANCE SHALL PROMPTLY BE REMOVED AND REPLACED.
13. THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF TOTAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD.

**NOTE:**  
SET TREE PLUMB PRIOR TO STAKING

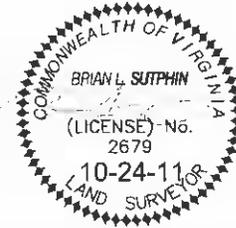


**TREE STAKING AND GUYING**  
NOT TO SCALE



**PLANT MATERIALS LIST**

QUANTITY	COMMON NAME	SIZE	REMARKS
WE	VIRGINIA PINE	4"-6" MINIMUM AT TIME OF PLANTING	PLANT 10' O.C.
ALL PLANTING AREAS WILL BE TILLED AND PREPARED FOR PLANTING BY THE ADDITION OF APPROPRIATE SOIL AMENITIES AND TOPPED WITH MIN. 3" APPROVED MULCH.			



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.

BEARING BASIS: VA SOUTH ZONE NAD83 AS DETERMINED BY GPS OBSERVATION

BLUE RIDGE SURVEYING & MAPPING, INC.  
804 WEST STUART DRIVE  
HILLSVILLE VIRGINIA 24343  
PHONE 540-278-7282 - EMAIL: brsurvey@comcast.net

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VA-00-2199  
DIXIE  
±7021 JAMES MADISON HWY  
FORK UNION, VA 23055

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LANDSCAPE PLAN

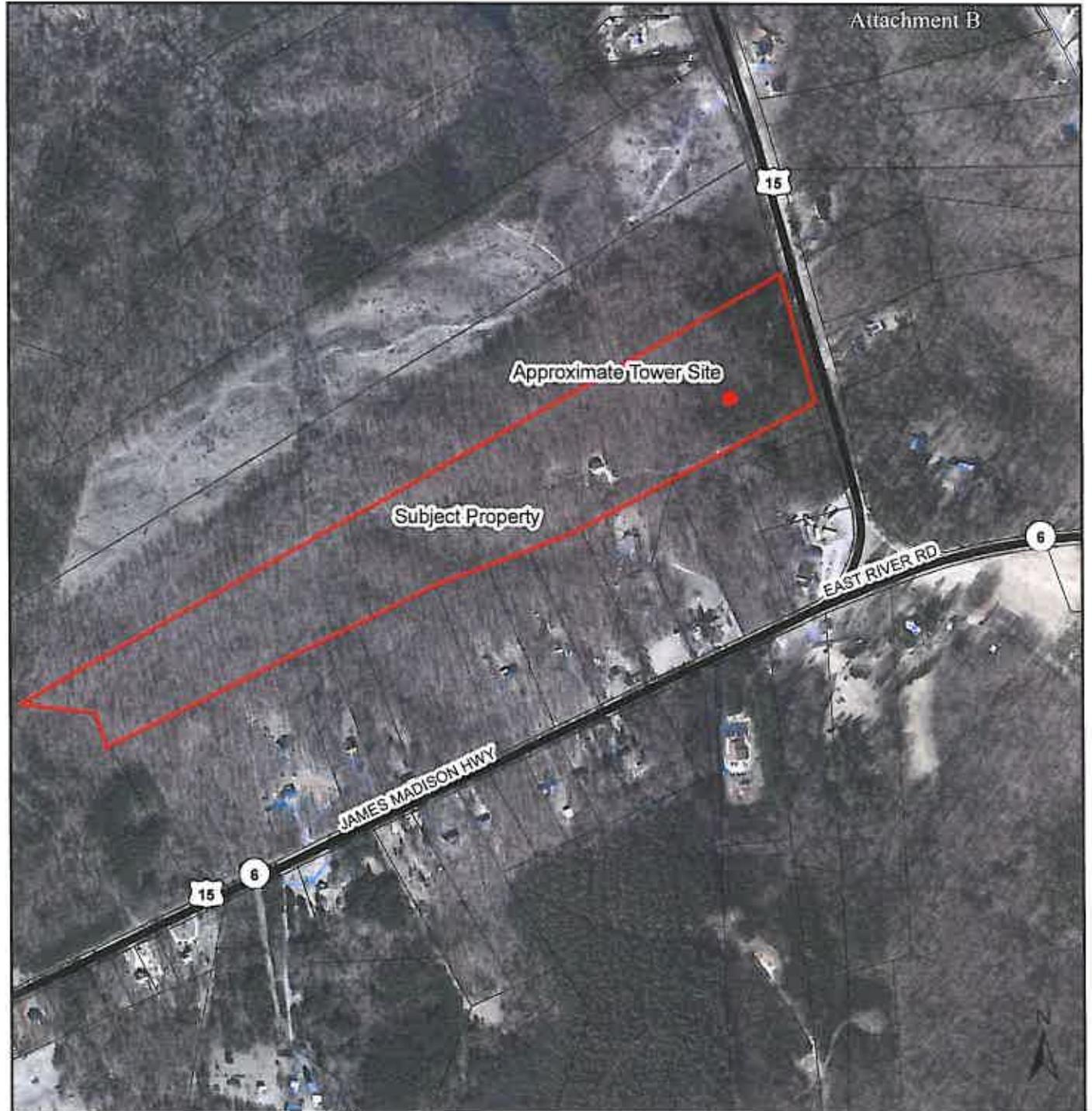
DRAWING NUMBER  
1532A

Fluvanna County



SUP 11:06  
Aerial Vicinity Map  
December 2011

Attachment B





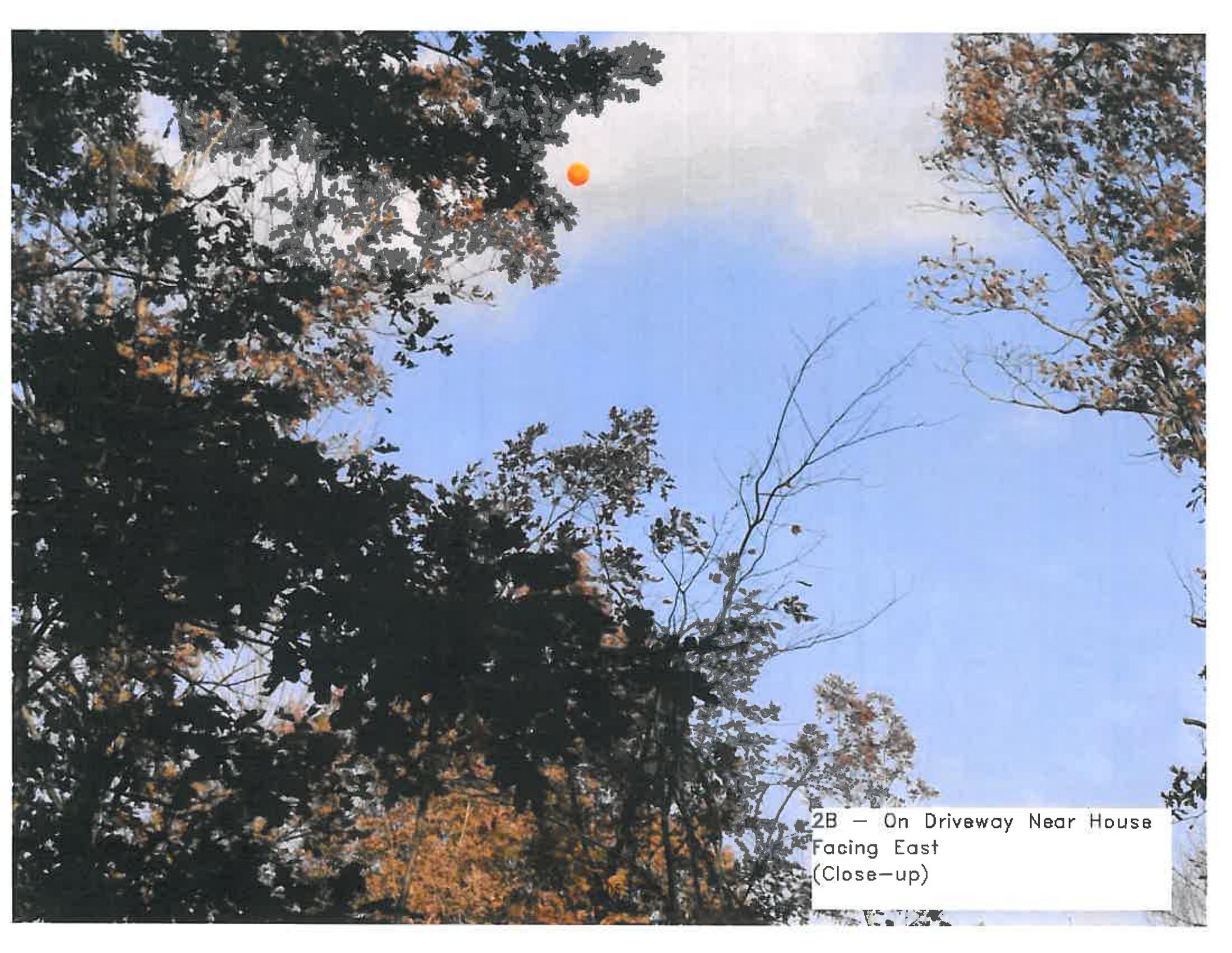


1 - From House  
Facing East Toward  
Driveway

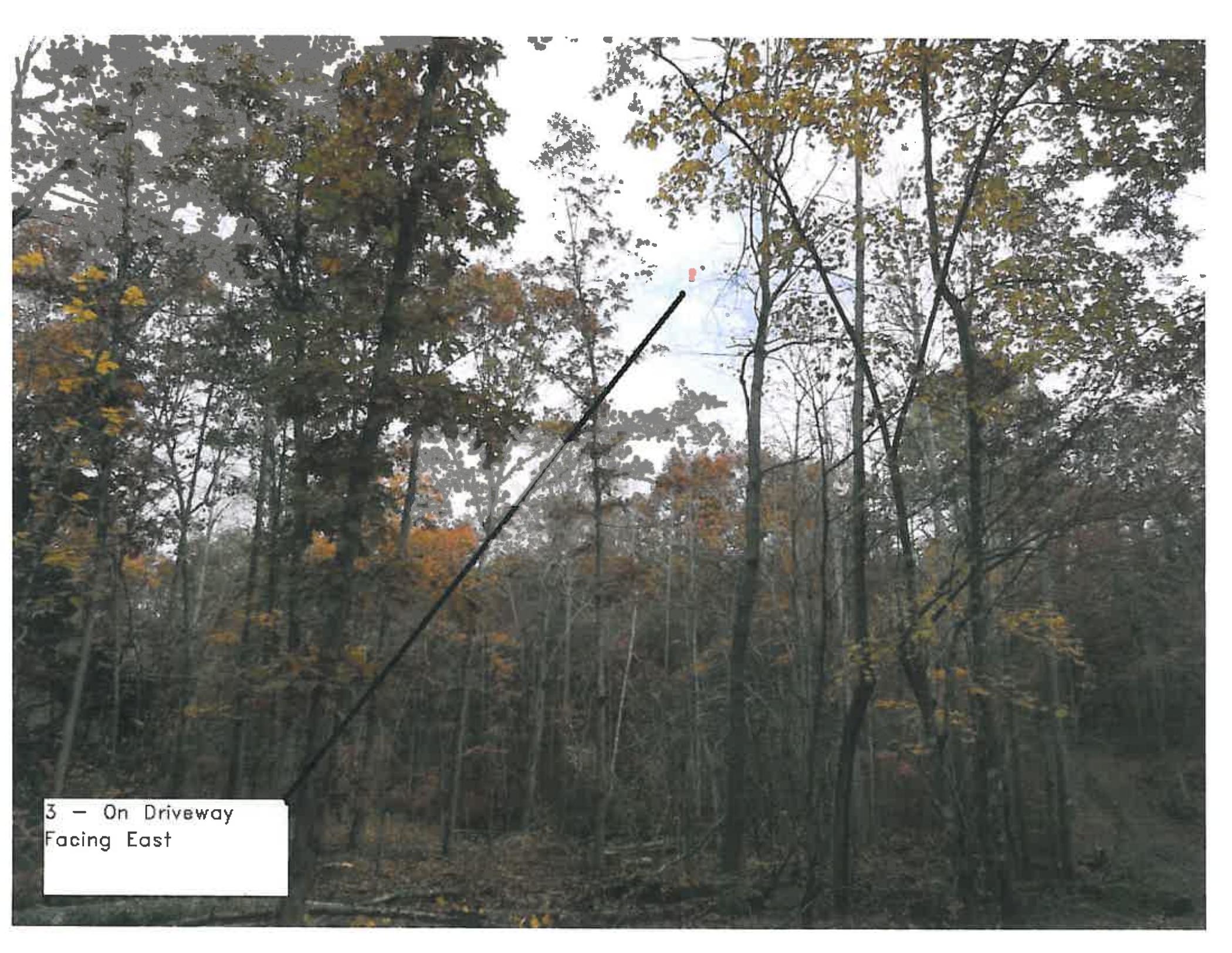
103



2A - On Driveway Near House Facing East



2B - On Driveway Near House  
Facing East  
(Close-up)

A photograph of a forest with trees showing autumn foliage in shades of green, yellow, and orange. A black line is drawn across the image, starting from the bottom left and pointing towards a small red marker in the upper center of the frame. The marker is positioned against a patch of blue sky visible through the tree canopy. The ground is covered with fallen leaves and twigs.

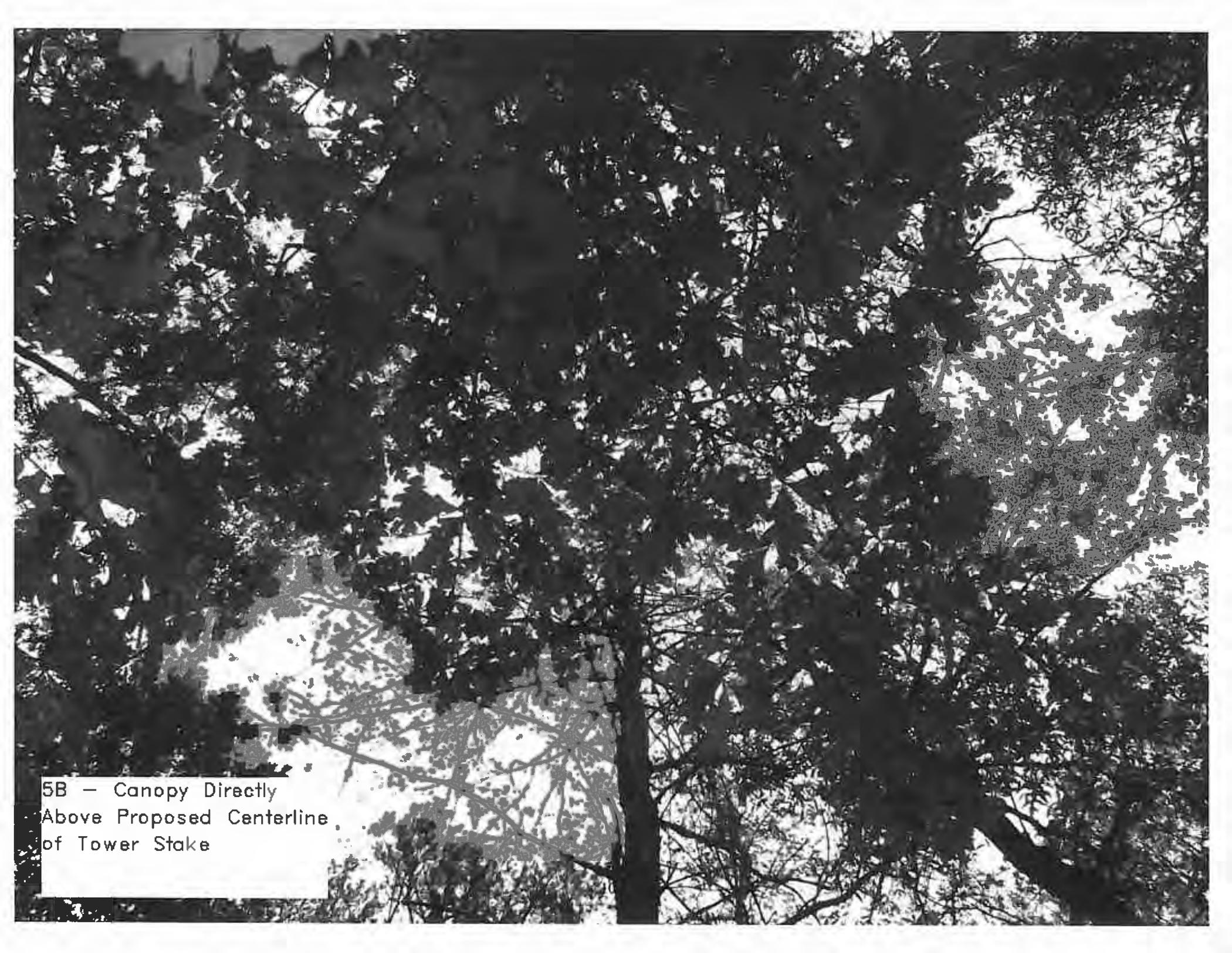
3 - On Driveway  
Facing East



4 - On Driveway Facing  
Northeast



5A - Stake For Proposed  
Centerline of Tower



5B — Canopy Directly  
Above Proposed Centerline  
of Tower Stake



5C - Facing Northwest from  
Proposed Centerline of Tower  
Stake



5D - Facing Southeast from  
Proposed Centerline of Tower  
Stake



6 — On Driveway Facing  
Southwest



7A - Driveway  
Entrance With Sign



7B - Driveway Entrance off  
of James Madison Hwy



8 - Entrance of Old Mill Farm Drive off of James Madison Hwy



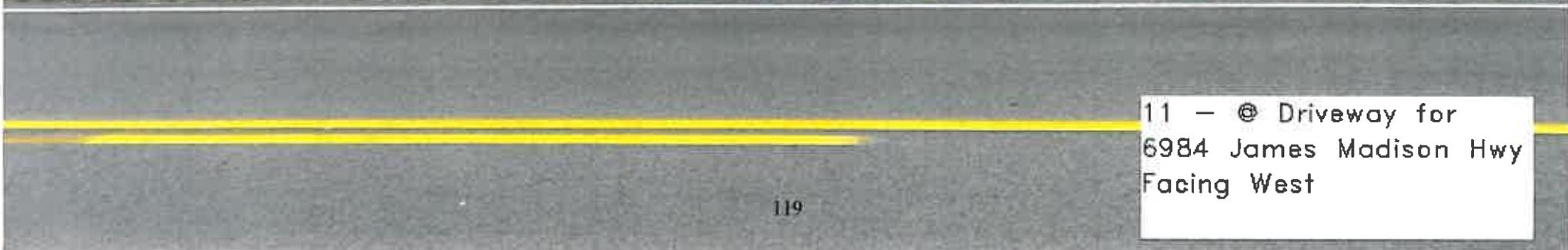
9A — From Old Mill Farm  
Road



9B — From Old Mill Farm  
Road (Close-up)



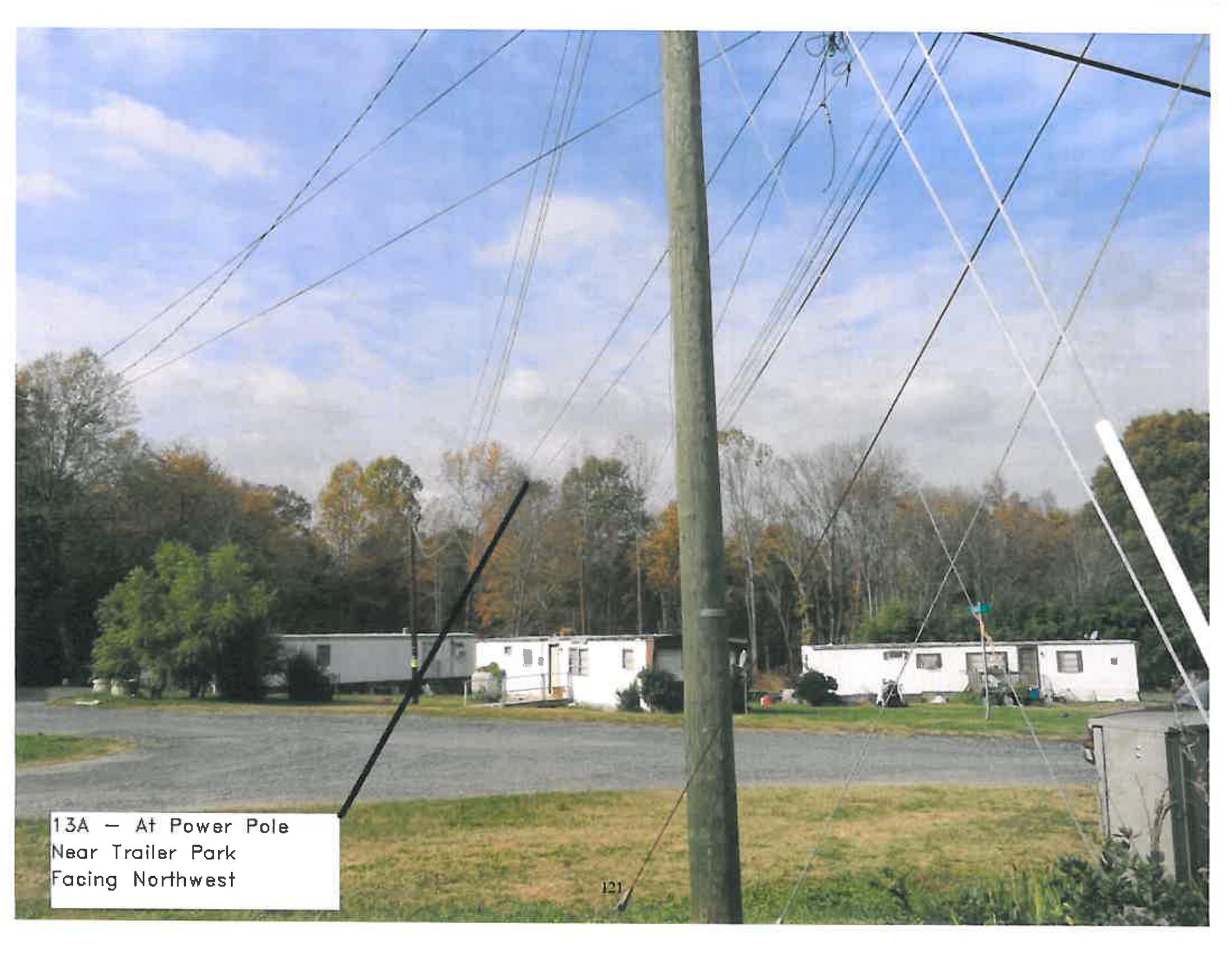
10 - @ Driveway for  
7096 James Madison Hwy  
Facing Southwest



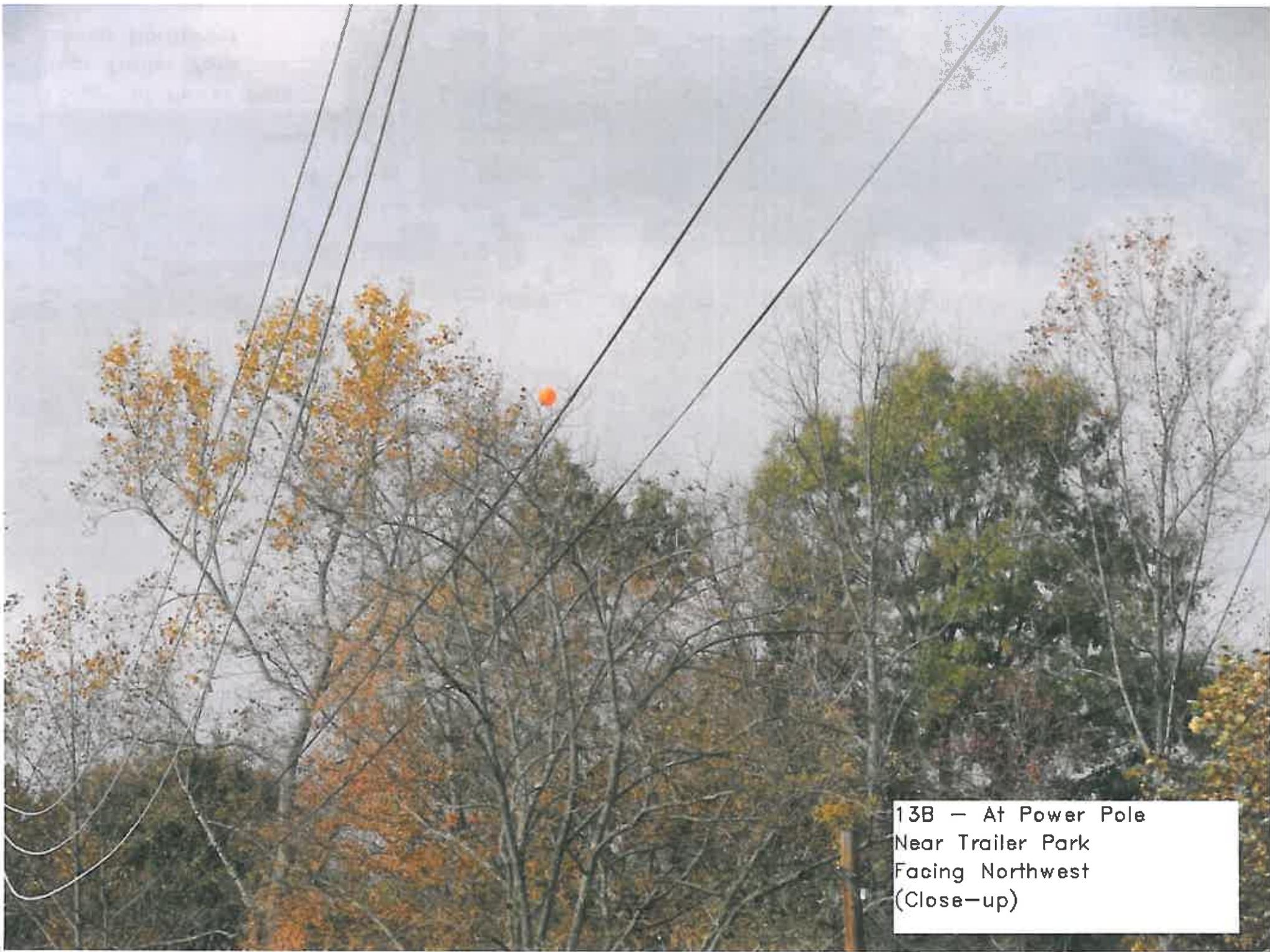
11 - © Driveway for  
6984 James Madison Hwy  
Facing West



12 - @ Conc. Monument At  
Subject Property Corner  
Facing Southwest Along  
Property Line

A photograph showing a utility pole in the foreground with several power lines extending across the sky. In the background, there is a trailer park with several white mobile homes. The area is surrounded by trees, some with autumn foliage. The sky is blue with scattered white clouds. A white text box is overlaid in the bottom left corner.

13A — At Power Pole  
Near Trailer Park  
Facing Northwest



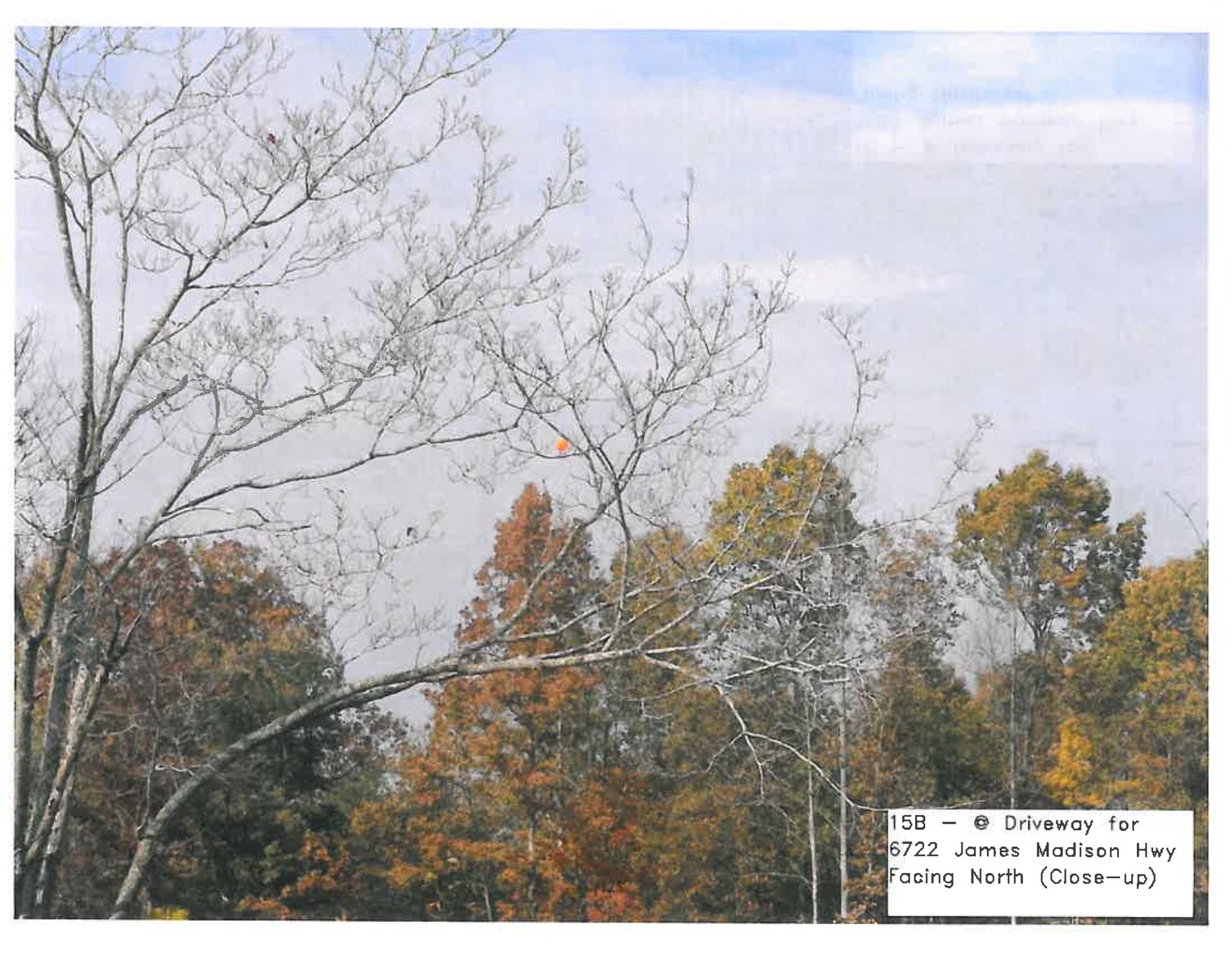
13B - At Power Pole  
Near Trailer Park  
Facing Northwest  
(Close-up)

14 - @ Driveway for  
6774 James Madison  
Hwy Facing North

123



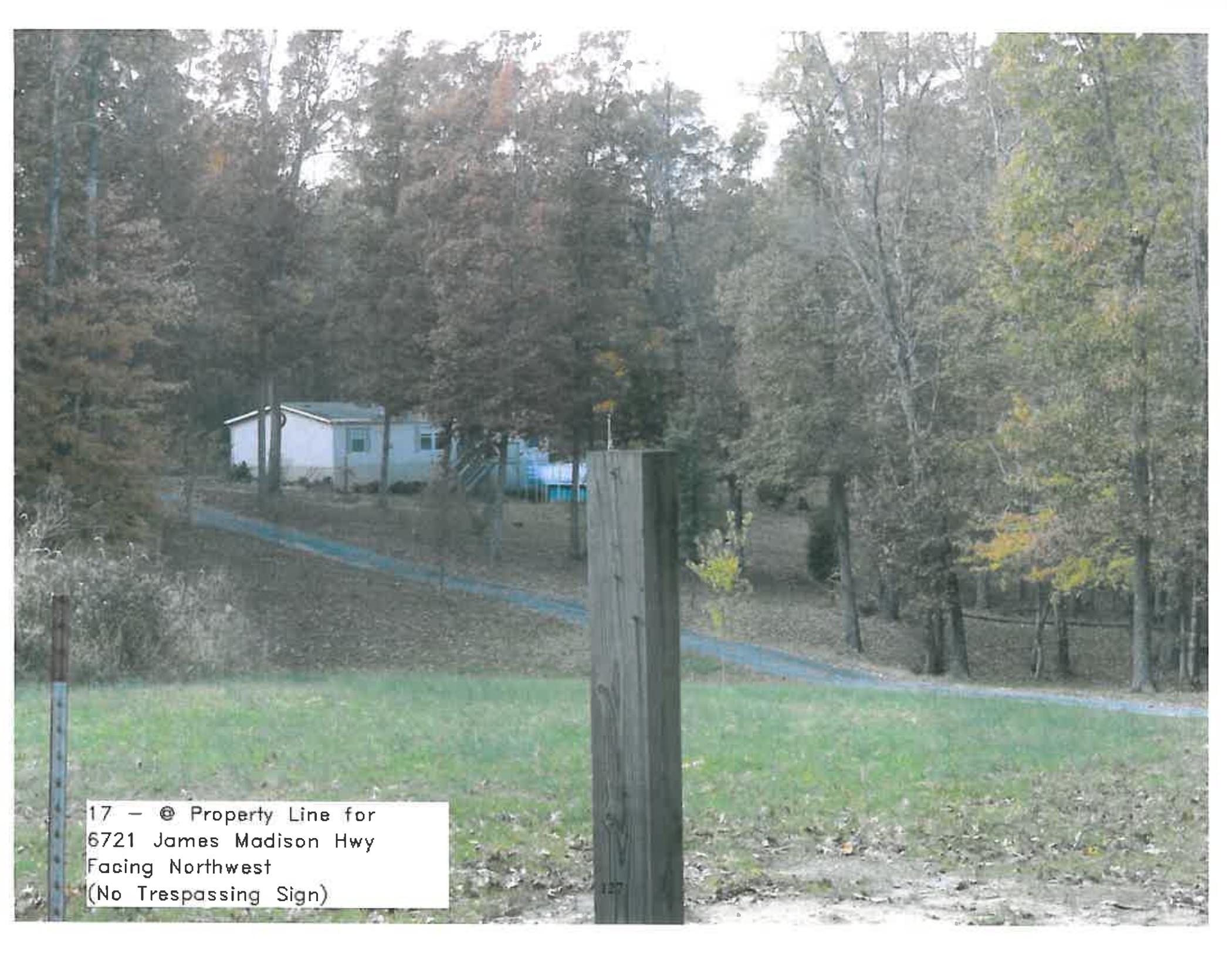
15A - @ Driveway for  
6722 James Madison  
Hwy Facing North



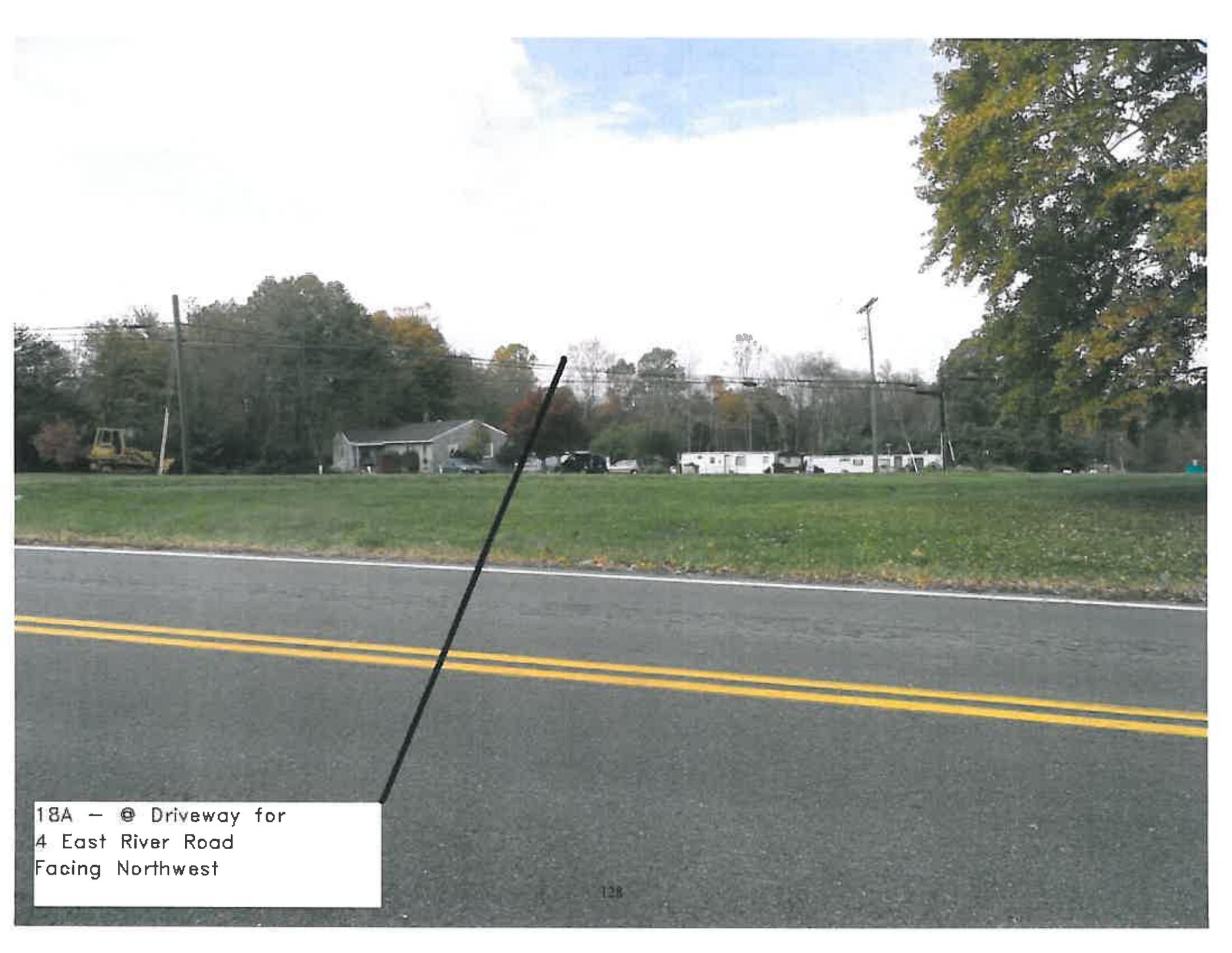
15B - © Driveway for  
6722 James Madison Hwy  
Facing North (Close-up)



16 - @ Driveway for  
6690 James Madison Hwy  
Facing Northeast



17 - © Property Line for  
6721 James Madison Hwy  
Facing Northwest  
(No Trespassing Sign)

A photograph of a road with a black line pointing to a driveway location. The road has two yellow double lines. In the background, there is a grassy field, a house, and a mobile home. The sky is blue with some clouds. A black line starts from a white box in the bottom left and points towards the road.

18A - @ Driveway for  
4 East River Road  
Facing Northwest



18B - @ Driveway for  
4 East River Road  
Facing Northwest  
(Close-up)



19 - @ Driveway for  
60 East River Road  
Facing Northwest

A photograph showing the east intersection of James Madison Highway and East River Road. The road is paved with asphalt and has double yellow lines. In the distance, a signpost holds a blue street sign for 'EAST RIVER' and a smaller blue sign with an arrow pointing right. To the right of the signpost, there is a white octagonal stop sign and a yellow diamond-shaped warning sign. The background consists of a grassy area and a dense line of tall pine trees under a blue sky with scattered white clouds. A black line is drawn from the bottom-left text box to the signpost.

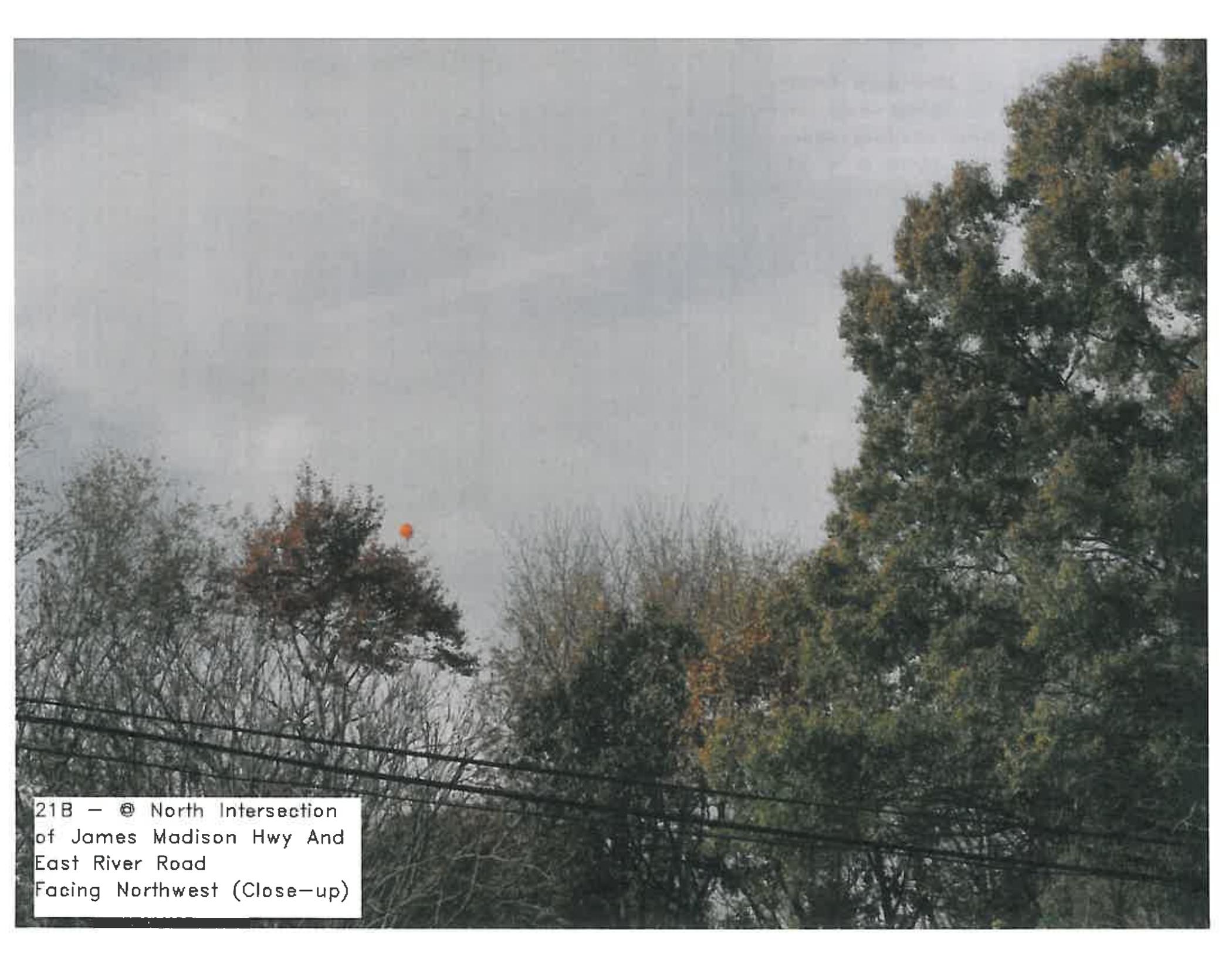
20A — East Intersection of  
James Madison Hwy And  
East River Road  
Facing Northwest



20B - © East Intersection of James Madison Hwy And East River Road Facing Northwest (Close-up)



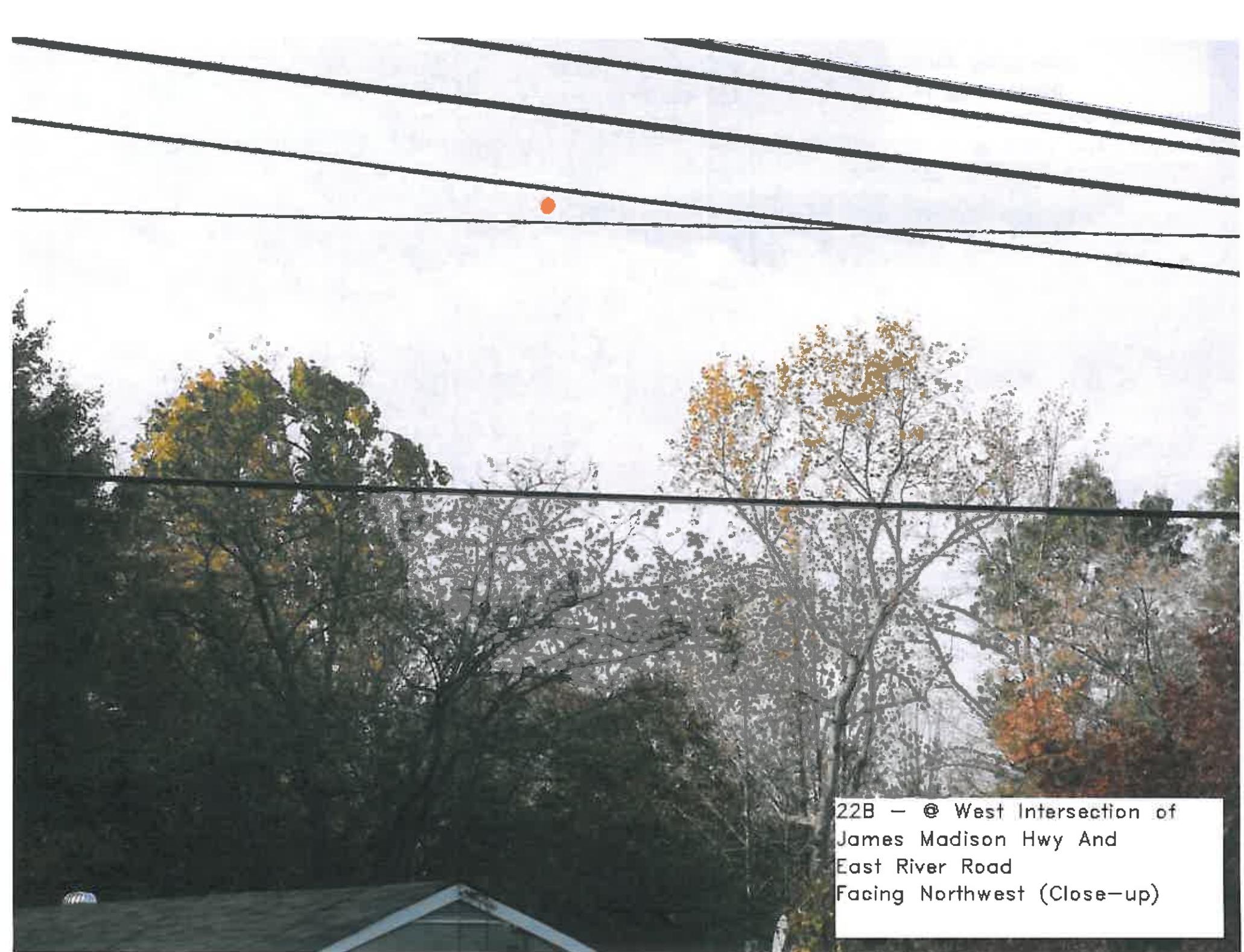
21A - @ North Intersection of  
James Madison Hwy And  
East River Road  
Facing Northwest

A photograph showing a landscape with trees and a bright orange object in the sky. The trees are mostly green, with some showing signs of autumn. The sky is a pale, overcast grey. A small, bright orange sphere is visible in the upper left quadrant of the sky. In the foreground, there are several dark power lines stretching across the frame. The overall scene is somewhat hazy and overcast.

21B - @ North Intersection  
of James Madison Hwy And  
East River Road  
Facing Northwest (Close-up)



22A - @ West Intersection  
of James Madison Hwy And  
East River Road  
Facing Northwest

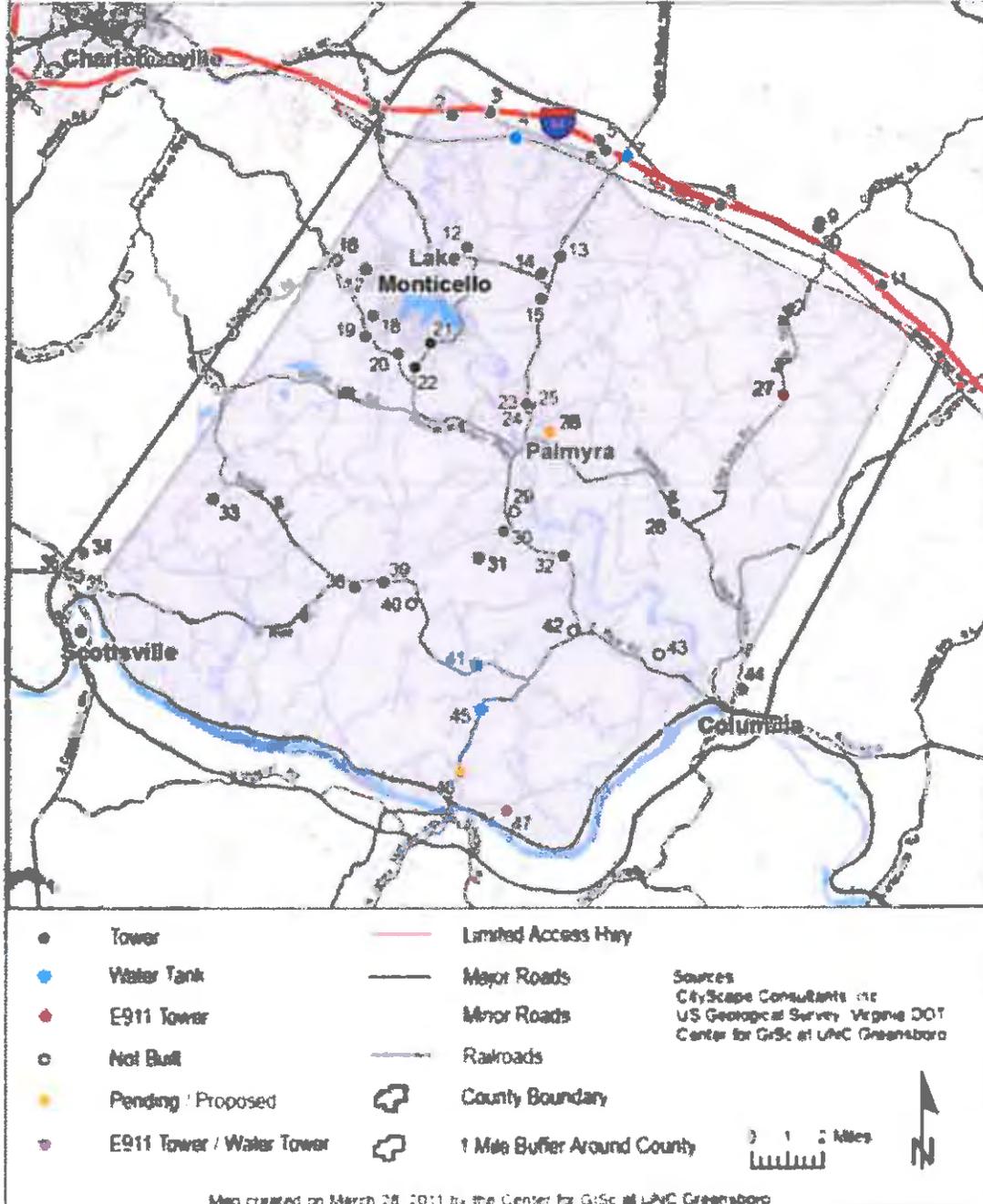


22B - © West Intersection of  
James Madison Hwy And  
East River Road  
Facing Northwest (Close-up)



23 - @ Flag Pole in  
Intersection Median  
Facing Northwest

## Existing Antenna Locations

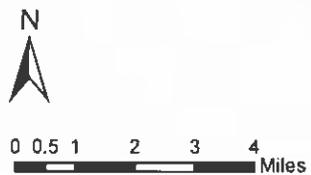
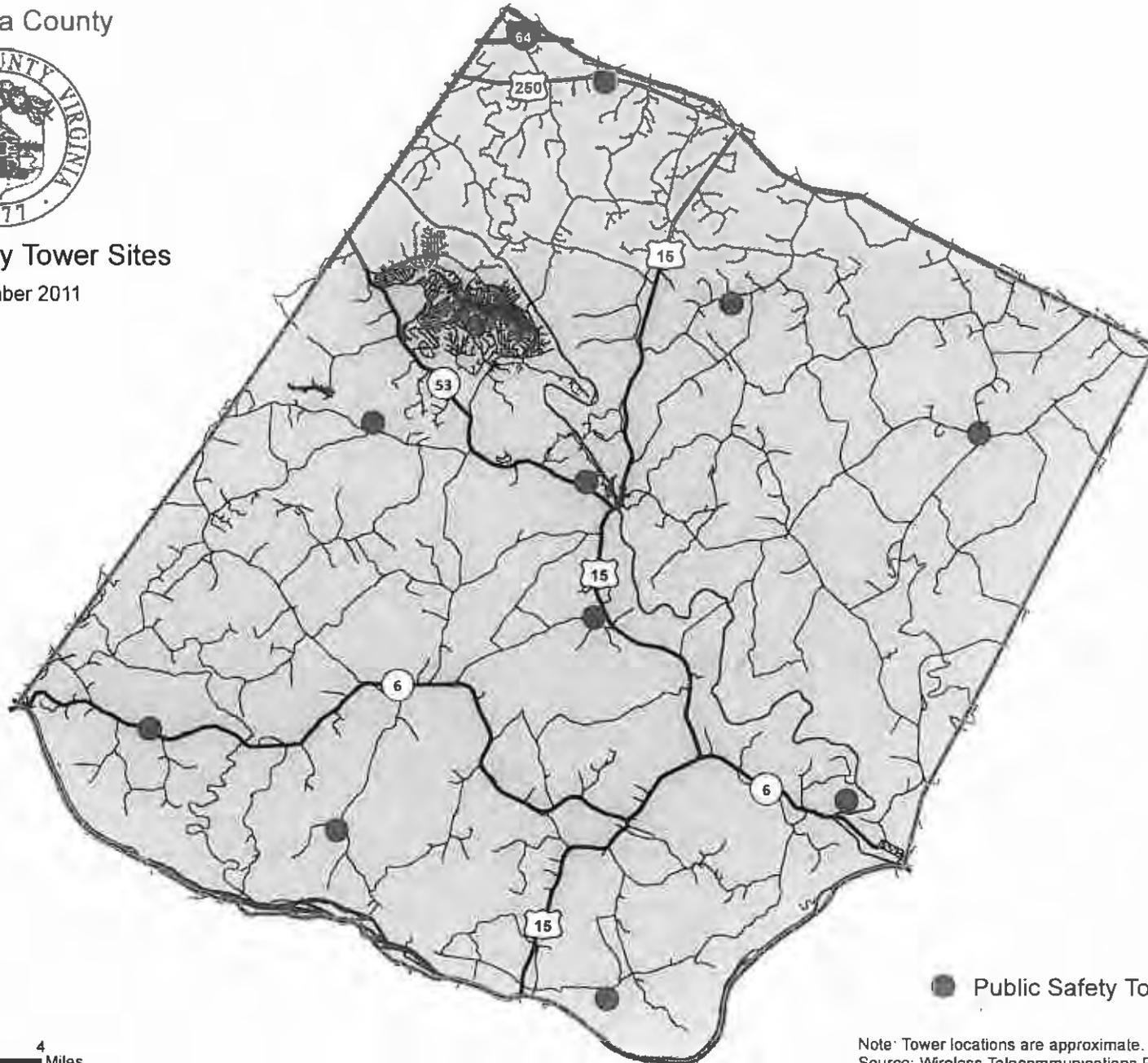


Fluvanna County



Public Safety Tower Sites

December 2011



Note: Tower locations are approximate.  
Source: Wireless Telecommunications Facilities Master Plan

**From:** [StevenTugwell](#)  
**To:** [Andrew Pomoei](#)  
**Subject:** FW: TRC meeting for November 11,2011  
**Date:** Monday, December 05, 2011 9:14:24 AM

---

I found VDOT comments.

**From:** Goodale, James E. [mailto:James.Goodale@VDOT.virginia.gov]  
**Sent:** Wednesday, November 16, 2011 6:54 AM  
**To:** StevenTugwell  
**Subject:** TRC meeting for November 11,2011

EST 11:02 Palmyra Associates, LLC – No comments.

SUP 11:05 Central Virginia Electric – No comments.

SUP11:06 Central States Tower, LLC – The contractor will be using the existing entrance therefore if any damage to the existing entrance the contractor will make repairs to that of the original including the drainage pipe if provided.

*James E. Goodale*

*Highway Permits & Subdivision*

*Zions Crossroads South*

*P.O. Box 1017*

*Troy, VA. 22974*

*(434) 589- 2358*



Consultants, Inc.

7050 W. Palmetto Park Road #15-652

Boca Raton, FL 33433-3483

Phone: 877-438-2851 • Fax: 877-220-4593

**State of Virginia  
Telecommunications Site Review  
New Structure**

February 27, 2011

Mr. Darren Coffey  
Planning Director  
132 Main Street  
Palmyra, Virginia 22963

**RE: CST/AT&T Application  
'Dixie'**

Dear Mr. Coffey,

At your request on behalf of Fluvanna County, Virginia, CityScape Consultants has conducted a Site Review of an application submitted by Central States Tower ("CST") along with complementary information provided by the carrier AT&T to construct a new one hundred ninety-five (195) foot Monopole type tower, and to construct a 10,000 square foot ground compound which will be one-hundred by one hundred (100 x 100) feet for the electronic equipment. The underlying ground area of the site is owned by Hubert G. Cagle and Nan D. Cagle and is located at approximately 7021 James Madison Highway in Fluvanna County, Virginia, see *figure 1*.

CityScape Consultants, in its capacity as telecommunications consultant for the County, has considered the merits of this request. This Application is one of several proposed new installations from AT&T and other carriers to be located in central and south Virginia.

On February 21, 2008 the County of Fluvanna approved an SUP from an application submitted by Verizon Wireless, see *figure 2*. That SUP was for a tower at this same location but with a lower elevation of one hundred twenty-five (125) feet. The current application requests a tower elevation of one hundred ninety-five (195) feet, or seventy (70) feet additional height. Being this site has previously been approved for a tower, CityScape will only address the request for additional tower elevation.

When reviewing the current status of wireless infrastructure in Fluvanna County it is obvious to those trained in this discipline the County is in the very early stages of personal wireless communications deployment. There is insufficient support structures in the County to meet today's level of service. For this reason alone there is justification for additional support structures. One of the responsibilities of the County Planning Department is to work with the applicants to identify the best deployment locations for the purpose of minimizing the total number of support structures required for the future. To accomplish this task, when any application comes forth a study must be conducted knowing the needs of all wireless providers that serve Fluvanna County, and not only one carrier. In this situation the County has previously approved a tower at this location; therefore we will address the issues related to adding seventy (70) feet.



**State of Virginia  
Telecommunications Site Review  
New Structure**

The best method to show the importance of additional height is a side by side comparison. In *figure 3* there is a showing of the current AT&T service in the area. As you can see there is not any service currently. *Figure 4* shows the anticipated signal propagation at 195 feet. *Figure 5* has two propagation maps; *5A* is service at 125 feet and *5B* is service at 195 feet. By comparing the difference between the two potential antenna elevations the proposed new facility will have a substantial improvement. In our opinion an antenna height increase of 70 feet effectively doubles the previous service area, which under any circumstance should make for an easy decision. When you add the collocation requirements for a total of six antenna arrays to be at this facility in our opinion it solidifies the justification for an increase in height. The future antenna elevation at the lowest position will have no less than 20 additional feet of elevation over the top position of the previously approved SUP. Should the site be limited to 125 feet it is likely that possibly one or two additional carriers would be able to utilize this site. That means the County would have another application in the future for an additional antenna structure to be constructed in the same general vicinity. The Applicant has provided the necessary compliance statements in *Figures 6 and 7*.

The original SUP will require changes in paragraph's 1 and 3.

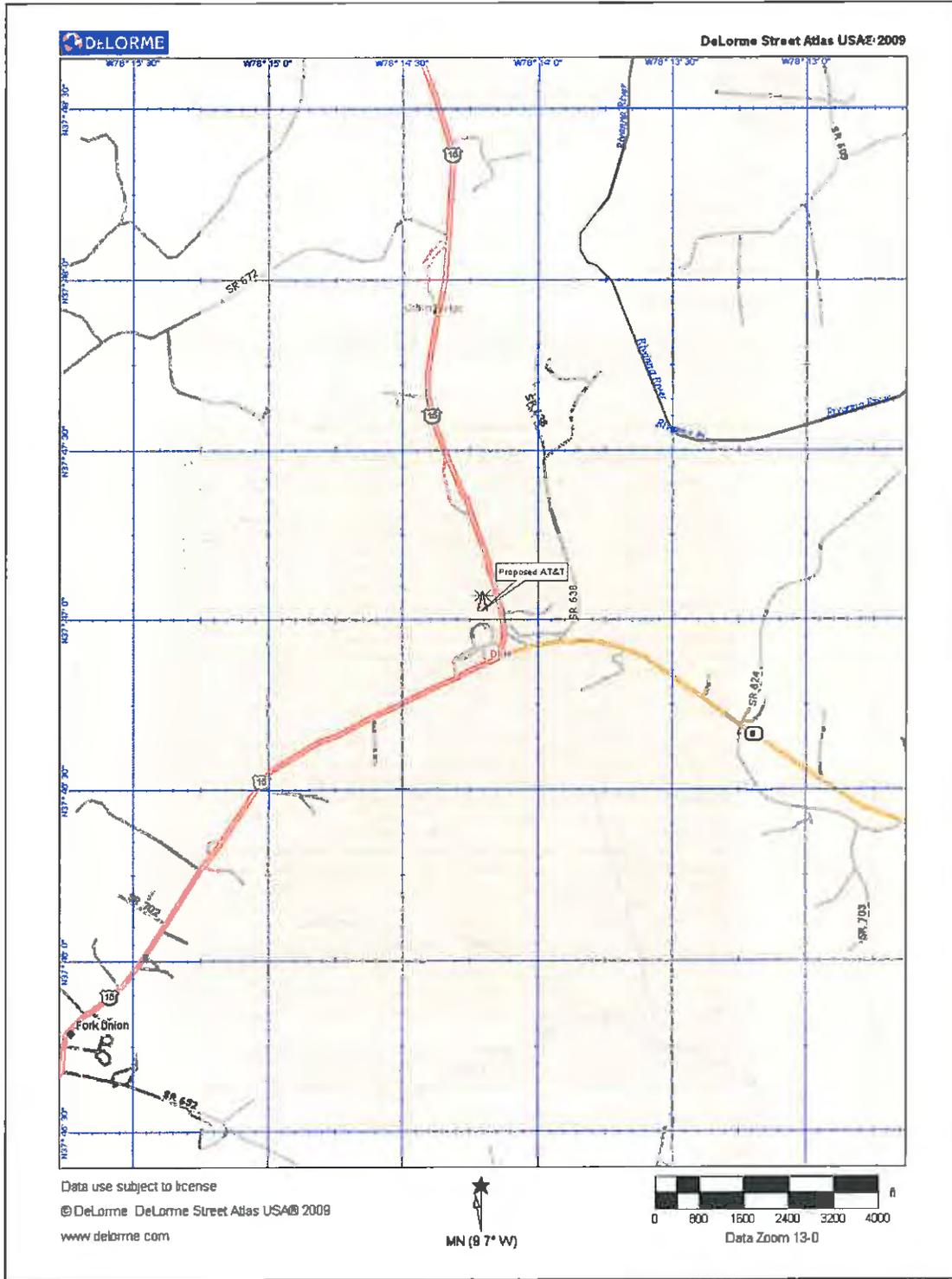
*CityScape recommends approval with the following condition:*

1. The Applicant secures all necessary permits required; and,
2. Prior to issuance of building permits the Applicant shall submit to the County satisfactory SHPO and NEPA documentation; and,
3. All feed lines shall be installed within the shell of the monopole and no lines will be exposed except at the antennas; and,
4. The support structure is to be sufficient to support antennas of a like design for five (5) additional wireless service providers, or a total of six (6) wireless service providers along with the County's first right of refusal for tower space of equal proportion of size and weight as the wireless carriers; and,
5. The Applicant provide completed balloon tests; and,
6. The Applicant shall install landscaping and buffering as shown on our *figure 8*; and,
7. In Section 22-24 of the Fluvanna ordinance there is a requirement the Applicant is required to produce a type of tree map. Within the narrative the Applicant states they have met that requirement but in later communications they state they have not fully complied. If the Applicant wishes to not fulfill this requirement they should request a waiver; and,
8. The facility when completed shall be accessible only to authorized personnel.

Respectfully submitted,

A handwritten signature in blue ink, appearing to read "Richard L. Edwards", is written over a horizontal line.

Richard L. Edwards  
FCC Licensed  
PCIA Certified  
CityScape Consultants, Inc.



**Figure 1. Site Location**

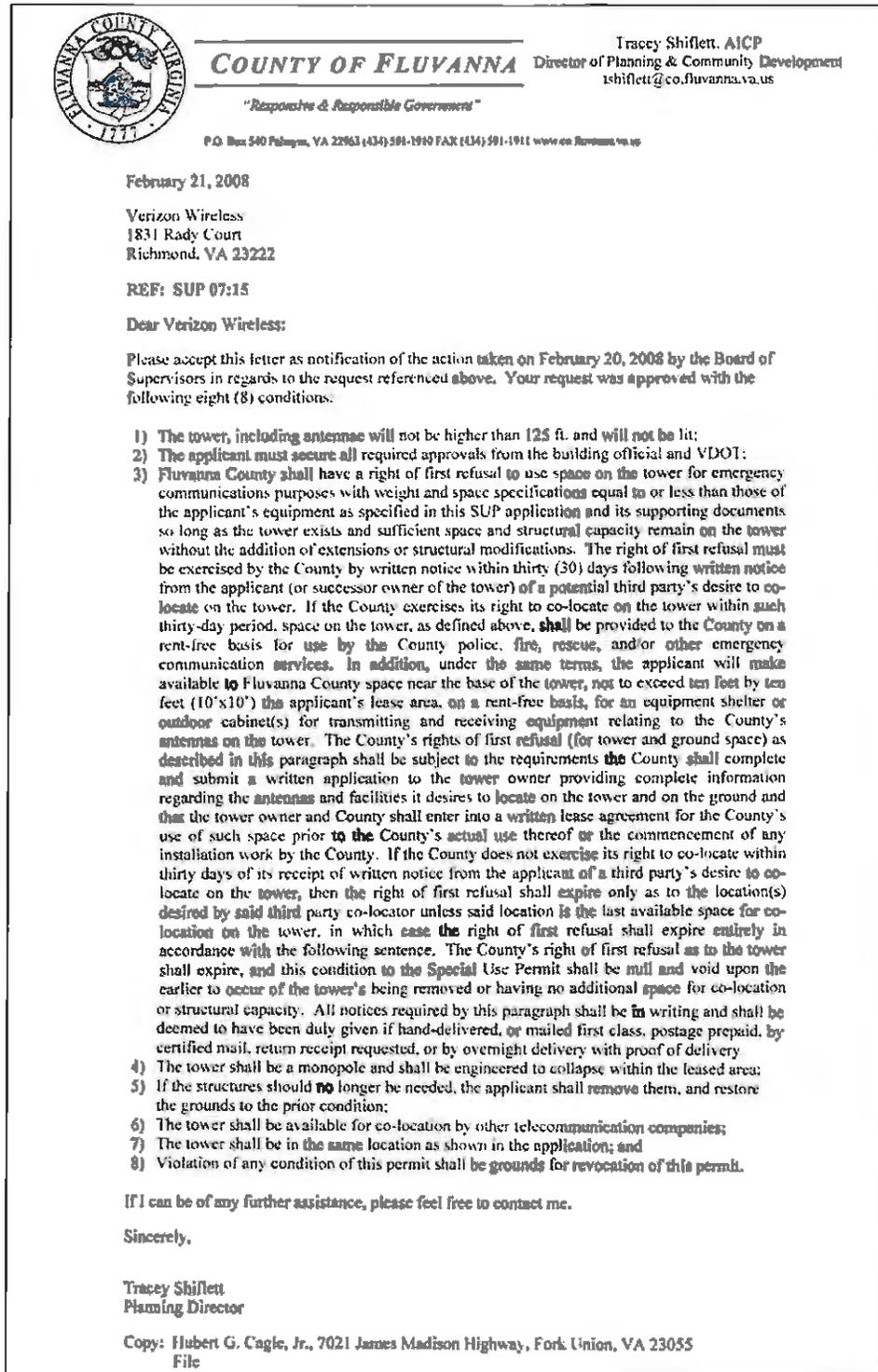
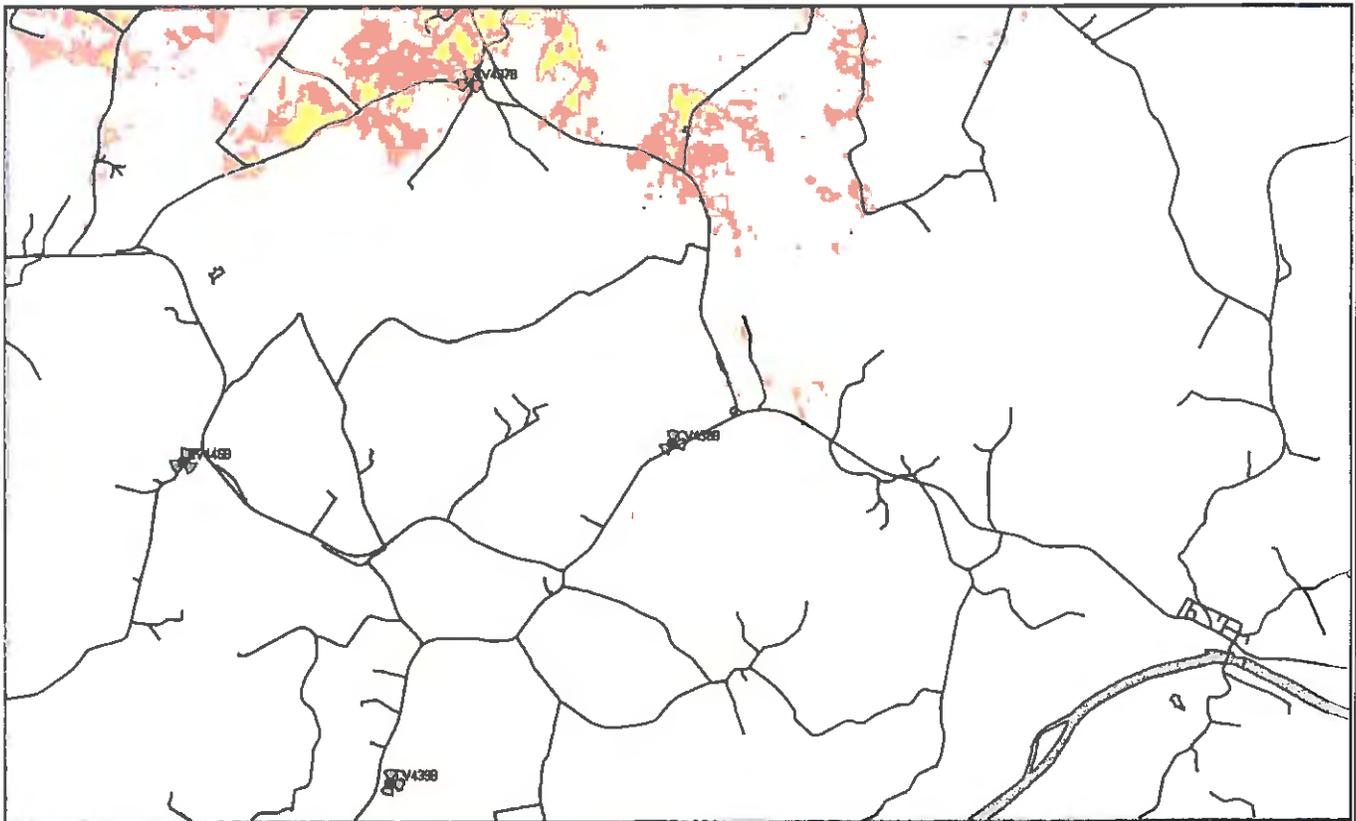


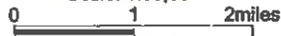
Figure 2. Original SUP



CV438 existing coverage



Scale: 1:88,337



CV On-air

- Best Signal Level (dBm)  $\geq -74$
- Best Signal Level (dBm)  $\geq -82$
- Best Signal Level (dBm)  $\geq -92$
- Best Signal Level (dBm)  $\geq -104$
- Best Signal Level (dBm)  $\geq -140$

Figure 3. Current Service

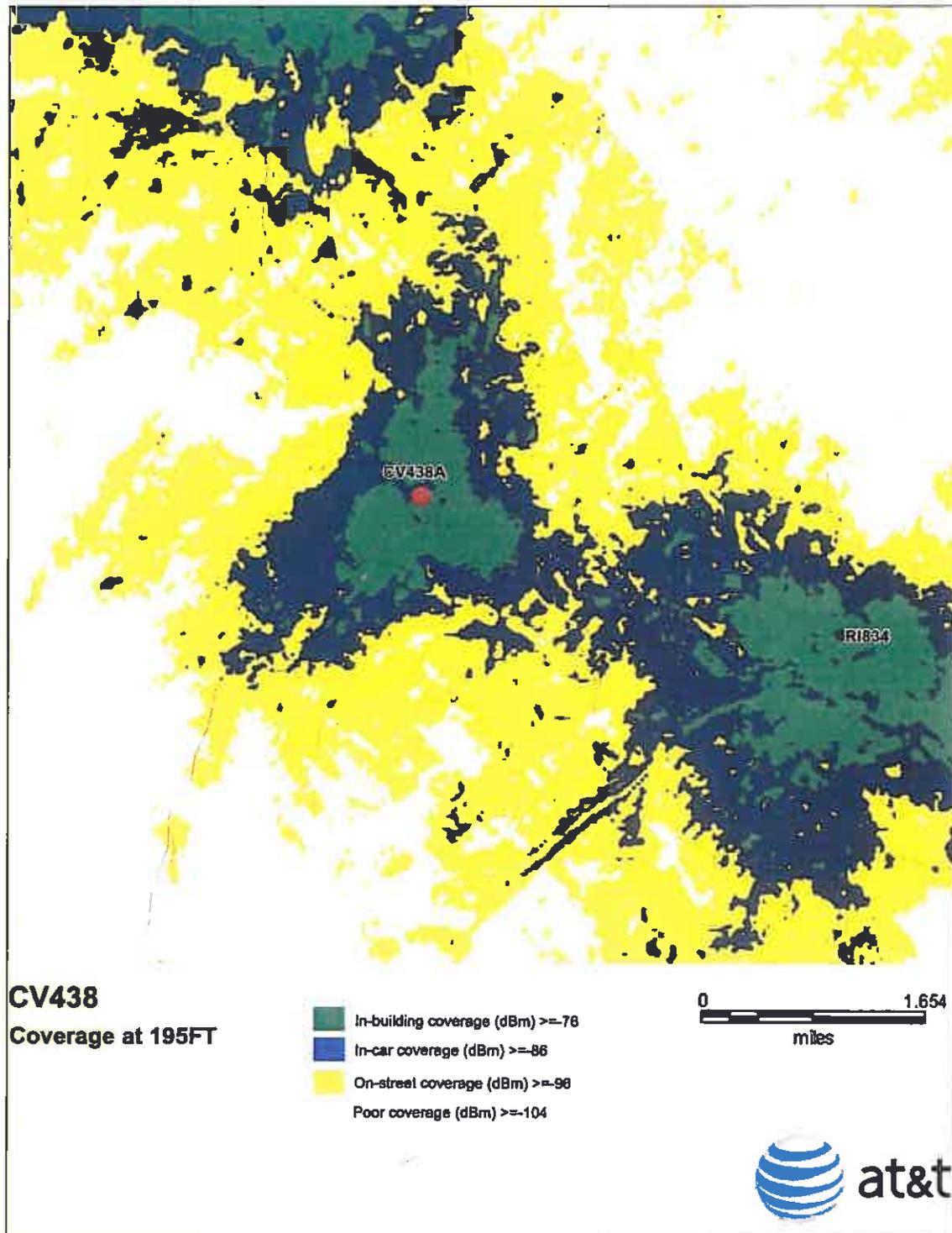
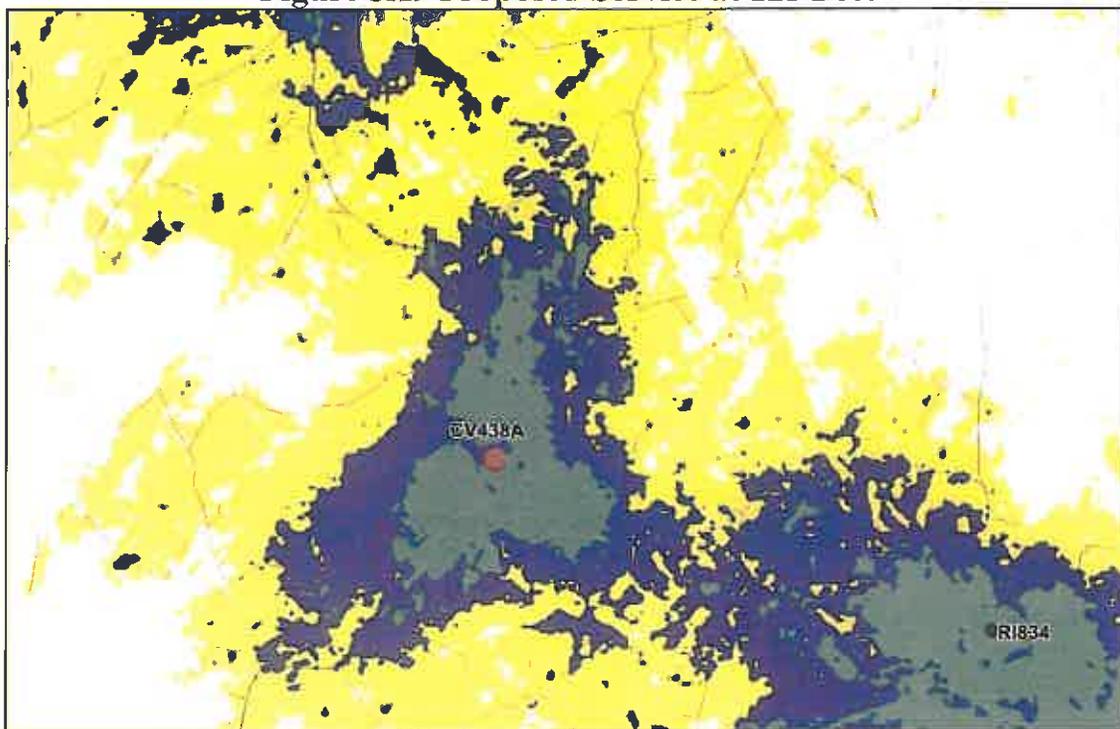


Figure 4. Proposed Service at 195 feet



**Figure 5A. Proposed Service at 125 Feet**



**Figure 5B. Proposed Service at 195 feet**



AT&T Mobility  
4801 Cox Road  
Suite 300  
Glen Allen, VA 23060

T: 804.290.5030  
F: 804.290.5055  
Peter.Kormanyos@att.com  
www.att.com

October 24, 2011

Fluvanna County  
Directors of Zoning and Planning  
PO Box 540  
Palmyra, Virginia 22963

Re: Zoning Application  
AT&T Site WV438/ CST Site VA-00-2199: Dixie  
7021 James Madison Hwy, Fork Union Virginia 23055

To Whom it May Concern:

AT&T Mobility is aware of the interference issues that can arise while co-locating with other carriers; therefore, careful isolation studies have been performed to determine the correct vertical and horizontal separation between AT&T Mobility's antennas and any other carrier. This avoids any possibility of our frequency interfering with other equipment. In addition, AT&T Mobility has acquired an FCC license, which exclusively entitles the company to operate within an assigned frequency range. This, in turn, eliminates any interference issues from CB radios, electronic appliances, pacemakers, fire and police equipment as well as other carriers. In the highly unlikely event, that interference is created, AT&T Mobility assumes full responsibility to take all necessary measures to resolve these issues.

Sincerely,

Peter Kormanyos  
Senior RF Engineer  
Virginia / West Virginia Markets

Figure 6. Human Exposure Compliance



AT&T Mobility  
4801 Cox Road  
Suite 300  
Glen Allen, VA 23060

T: 804.290.5030  
F: 804.290.5055  
Peter.Kormanyos@att.com  
www.att.com

October 24, 2011

Fluvanna County  
Directors of Zoning and Planning  
PO Box 540  
Palmyra, Virginia 22963

Re: Zoning Application  
AT&T Site WV438/ CST Site VA-00-2199: Dixie  
7021 James Madison Hwy, Fork Union Virginia 23055

To Whom it May Concern:

To the best of its knowledge, AT&T Mobility is compliant and will remain compliant with FCC Bulletin OET-65 which was prepared to provide assistance in determining whether transmitting facilities comply with limits for human exposure to radio frequency fields and AT&T Mobility will continue to operate and maintain its equipment at the above-referenced site location in compliance with all applicable FCC rules regarding radio frequency interference.

Sincerely,

Peter Kormanyos  
Senior RF Engineer  
Virginia / West Virginia Markets

Figure 7. Interference Compliance

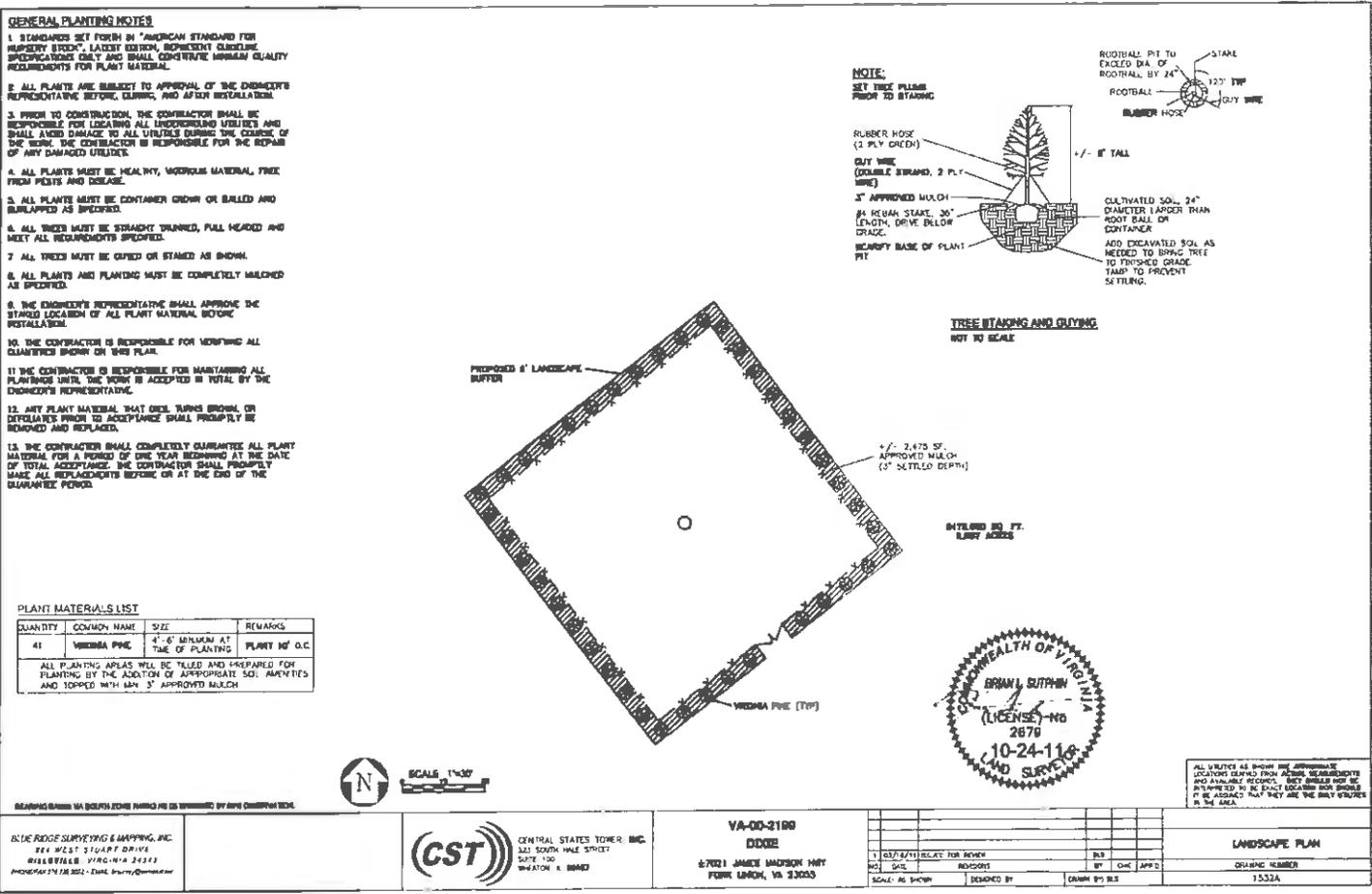


Figure 8. Landscaping and Buffer Plan



**State of Virginia  
Telecommunications Site Review  
New Structure**



AT&T Mobility  
Virginia/West Virginia Market Office  
4801 Cox Road, Suite 300  
Glen Allen, VA 23060

October 17, 2011

Mr. Brian Meier  
Chief Operating Officer  
Central States Tower II, LLC  
323 South Hale Street, Suite 100  
Wheaton, IL 60187

**RE: Letter of Intent / Central States Tower Site: VA-00-2199 Dixie / AT&T Site: CV438**

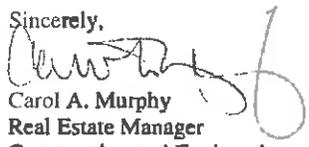
Dear Brian:

The purpose of this letter is to outline a basis of understanding between Central States Tower II, LLC and New Cingular Wireless PCS, LLC ("AT&T") regarding use by AT&T of a communications facility proposed to be built by Central States Tower II, LLC on certain real property located in at +/- 7021 James Madison Hwy, Fork Union, Virginia 23055 in Fluvanna County.

AT&T has submitted an application to lease the first carrier location on the proposed tower. Please note that although a lease agreement is in process, neither AT&T nor Central States Tower II, LLC should consider themselves bound by this Letter of Intent. Execution of the lease or license agreement is required under AT&T corporate guidelines in order to make such a commitment.

AT&T intends to provide full support to Central States Tower II, LLC in its efforts to secure zoning approval as well as any other federal, state or local approvals necessary to develop the communications facility.

Should you have any questions, please do not hesitate to contact me. We look forward to working with you on this important project.

Sincerely,  
  
Carol A. Murphy  
Real Estate Manager  
Construction and Engineering  
804-290-2015  
carol.murphy@atl.com



**Exhibit A. AT&T Letter**



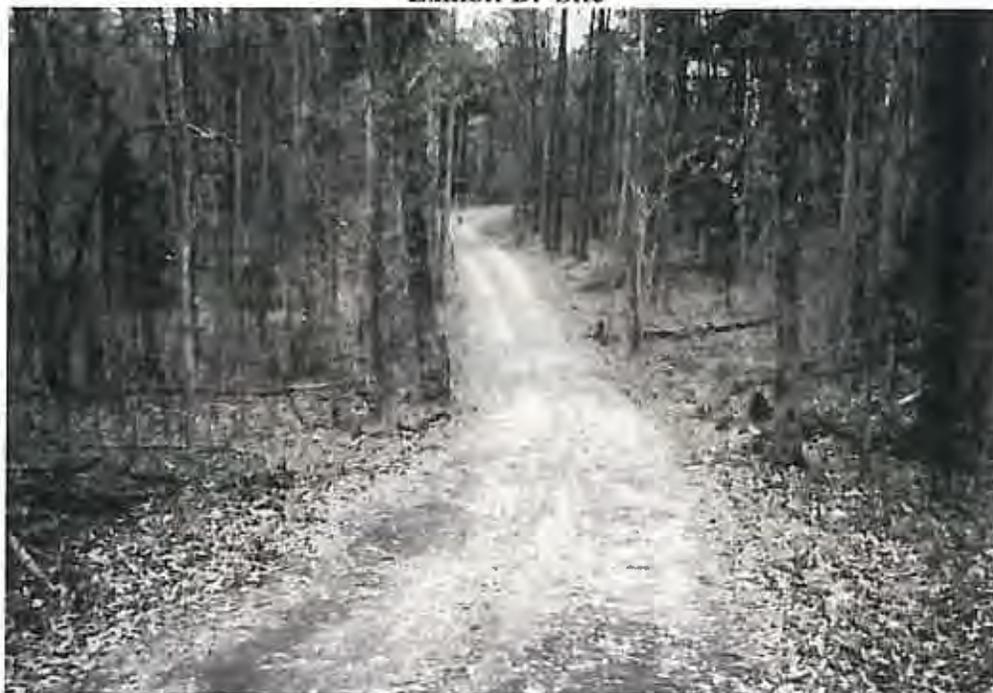
**Exhibit B. Site**



**Exhibit C. Site**



**Exhibit D. Site**



**Exhibit E. Site**

**LONG-RANGE PLANNING SCHEDULE**  
 Department of Planning & Community Development  
 2012

<b>Project</b>	<b>Research/Preparation</b>	<b>Work Sessions/Draft Revisions</b>	<b>Planning Commission Public Hearing</b>
Amend Parking and Landscaping Sections of the Zoning Ordinance	January - February	January – March	April
Review of the Sign Ordinance	February - March	March	April
Amend A-1 zoning district, create new rural zoning district	Complete	May	June
Cash Proffers	May – June	June	July
<b>TDR/PDR</b> (To be discussed with rural zoning issues, however, to develop specific program policies will take additional research and discussion)	June - August	August - September	October
Review of Conservation Easements Program	October - November	November	December

# Radio Communications Narrow Banding Update

---

January 18, 2012

# Narrow Banding Objectives

---

- Change Frequency Bands from 25 MHz (wide band) width to 12.5 MHz width (narrow band)
  - Make all necessary changes by regulatory deadline of January 1, 2013
-

# Narrow Banding Steps

---

1. Modify the current licenses to reflect the change in the band widths
  2. Purchase mobile and portable radios along with pagers to replace equipment that is not compatible with narrow banding
  3. Reprogram all existing and new radios
  4. Switch over the E-911 base equipment to narrow band
-

# Replacement Equipment

---

- ❑ Use the state contract for purchase of replacement equipment
  - ❑ Purchase equipment that will be capable of making the move to a digital radio system and will have capabilities of future requirements such as encryption and “man-down” capabilities
-

# Mobile Radio (Astro XTL 2500)

---



# Portable Radio (XTS 2500)

---



# Pager (Minitor V)

---



# Equipment to be Replaced

---

- Mobile (Vehicle) – 56 units - \$120,400
    - Installation Costs - Add another \$28,000
  - Portable (Walkies) – 73 units - \$131,400
  - Pagers – 58 - \$29,000
  
  - Total Estimated Costs - \$308,800
-

# Reprogramming of Radios

---

- Communications Director has obtained a cost on this work from three firms:
    - Clear Communications - \$23,808
    - Amerizon Wireless - \$26,903
    - Commtronics of Va - \$27,360
  - This will include all radios in the field as well as the E-911 base system
-

# Interoperability

---

- ❑ The switchover of Fluvanna County E-911 will be done when the system is completed
  - ❑ However, the timing of the switchover of the surrounding Counties will be completed at different times out of the control of the Fluvanna
  - ❑ Therefore, in order for the Fluvanna County radios to be able to communicate with the Surrounding Counties, the cost of additional reprogramming will be anticipated (but hopefully not needed)
  - ❑ This added cost is estimated to be \$12,000
-

# Narrow Banding Costs

---

- ❑ License Modification - \$4000
  - ❑ Equipment - \$308,800
  - ❑ Reprogramming - \$23,808
  - ❑ Interoperability Reprogramming - \$12,000
  - ❑ Project Contingency (10%+/-) - \$35,000
  
  - ❑ Total Project Estimate - \$383,608
-

# Narrow banding Schedule

---

## License Modification

- Start – now
- Finish – when FC is complete; but it is reported to be 6 months or about August 1st

## Purchase of Equipment

- Start when final quote is returned to Board by the February 15th meeting
- Equipment to be received within 55 days (business) of order so no later than May 2nd

## Reprogramming

- Start within 60 days of receipt of license or October 1<sup>st</sup>
  - Complete within 30 days or November 1st
-



---

**COUNTY OF FLUVANNA**

*"Responsive & Responsible Government"*

**Darren Coffey**  
*Interim County Administrator*  
dcoffey@co.fluvanna.va.us

---

P.O. Box 540 Palmyra, VA 22963 • (434) 591-1910 • FAX (434) 591-1911 • [www.fluvannacounty.org](http://www.fluvannacounty.org)

TO: Board of Supervisors *DKC*  
FROM: Darren Coffey, Interim County Administrator  
DATE: January 12, 2012  
SUBJECT: Board Directives

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Attached you will find the materials requested from the retreat of January 6, 2012, regarding the Board Directives, and including codes of ethics from a sampling of other localities.

## The Board strives to:

- Focus on the positive (what's working well), not on what's going wrong.
- Listen to what others are saying.
- Strive to understand each other's perspectives.
- Try to resolve problems without blaming.
- If you don't understand something, ask for clarification.
- Treat others' issues and concerns as valid, even if you don't agree with them.
- Maintain decision-making by consensus.
- Identify the elephants in the room.
- Remember, there is no rank – only peers.
- Silence means consent.
- Team members agree to hold themselves and each other accountable for commitments made to one another.
- When you've made a commitment you can't keep, let the other party know as soon as possible.
- Have fun.
- Celebrate success.
- Eliminate the zingers.

# Board of Supervisors

## Code of Ethics

### SPOTSYLVANIA COUNTY CODE OF ETHICS

#### Preamble

The citizens and businesses of Spotsylvania County, Virginia, are entitled to have fair, ethical and accountable local government, which has earned the public's full confidence for integrity. In keeping with the County of Spotsylvania's Commitment to Excellence, the effective functioning of democratic government therefore requires that public officials, both elected and appointed, comply with both the letter and spirit of the laws and policies affecting the operations of government; that public officials be independent, impartial and fair in their judgment and actions; that public office be used for the public good, not for personal gain; and that public deliberations and processes be conducted openly, unless legally confidential, in an atmosphere of respect and civility.

To this end, the Spotsylvania County Board of Supervisors has adopted this Code of Ethics for members of the Board and of the County's boards, commissions and committees to assure public confidence in the integrity of local government and its effective and fair operation.

#### **Act in the Public Interest**

Recognizing that stewardship of the public interest must be their primary concern, members will work for the common good of the people of Spotsylvania County and not for any private or personal interest, and they will assure fair and equal treatment of all persons, claims, and transactions coming before the Spotsylvania County Board of Supervisors, boards, commissions, and committees.

#### **Comply with the Law**

Members shall comply with the laws of the nation, the Commonwealth of Virginia and the County of Spotsylvania in the performance of their public duties. These laws include, but are not limited to: the United States and Virginia constitutions; the Code of the County of Spotsylvania; laws pertaining to conflicts of interest, election campaigns, financial disclosures, employer responsibilities, and open processes of government; and County ordinances and policies.

#### **Conduct of Members**

The professional and personal conduct of members must be above reproach and avoid even the appearance of impropriety. Members shall refrain from abusive conduct, personal charges or verbal attacks upon the character or motives of other members of the Board of Supervisors, boards, commissions, and committees, the staff or public.

#### **Respect for Process**

Members shall perform their duties in accordance with the processes and rules of

order established by the Board of Supervisors and boards, committees, and commissions governing the deliberation of public policy issues, meaningful involvement of the public, and implementation of policy decisions of the Board of Supervisors by County staff.

### **Conduct of Public Meetings**

Members shall prepare themselves for public issues; listen courteously and attentively to all public discussions before the body; and focus on the business at hand. They shall refrain from interrupting other speakers; making personal comments not germane to the business of the body; or otherwise interfering with the orderly conduct of meetings.

### **Decisions Based on Merit**

Members shall base their decisions on the merits and substance of the matter at hand, rather than on unrelated considerations.

### **Communication**

Members shall publicly share substantive information that is relevant to a matter under consideration by the Board of Supervisors or boards, committees and commissions, which they may have received from sources outside of the public decision-making process.

### **Conflict of Interest**

In order to assure their independence and impartiality on behalf of the common good, members shall not use their official positions to influence government decisions in which they have a material financial interest, or where they have an organizational responsibility or personal relationship that may give the appearance of a conflict of interest.

In accordance with the law, members shall disclose investments, interests in real property, sources of income, and gifts; and they shall abstain from participating in deliberations and decision-making where conflicts may exist.

### **Gifts and Favors**

Members shall not take any special advantage of services or opportunities for personal gain, by virtue of their public office, which are not available to the public in general. They shall refrain from accepting any favors, or promises, or suggestions of future benefits which might compromise their independence of judgment or action or give the appearance of being compromised. Annually, members shall refrain from accepting any gift valued at greater than \$50.00 or any combination of gifts from a single source valued at greater than \$100.00 in the aggregate. As used in this Code of Ethics, "gifts" shall not include political campaign contributions.

### **Confidential Information**

Members shall respect the confidentiality of information concerning the property, personnel or affairs of the County. They shall neither disclose confidential information without proper legal authorization, nor use such information to advance their personal, financial or other private interests.

### **Use of Public Resources**

Members shall not use public resources that are not available to the public in

general, such as County staff time, equipment, supplies or facilities, for private gain or personal purposes.

### **Representation of Private Interests**

In keeping with their role as stewards of the public interest, members of the Board shall not appear on behalf of the private interests of third parties before the Board of Supervisors or any board, committee, commission or proceeding of the County, nor shall members of boards, committees or commissions appear before their own bodies or before the Board of Supervisors on behalf of the private interests of third parties on matters related to the areas of service of their bodies.

### **Advocacy**

Members shall represent the official policies or positions of the Board of Supervisors, boards, commissions or committees to the best of their ability when designated as delegates for this purpose. When presenting their individual opinions and positions or otherwise speaking without the express direction or authorization of their body, members shall explicitly state they do not represent their body or Spotsylvania County, nor will they allow the inference that they do.

### **Policy Role of Members**

The Board of Supervisors determines the policies of the County with the advice, information and analysis provided by the public, boards, commissions, and committees, and County staff. The Board of Supervisors delegates authority for the administration of the County to the County Administrator.

Members therefore shall not interfere with the administrative functions of the County or the professional duties of County staff; nor shall they impair the ability of staff to implement Board policy decisions.

### **Independence of Board and Commissions**

Because of the value of the independent advice of boards, committees and commissions to the public decision-making process, members of the Board of Supervisors shall refrain from using their positions to unduly influence the deliberations or outcomes of board, committee or commission proceedings.

### **Positive Work Place Environment**

Members shall support the maintenance of a positive and constructive work place environment for County employees and for citizens and businesses dealing with the County. Members shall recognize their special role in dealings with County employees and in no way create the perception of inappropriate direction to staff.

### **Implementation**

As an expression of the standards of conduct for members expected by the County, the Spotsylvania County Code of Ethics is intended to be self-enforcing. It therefore becomes most effective when members are thoroughly familiar with it and embrace its provisions.

For this reason, ethical standards shall be included in the regular orientations for candidates for the Board of Supervisors, applicants to boards, committees and commissions, and newly elected and appointed officials. Members entering office shall sign a statement affirming they have read and understood the Spotsylvania

County Code of Ethics. In addition, the Board of Supervisors, boards, committees and commissions, shall annually review the Code of Ethics and the Board of Supervisors shall consider recommendations from boards, committees and commissions to update it as necessary.

### **Compliance and Enforcement**

The Spotsylvania County Code of Ethics expresses standards of ethical conduct expected of members of the Spotsylvania County Board of Supervisors, boards, committees and commissions. Members themselves have the primary responsibility to assure that ethical standards are understood and met, and that the public can continue to have full confidence in the integrity of government.

The chairs of boards, committees and commissions and the Chairman of the Board of Supervisors have the additional responsibility to intervene when actions of members that appear to be in violation of the Code of Ethics are brought to their attention.

The Board of Supervisors may impose sanctions on members whose conduct does not comply with the County's ethical standards, such as reprimand, formal censure, loss of seniority or committee assignment, or budget restriction. Where allowed by law, the Board of Supervisors also may remove members of Board-appointed boards, committees and commissions from office.

A violation of this Code of Ethics shall not be considered a basis for challenging the validity of a Board of Supervisors, board, committee or commission decision.

## **Model of Excellence**

### **Spotsylvania County Board of Supervisors, Boards, Committees and Commissions**

#### **MEMBER STATEMENT**

As a member of the Spotsylvania County Board of Supervisors, or of a Spotsylvania County board, committee or commission, I agree to uphold the Code of Ethics for elected and appointed officials adopted by the County and conduct myself by the following model of excellence. I will:

- Recognize the worth of individual members and appreciate their individual talents, perspectives and contributions;
- Help create an atmosphere of respect and civility where individual members, County staff and the public are free to express their ideas and work to their full potential;
- Conduct my personal and public affairs with honesty, integrity, fairness and respect for others;
- Respect the dignity and privacy of individuals and organizations;
- Keep the common good as my highest purpose and focus on achieving constructive solutions for the public benefit;
- Avoid and discourage conduct which is divisive or harmful to the best

interests of Spotsylvania County.

- Treat all people with whom I interact in the manner I wish to be treated;

We affirm that we reviewed and adopted this Code of Ethics effective January 8, 2008.

**JAMES CITY COUNTY  
BOARD OF SUPERVISORS  
CODE OF ETHICS**

**Preamble**

The citizens and businesses of James City County, Virginia, are entitled to have fair, ethical, and accountable local government, which has earned the public's full confidence for integrity. The effective functioning of democratic government requires that public officials, both elected and appointed, comply with both the letter and spirit of the laws and policies affecting the operations of government; that public officials be independent, impartial and fair in their judgment and actions; that public office be used for the public good, not for personal gain; and that public deliberations and processes be conducted openly, unless legally confidential, in an atmosphere of respect and civility.

To this end, the James City County Board of Supervisors has adopted this Code of Ethics for members of the Board and of the County's boards, commissions, and committees, to assure public confidence in the integrity of local government and its effective and fair operation.

**1. Act in the Public Interest**

Recognizing that stewardship of the public interest must be their primary concern, members will work for the common good of the people of James City County and not for any private or personal interest, and they will assure fair and equitable treatment of all persons, claims, and transactions coming before the James City County Board of Supervisors, boards, commissions, and committees.

**2. Comply with the Law**

Members shall comply with the laws of the nation, the Commonwealth of Virginia, and the County of James City in the performance of their public duties. These laws include, but are not limited to: the United States and Virginia constitutions; the Code of the County of James City; laws pertaining to conflicts of interest, election campaigns, financial disclosures, employer responsibilities, and open processes of government; and County ordinances and policies.

**3. Conduct of Members**

The professional and personal conduct of members must be above reproach and avoid even the appearance of impropriety. Members shall refrain from abusive conduct, personal charges or verbal attacks upon the character or motives of other members of the Board of Supervisors, boards, commissions, and committees, the staff or public.

**4. Respect for Process**

Members shall perform their duties in accordance with the processes and rules of order established by the Board of Supervisors and boards, committees, and commissions governing the deliberation of public policy issues, meaningful involvement of the public, and implementation of policy decisions of the Board of Supervisors by County staff.

**5. Conduct of Public Meetings**

Members shall prepare themselves for public issues; listen courteously and attentively to all public discussions before the body; and focus on the business at hand. They shall refrain from interrupting other speakers; making personal comments not germane to the business of the body; or otherwise interfering with the orderly conduct of meetings.

**6. Decisions Based on Merit**

Members shall base their decisions on the merits and substance of the matter at hand, rather than on unrelated considerations.

**7. Communication**

Members shall publicly share substantive information that is relevant to a matter under consideration by the Board of Supervisors or boards, committees, and commissions, which they may have received from sources outside of the public decision-making process.

**8. Conflict of Interest**

In order to assure their independence and impartiality on behalf of the common good, members shall not use their official positions to influence government decisions in which they have a material financial interest and shall disclose any substantial organizational responsibility or personal or business relationship to the parties in any matter coming before them. This paragraph is not intended to unduly restrict members who have minor business or professional dealings with clients whose matters come before them.

In accordance with the law, members shall disclose investments, interests in real property, sources of income, and gifts; and they shall abstain from participating in deliberations and decision-making where conflicts may exist.

**9. Gifts and Favors**

A member should never accept for himself or herself or for family members, favors or benefits under circumstances which might be construed by reasonable persons as influencing the performance of governmental duties.

**10. Confidential Information**

Members shall respect the confidentiality of information concerning the property, personnel, or affairs of the County. They shall neither disclose confidential information without proper legal authorization, nor use such information to advance their personal, financial, or other private interests.

**11. Use of Public Resources**

Members shall not use public resources that are not available to the public in general, such as County staff time, equipment, supplies or facilities, for private gain or personal purposes.

**12. Representation of Private Interests**

In keeping with their role as stewards of the public interest, members of the Board shall not appear on behalf of the private interests of third parties before the Board of Supervisors or any board, committee, commission, or proceeding of the County, nor shall members of boards, committees, or commissions appear before their own bodies or before the Board of Supervisors on behalf of the private interests of third parties on matters related to the areas of service of their bodies.

**13. Advocacy**

Members shall represent the official policies or positions of the Board of Supervisors, boards, commissions, or committees to the best of their ability when designated as delegates for this purpose. When representing their individual opinions and positions, members shall explicitly state they do not represent their body or James City County, nor will they allow the inference that they do.

**14. Policy Role of Members**

The Board of Supervisors determines the policies of the County with the advice, information, and analysis provided by the public, boards, commissions, and committees, and County staff. The Board of Supervisors delegates authority for the administration of the County to the County Administrator.

Members, therefore, shall not interfere with the administrative functions of the County or the professional duties of County staff; nor shall they impair the ability of staff to implement Board policy decisions. Inquiries to staff shall be made through the County Administrator or the appropriate department manager or director.

**15. Independence of Board and Commissions**

Because of the value of the independent advice of boards, committees, and commissions to the public decision-making process, members of the Board of Supervisors shall refrain from using their positions to unduly influence the deliberations or outcomes of board, committee, or commission proceedings.

**16. Positive Work Place Environment**

Members shall support the maintenance of a positive and constructive workplace environment for County employees and for citizens and businesses dealing with the County. Members shall recognize their special role in dealings with County employees and in no way create the perception of inappropriate direction to staff.

**17. Implementation**

As an expression of the standards of conduct for members expected by the County, the James City County Code of Ethics is intended to be self-enforcing. It therefore becomes most effective when members are thoroughly familiar with and embrace its provisions.

For this reason, ethical standards shall be included in the regular orientations for candidates for the Board of Supervisors, applicants to boards, committees, commissions, and newly elected and appointed officials. Members entering office shall sign a statement affirming they have read and understood the James City County Code of Ethics. In addition, the Board of Supervisors, boards, committees, and commissions, shall annually review the Code of Ethics and the Board of Supervisors shall consider recommendations from boards, committees, and commissions to update it as necessary.

**18. Compliance and Enforcement**

The James City County Code of Ethics expresses standards of ethical conduct expected of members of the James City County Board of Supervisors, boards, committees, and commissions. Members themselves have the primary responsibility to assure that ethical standards are understood and met, and that the public can continue to have full confidence in the integrity of government.

The chairs of boards, committees, and commissions and the Chairman of the Board of Supervisors have the additional responsibility to intervene when actions of members that appear to be in violation of the Code of Ethics are brought to their attention.

The Board of Supervisors may impose sanctions on members whose conduct does not comply with the County's ethical standards, such as public or private reprimand, formal censure, loss of seniority or committee assignment, or budget restriction. Where allowed by law, the Board of Supervisors also may remove members of Board-appointed boards, committees, and commissions from office.

A violation of this Code of Ethics shall not be considered a basis for challenging the validity of a Board of Supervisors, board, committee, or commission decision.

**MODEL OF EXCELLENCE  
JAMES CITY COUNTY BOARD OF SUPERVISORS,  
BOARDS, COMMITTEES, AND COMMISSIONS  
MEMBER STATEMENT**

As a member of the James City County Board of Supervisors, or of a James City County board, committee, or commission, I agree to uphold the Code of Ethics for elected and appointed officials adopted by the County and conduct myself by the following model of excellence. I will:

- Recognize the worth of individual members and appreciate their individual talents, perspectives, and contributions;
- Help create an atmosphere of respect and civility where individual members, County staff, and the public are free to express their ideas and work to their full potential;
- Conduct my personal and public affairs with honesty, integrity, fairness, and respect for others;
- Respect the dignity and privacy of individuals and organizations;
- Keep the common good as my highest purpose and focus on achieving constructive solutions for the public benefit;
- Avoid and discourage conduct which is divisive or harmful to the best interests of James City County;
- Treat all people with whom I interact in the manner I wish to be treated.

I affirm that I have read and understand the James City County Code of Ethics.

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Name (printed): \_\_\_\_\_

Office: \_\_\_\_\_

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### **ICMA Code of Ethics**

The following 12 tenets reflect the ICMA (International City Manager Association) Code of Ethics. The Virginia Local Government Management Association (VLGMA) utilizes these same tenets for its membership. As members of VLGMA, the County Administrator and Assistant County Administrator agreed to abide by these tenets. These promote values, professionalism and ethical behavior. They emphasize a sense of social responsibility and that the chief function of local government is to serve the best interests of all citizens.

These tenets will serve as a guidepost for the Prince Edward County Administrator's Office and all county employees will be expected to adhere to these principles. The goal is to create a County workforce that strives to always act in a professional manner while adhering to the highest ethical standards.

#### **Tenet 1**

Be dedicated to the concepts of effective and democratic local government by responsible elected officials and believe that professional general management is essential to the achievement of this objective.

#### **Tenet 2**

Affirm the dignity and worth of the services rendered by government and maintain a constructive, creative, and practical attitude toward local government affairs and a deep sense of social responsibility as a trusted public servant

#### **Tenet 3**

Be dedicated to the highest ideals of honor and integrity in all public and personal relationships in order that the member

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[US House of Representatives](#)

[US Senate](#)

[Congressman Tom Perriello](#)

#### **Comprehensive Annual Financial Reports (CAFR)**

The CAFR is prepared after a thorough audit has been performed by an independent auditor to obtain reasonable assurance the basic financial statements of the County are free of material misstatement in compliance with laws of the Commonwealth.

[CAFR FY 2009](#)

may merit the respect and confidence of the elected officials, of other officials and employees, and of the public.

CAFR FY 2008

**Tenet 4**

CAFR FY 2007

Recognize that the chief function of local government at all times is to serve the best interests of all people.

CAFR FY 2006

CAFR FY 2005

**Tenet 5**

CAFR FY 2004

Submit policy proposals to elected officials; provide them with facts and advice on matters of policy as a basis for making decisions and setting community goals; and uphold and implement local government policies adopted by elected officials.

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**Tenet 6**

Recognize that elected representatives of the people are entitled to the credit for the establishment of local government policies; responsibility for policy execution rests with the members.

**Tenet 7**

Refrain from all political activities which undermine public confidence in professional administrators. Refrain from participation in the election of the members of the employing legislative body.

**Tenet 8**

Make it a duty continually to improve the member's professional ability and to develop the competence of associates in the use of management techniques.

**Tenet 9**

Keep the community informed on local government affairs; encourage communication between the citizens and all local government officers; emphasize friendly and courteous service to the public; and seek to improve the quality and image of public service.

**Tenet 10**

Resist any encroachment on professional responsibilities, believing the member should be free to carry out official policies without interference, and handle each problem without discrimination on the basis of principle and justice.

**Tenet 11**

Handle all matters of personnel on the basis of merit so that fairness and impartiality govern a member's decisions,

pertaining to appointments, pay adjustments, promotions, and discipline.

**Tenet 12**

Seek no favor; believe that personal aggrandizement or profit secured by confidential information or by misuse of public time is dishonest.

**PLEASE NOTE:** Any email sent to a member of the Board of Supervisors, or any other public official and/or employee of Prince Edward County, becomes a public document and is subject to the Virginia Freedom of Information Act. This means that a copy of any such email could be requested by a citizen, or a member of the media, is subject to disclosure, and could be reprinted and/or used in a public forum.



Adopted January 3, 2008  
Revised July 1, 2008  
Revised May 19, 2009

## **Code of Ethics**

### **Board of Supervisors**

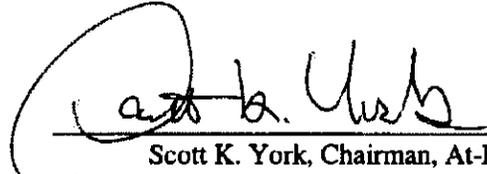
### **Loudoun County, Virginia**

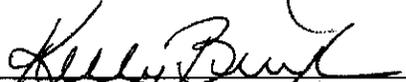
Recognizing that persons who hold public office have been given a public trust and that the stewardship of such office demands the highest levels of ethical and moral conduct, any person serving on the Loudoun County Board of Supervisors should adhere to the following Code of Ethics.

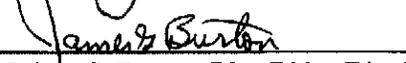
1. Uphold the Constitution, laws and regulations of the United States and of all governments therein and never knowingly be a party to their evasion.
2. Put loyalty to the highest moral principles and to the people of Loudoun County, as a whole, above loyalty to individuals, districts, or particular groups.
3. Give a full measure of effort and service to the positions of trust for which stewardship has been granted; giving earnest effort and best thought to the performance of duties.
4. Seek to find and use the most equitable, efficient, effective and economical means for getting tasks accomplished.
5. Adopt policies and programs that are in accordance with the County's EEO policy, and that support the rights and recognize the needs of all citizens regardless of race, sex, age, religion, creed, country of origin or handicapping conditions.
6. Ensure the integrity of the actions of the Board of Supervisors by avoiding discrimination through the dispensing of special favors or unfair privileges to anyone, whether for remuneration or not. A member should never accept for himself or herself or for family members, favors or benefits under circumstances which might be construed by reasonable persons as influencing the performance of governmental duties.
7. Make no private promises of any kind binding upon the duties of any office, since a public servant has no private word which can be binding on public duty.
8. Avoid even the appearance of a conflict of interest. A member should recuse himself or herself from participating in deliberations or voting on issues which might be interpreted

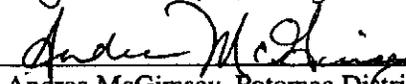
as questionable or borderline conflicts of interest, and which might be perceived as rendering direct personal or **professional** gain for himself or herself or for family members. If a Board member desires to vote on a questionable issue, he/she should seek the opinion of the County Attorney and made the opinion public before the vote in question.

9. Engage in no business with Loudoun County government or school system, which is inconsistent with the State and Local Government Conflict of Interest Act or the Public Procurement Act.
10. Never use any information gained confidentially in the performance of governmental duties as a means of making private profit.
11. Expose through appropriate means and channels, corruption, misconduct, or neglect of duty when discovered.
12. Adhere to the principle that the public's business should be conducted in the public view by observing and following the letter and spirit of the Freedom of Information Act.
13. Recognize that interaction with the media is a vital link in maintaining good communication with the public. Board member comments to the media should be in a courteous, statesmanlike manner and should maintain the propriety of the Board when speaking to public issues, or to opinions of colleagues and citizens.
14. Make sure, when responding to the media, that a clear distinction is made between personal opinion or belief and a decision made by the Board of Supervisors.
15. Review orally and in public session at the annual organizational meeting each of these principles.
16. Pledge to honor and uphold these principles, ever conscious that public office is a public trust.
17. Members of the Board of Supervisors shall not accept campaign contributions from persons, groups, associations, partnerships, corporations, or other such entities that have submitted an application or applications for Rezoning, Special Exception, Proffer Amendment, Concept Plan Amendment, Zoning Appeals and other Appeals before the Board of Supervisors, Comprehensive Plan Amendments, or Requests for Early Removal from Agricultural and Forestal Districts during the period of time such matter is submitted to the County to six months following final action on the matter by the Board of Supervisors or when the matter is withdrawn. If a donation has been accepted, the Board member has the option of recusing themselves from the matter or returning the donation.

  
\_\_\_\_\_  
Scott K. York, Chairman, At-Large

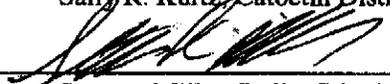
  
\_\_\_\_\_  
Kelly Burk, Leesburg District

  
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James G. Burton, Blue Ridge District

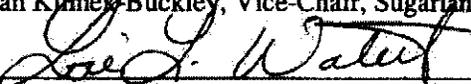
  
\_\_\_\_\_  
Andrea McGimsey, Potomac District

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Eugene A. Delgaudio, Sterling District

  
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Sally R. Kurtz, Catoclin District

  
\_\_\_\_\_  
Stevens Miller, Dulles District

  
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Susan Klimek-Buckley, Vice-Chair, Sugarland District

  
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Lori L. Waters, Broad Run District