



FLUVANNA COUNTY PLANNING COMMISSION

REGULAR MEETING AGENDA

Circuit Courtroom, Fluvanna Courts Building

August 27, 2014, at 7:00 pm

TAB AGENDA ITEMS

1 - CALL TO ORDER, PLEDGE OF ALLEGIANCE

2 - DIRECTOR'S REPORT

A Director's Report

3 - PUBLIC COMMENTS #1 (3 minutes each)

4 - APPROVAL OF MINUTES

B Minutes of July 23, 2014

5 - SITE DEVELOPMENT PLANS--None

6 - PUBLIC HEARINGS

C **ZMP 14-02: Lafayette School & SUP 14-08: Lafayette School:** An ordinance to amend the Fluvanna County Zoning Map with respect to 1.148 acres of Tax Map 5, Section 24, Parcel 7 to rezone the same from I-1, Industrial, Limited to B-1, Business, General. And, a request for a Special Use Permit (SUP) to allow for an educational facility with respect to 1.148 acres of a portion of Tax Map 5, Section 24, Parcel 7. The affected property is located on the north side of Zion Station Drive, approximately 400 feet northeast of Route 250 (Richmond Road). The property is located in the Columbia Election District and is within the Zion Crossroads Community Planning Area. The property is located in the Columbia Election District and is within the Zion Crossroads Community Planning Area.

D **SUP 14:05 – 52 Eighty Partners, LLC** - Construct Telecommunications Tower – A request for a special use permit to allow for a 195 foot wireless communications tower with respect to 18 acres of Tax Map 59, Section A, Parcel 65A. The property is zoned A-1 and is located approximately 0.5 miles southwest of West Bottom Road (Route 655) on the south side of Bremono Road (Route 601). The property is located in the Fork Union Election District and is within the Rural Preservation Planning Area.

E **SUP 14:06 – 52 Eighty Partners, LLC** - Construct Telecommunications Tower – A request for a special use permit to allow for a 195 foot wireless communications tower with respect to 97.5 acres of Tax Map 53, Section A, Parcel 56. The property is zoned A-1 and is located approximately ½ mile southwest of East River Road (Route 6) on the west side of Bremono Road (Route 656). The property is located in the Fork Union Election District and is within the Rural Preservation Planning Area.

F **SUP 14:07 – 52 Eighty Partners, LLC** - Construct Telecommunications Tower – A request for a special use permit to allow for a 195 foot wireless communications tower with respect to 16.1 acres of Tax Map 22, Section A, Parcel 90C. The property is zoned A-1 and is located 0.2 miles southwest of Dogwood Drive (Route 631) on the north side of Venable Road (Route 601). The property is located in the Columbia Election District and is within the Rural Preservation Planning Area.

6 – PRESENTATIONS--none

8 – SUBDIVISIONS—none

9 - UNFINISHED BUSINESS

Comprehensive Plan Update

10 - NEW BUSINESS--none

11 - PUBLIC COMMENTS #2 (3 minutes each)

12 - ADJOURN

PLEDGE OF ALLEGIANCE

I pledge allegiance to the flag
Of the United States of America
And to the Republic for which it stands,
One nation, under God, indivisible,
With liberty and justice for all.

ORDER

1. It shall be the duty of the Chairman to maintain order and decorum at meetings. The Chairman shall speak to points of order in preference to all other members.
2. In maintaining decorum and propriety of conduct, the Chairman shall not be challenged and no debate shall be allowed until after the Chairman declares that order has been restored. In the event the Commission wishes to debate the matter of the disorder or the bringing of order; the regular business may be suspended by vote of the Commission to discuss the matter.
3. No member or citizen shall be allowed to use abusive language, excessive noise, or in any way incite persons to use such tactics. The Chairman and/or the County Planner shall be the judge of such breaches, however, the Commission may vote to overrule both.
4. When a person engages in such breaches, the Chairman shall order the person's removal from the building, or may order the person to stand silent, or may, if necessary, order the person removed from the County property.

Fluvanna County Planning Commission PUBLIC HEARING RULES OF PROCEDURE

1. Purpose:

The purpose of a public hearing is to receive testimony from the public on certain resolutions, ordinances or amendments prior to taking action. A hearing is not a dialog or debate. Its express purpose is to receive additional facts, comments and opinion on subject items.

2. Speakers:

- Speakers should approach the lectern so they may be visible and audible to the Commission.
- Each speaker should clearly state his/her name and address.
- All Comments should be directed to Commission.
- Each speaker is limited to three minutes and time may not be donated from other audience members.
- All questions should be directed to the Chairman. Members of the Commission are not expected to respond to questions, and response to questions shall be made at the Chairman's discretion. Speakers are encouraged to contact staff regarding unresolved concerns or to receive additional information.
- Speakers with questions are encouraged to contact County staff prior to the public hearing.
- Speakers should be brief and avoid repetition of previously presented comments.
- County residents and taxpayers may be given priority in speaking order.

3. Action:

At the conclusion of the public hearing on each item, the Chairman will close the public hearing. The Commission will proceed with its deliberations and will act on or formally postpone action on such item prior to proceeding to other agenda items. Further public comment after the public hearing has been closed generally will not be permitted.



COUNTY OF FLUVANNA

"Responsive & Responsible Government"

P.O. Box 540 Palmyra, VA 22963 (434) 591-1910 FAX (434) 591-1911 www.co.fluvanna.va.us

To: Fluvanna County Planning Commission
From: Jason Stewart, AICP
Date: August 20, 2014
Re: Planning Director's Report

1. Board of Supervisors Actions:

August 6, 2014:

Approved - SUP 14:02 - Hotel Street Capital, LLC – A request for a special use permit to allow for major utilities in conjunction with a Master Plan Amendment of rezoning ZMP 09:02 with respect to 222.03 acres of Tax Map 30, Section A, Parcel 110, and 10 acres of Tax Map 10, Section A, Parcel 39C. The property is currently zoned R-3 (Residential, Planned Community) and is located on the western side of State Route 15 (James Madison Highway) at its intersection with State Route 644 (Friendship Road), approximately 0.25 miles north of State Route 661 (Rescue Lane). The property is located within the Palmyra Election District. According to the 2009 Comprehensive Plan, the property is within the Palmyra Community Planning Area.

Approved - ZMP 14:01 – Hotel Street Capital, LLC – A Master Plan Amendment of rezoning ZMP 09:02 with respect to 222.03 acres of Tax Map 30, Section A, Parcel 110, and 10 acres of Tax Map 19, Section A, Parcel 39C. The affected property is located in the Palmyra Election District on the western side of State Route 15 (James Madison Highway) and Route 644 (Friendship Road) approximately 0.25 miles north of Route 661 (Rescue Lane). The property is located in the Palmyra Election District and is within the Palmyra Community Planning Area.

No second August Board of Supervisors meeting:

2. Board of Zoning Appeals Actions:

No August Meeting.

3. Technical Review Committee:

SDP 14:05 – Northland Forest Products - A site development plan request to construct a 9,000 square foot steel-frame building with respect to 37.858 acres of Tax Map 5, Section 11, Parcel 8A. The property is zoned I-1, Industrial, Limited and is located at the terminus of Route 795 (Zion Park Road) approximately 0.28 miles south west of Route 250 (Three Notch Road). The property is located in the Columbia Election District and is within the Zion Crossroads Community Planning Area.

Monthly Approval Report for July 2014

<i>District</i>	<i>Action</i>	<i>ID#</i>	<i>Description</i>	<i>Tax Map</i>	<i>Parcels</i>	<i>Total Acreage</i>	<i>Number of Lots</i>
Columbia							
	<i>Minor Pending</i>						
		SUB 14-012	boundary adjustment	54	(10) 1 & 2	5.847	2
Fork Union							
	<i>Approved</i>						
		SUP 14-003	Commercial Kennel	30	(A) 84B	2.631	
Palmyra							
	<i>Approved</i>						
		SUP 14-004	K-8 Christian Day School/Homeschool co-op	18A	(4) 13A	6.34	

Wednesday, August 27, 2014

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<i>AFD - Agricultural Forestal District</i>	<i>BSP - Boundary Survey Plat</i>
<i>BZA - Board of Zoning Appeals (Variance)</i>	<i>CCE - Code Compliance Enforcement</i>
<i>CPA - Comprehensive Plan Amendment</i>	<i>SDP - Site Development Plan</i>
<i>SUB - Subdivisions</i>	<i>SUP - Special Use Permits</i>
<i>ZMP - Zoning Map Proposal (Rezoning)</i>	<i>ZTA - Zoning Text Amendment</i>

Transmittal Report July 2014

<i>Line Number</i>	<i>Code</i>	<i>Name</i>	<i>ID#</i>	<i>Amount Received</i>
		<i>Subdivision & Plat Review</i>		
			BSP14013	\$50.00
			<i>Sum:</i>	\$50.00
10000013-318316				
	<i>REZON</i>	<i>Rezoning</i>		
			ZMP14002	\$1,050.00
			<i>Sum:</i>	\$1,050.00
10000013-318337				
	<i>SITEPL</i>	<i>Site Plan Review</i>		
			SDP14005	\$1,100.00
			<i>Sum:</i>	\$1,100.00
10000013-318340				
	<i>MISC</i>	<i>Miscellaneous</i>		
			MSC14008	\$200.00
			<i>Sum:</i>	\$200.00
10000013-318341				
		<i>Subdivision & Plat Review</i>		
			SUB14015	\$100.00
			<i>Sum:</i>	\$100.00
10000013-318342				
	<i>SPUSEP</i>	<i>Special Use Permits</i>		
			SUP14007	\$5,500.00
			SUP14006	\$5,500.00
			SUP14005	\$5,500.00
			SUP14008	\$800.00
			<i>Sum:</i>	\$17,300.00
100-200220				
	<i>SIGN</i>	<i>Sign Deposit</i>		

<i>Line Number</i>	<i>Code</i>	<i>Name</i>	<i>ID#</i>	<i>Amount Received</i>
			SUP14007	\$90.00
			SUP14006	\$180.00
			SUP14005	\$90.00
			SUP14008	\$90.00
			<i>Sum:</i>	\$450.00
			<i>Total:</i>	\$20,250.00

Pending Meetings Report

<i>Action</i>	<i>Action Date</i>	<i>District</i>	<i>ID#</i>	<i>Applicant Name</i>	<i>Tax Map Parcels</i>	<i>Description</i>	<i>Total Acreage</i>	<i>Number of Lots</i>
<i>Pending PC Meeting</i>								
	8/27/2014	Columbia	ZMP 14-002	Lafayette School	5 (24) 7	rezoning from I-1 to B-1 to open a school	0	
	8/27/2014	Columbia	SUP 14-008	Lafayette School	5 (24) 7	Lafayette School	1.148	
	8/27/2014	Columbia	SUP 14-007	52-Eighty Partners, LLC	22 (A)90C	communications tower	16.1	
	8/27/2014	Fork Union	SUP 14-006	52-Eighty Partners, LLC	53 (A) 56	communications tower	97.5	
	8/27/2014	Fork Union	SUP 14-005	52-Eighty Partners, LLC	59 (A) 65A	communications tower	18	
<i>Pending TRC Meeting</i>								
	8/14/2014	Columbia	SDP 14-005	Northland Forest Products	5 (11) 8A	Major Site Plan--Steel frame; Lumber Pre-Dryer	0	
	9/11/2014	Fork Union	SDP 14-006	The Freedom Church	28 (A) 16	mobile classroom	2.173	

July 2014 Building Inspections Log

Kendrick, Charles	Hunters Lodge Road		A1	Accessory Building	Acs Bldg.	\$ 2,500.00
Birtell, Christina & Scotty	Paynes Mill Road			Remove underground tank	Add/Alt	\$ 2,000.00
Sindy, Richard	Oak Grove Road	18A-5-243	R4	Tank/line for logs	Add/Alt	\$ 1,000.00
Custer, Shawn & Kristen	Mountain Laurel Rd.	32-A-61	A1	New Home	NH	\$ 240,000.00
Floyd, Shawn	Rolling Road South		A1	Tankless hotwater heater	Add/Alt	\$ 2,880.00
County of Fluvanna	James Madison Hw			Trenching conduit	Add/Alt	\$ 28,585.00
Bass, John	Jennings Drive		R4	Deck/Screen Porch	Add/Alt	\$ 30,000.00
Duncan Dev/Sluder, Dave	Twin Oaks Lane		A1	Pool	Pool	\$ 25,000.00
Hanner, Cole & Pamela	Wildwood Drive		R4	New Home	NH	\$ 356,500.00
Hanner, Cole & Pamela	Wildwood Drive		R4	Land Disturbing	ES	\$ -
Perkins, Dorothy	Justin Drive			Electric for pool	Add/Alt	\$ 1,000.00
Thompson, Herbert	West River Rd.			Transfer switch for generator	Add/Alt	\$ 800.00
Weisenburger, William	Parrish Road			Electric for barn	Add/Alt	\$ 800.00
Faulkner, Brian & Jenny	Ruritan Lake Road	17-19-5	A1	New Home	NH	\$ 205,000.00
VA Elec Power Co.	Bremo Road	59-6-1		Land Disturbing	ES	\$ -
Devine, James	Bunker Blvd.			Gasline for stove/grill	Add/Alt	\$ 500.00
Aqua of Virginia	Running Water Way	18A-10-1H		Slab/Elec. For buidling	Add/Alt	\$ 71,000.00
Herner, Phillip	Central Plains Rd.		A1	Detached Garage	Garage	\$ 18,000.00
Deer Park Properties, LLC	James Madison Hw			Install Subpanel	Add/Alt	\$ 2,500.00
Palmyra Jehovah's Witness	Central Plains Rd.			3 new heatpumps	Add/Alt	\$ 15,000.00
Fluvanna Habitat For Humanity	Old Palmyra Way	19-6-4	A1	New Home	NH	\$ 160,000.00
Fluvanna County	Pleasant Grove			Service for Stage	Add/Alt	\$ 2,500.00
Morris, Patricia & Clifton	Aldridge Lane			Generator	Add/Alt	\$ 8,800.00
Gardner, Thomas & Ann	Barnaby Road			Accessory Building	Asc Bldg.	\$ 28,000.00
Lee Tennis Products	Crossroads Center			Fire Suppression System	Other	\$ 4,500.00
Brown, Charlotte	Venable Road			Disconnet	Add/Alt	\$ 2,727.00
St. John's Church	Washington St.			Water service	Add/Alt	\$ 2,400.00
Altherr, Brian & Theresa	Merry Oaks Dr.	17-22-4		New Home	NH	\$ 499,000.00
Altherr, Brian & Theresa	Merry Oaks Dr.	17-22-4		Land Disturbing	ES	\$ -
Wagner, Andrew	Sydney Way			Deck	Add/Alt	\$ 4,000.00
Vines, Stuart	Vines Lane		A1	Service Upgrade	Add/Alt	\$ 200.00
Lindsay, Charles	Lake Monticello Rd.		A1	Replace SWMH (Fire)	SWMH	\$ 14,000.00
Lee Tennis Products	Crossroads Center			Wire Supupressioin System	Add/Alt	\$ 1,250.00

**FLUVANNA COUNTY PLANNING COMMISSION REGULAR MEETING
MINUTES
Circuit Court Room
Fluvanna County Courts
July 23, 2014
7:00 p.m.**

MEMBERS PRESENT: Barry Bibb, Chairman
Patricia Eager, Vice-Chair
Donald Gaines
Lewis Johnson
Ed Zimmer
Tony O'Brien, Board of Supervisors Representative

ALSO PRESENT: Frederick Payne, Fluvanna County Attorney
Jason Stewart, Planning and Zoning Administrator
Steven Tugwell, Senior Planner
Jay Lindsey, Planner
Kelly Belanger Harris, Senior Program Support Assistant

CALL TO ORDER/PLEDGE OF ALLEGIANCE

Chairman Bibb called the meeting was called to order at 7:00p.m., after which the Pledge of Allegiance was recited.

PLANNING DIRECTOR'S REPORT

Mr. Jason Stewart, Planning and Zoning Administrator, gave the monthly report to the Planning Commission.

July 2, 2014:

Update on the status of Telecommunication tower Special Use Permits.

July 16, 2014:

Deferred to August 6, 2014 - SUP 14:02 - Hotel Street Capital, LLC – A request for a special use permit to allow for major utilities in conjunction with a Master Plan Amendment of rezoning ZMP 09:02 with respect to 222.03 acres of Tax Map 30, Section A, Parcel 110, and 10 acres of Tax Map 10, Section A, Parcel 39C. The property is currently zoned R-3 (Residential, Planned Community) and is located on the western side of State Route 15 (James Madison Highway) at its intersection with State Route 644 (Friendship Road), approximately 0.25 miles north of State Route 661 (Rescue Lane). The property is located within the Palmyra Election District. According to the 2009 Comprehensive Plan, the property is within the Palmyra Community Planning Area.

Deferred to August 6, 2014 - ZMP 14:01 – Hotel Street Capital, LLC – A Master Plan Amendment of rezoning ZMP 09:02 with respect to 222.03 acres of Tax Map 30, Section A, Parcel 110, and 10 acres of Tax Map 19, Section A, Parcel 39C. The affected property is located in the Palmyra Election District on the western side of State Route 15 (James Madison Highway) and Route 644 (Friendship Road) approximately 0.25 miles north of Route 661 (Rescue Lane). The property is located in the Palmyra Election District and is within the Palmyra Community Planning Area.

Approved 5-0 - SUP 14:03 – Jeffrey Stoneman - A request for a Special Use Permit (SUP) to allow for a commercial kennel with respect to 2.631 acres of Tax Map 30, Section A, Parcel 84B. The property is zoned A-1 (Agricultural, General) and is located on the southeast side of Route 15 (James Madison Highway), approximately 0.18 miles northeast of Route 53 (Thomas Jefferson Parkway). The property is located in the Fork Union Election District and is within the Palmyra Community Planning Area.

Approved 5-0 SUP 14:04 – Joyce Parr - A request for a Special Use Permit (SUP) to allow for an educational facility with respect to 6.343 acres of a portion of Tax Map 18A, Section 4, Parcel 13A. The property is zoned B-1 (Business, General) and is located on the north side of Slice Road, approximately 500 feet from its intersection with Route 600 (South Boston Road). The property is located in the Palmyra Election District and is within the Rivanna Community Planning Area.

Mr. Gaines questioned whether SUP14:02—Hotel Street Capital, LLC and ZMP14:01—Hotel Street Capital, LLC, could be sent back to the Planning Commission by the Board of Supervisors after the Board hears the requests on August 6, 2014.

Mr. Payne indicated that it is a possibility.

PUBLIC COMMENTS #1

Chairman Bibb opened the floor for the first section of public comments.

With no one wishing to speak, Chairman Bibb closed the first public comment section.

APPROVAL OF MINUTES

MOTION: Mrs. Eager moved to approve the minutes of the June 25, 2014 Planning Commission meeting as presented, which Mr. Gaines seconded. The motion carried **with a vote of 5-0-0. AYES: Bibb, Eager, Gaines, Johnson, Zimmer. NAYS: None. ABSTAIN: None.**

PRESENTATIONS:

- Cash Proffers--Mr. Jay Lindsey.

Chairman Bibb noted that this has been a yearly presentation that they have each year sent it to the Board of Supervisors.

Mrs. Eager gave kudos to Mr. Lindsey for the quality of his presentation.

SUBDIVISIONS:

- None.

SITE DEVELOPMENT PLANS:

- None.

PUBLIC HEARINGS:

- None.

UNFINISHED BUSINESS:

- Mr. Jay Lindsey presented an update on revisions to the Comprehensive Plan. Mr. Stewart indicated that Mr. Bobby Popowicz will attend the August Work Session to discuss the Economic Development chapter. Mrs. Eager posed several questions and pointed out a couple of discrepancies with the BOS and PC.

NEW BUSINESS:

- None.

PUBLIC COMMENTS #2

There being no one present to speak, Chairman Bibb passed over the second round of public comments in favor of adjourning.

ADJOURN

There being no further business, Mr. Bibb adjourned the Planning Commission meeting of July 23, 2014 at 8:34.

Minutes recorded by Kelly Belanger Harris.

Barry A. Bibb, Chairman

Fluvanna County Planning Commission



COUNTY OF FLUVANNA

"Responsive & Responsible Government"

P.O. Box 540 Palmyra, VA 22963 (434) 591-1910 FAX (434) 591-1911 www.co.fluvanna.va.us

STAFF REPORT

To: Fluvanna County Planning Commission
Case Number: ZMP 14:02 & SUP 14:08
Tax Map: Tax Map 5, Section 24, Parcel 7

From: Steve Tugwell
District: Columbia
Date: August 27, 2014

General Information: This request is to be heard by the Planning Commission on Wednesday, August 27, 2014 at 7:00 pm in the Circuit Court Room in the Courts Building.

Owner/Applicant: Ja-Zan, LLC

Representative: Barrett Stump c/o James Jessup

Requested Actions: To amend the Fluvanna County Zoning Map with respect to 1.148 acres of Tax Map 5, Section 24, Parcel 7, to rezone the same from I-1, Industrial, Limited, to B-1, Business, General, and; request for a special use permit to allow for an educational facility with respect to 1.148 acres of Tax Map 5, Section 24, Parcel 7. (Attachment A)

Location: The affected property is located on the north side of Zion Station Drive, approximately 400 feet northeast of Route 250 (Richmond Road. (Attachment B)

Existing Zoning: I-1, Industrial, General

Planning Area: Zion Crossroads Community Planning Area

Existing Land Use: The parcel is 1.148 acres in size and contains a 4,500 square foot brick building and peripheral parking. (Attachment C)

Adjacent Land Use: The surrounding area is zoned A-1 & I-1

Zoning History: This property was rezoned from A-1 to I-1 on August 5, 1985 (ZMP 85:02)

Comprehensive Plan:

VISION 2029

The vision for Fluvanna County is based on key goals such as “preserving the rural character, promote economic development and protect individual property rights”. Protecting and preserving the rural character is essential as was expressed by Fluvanna citizens throughout the comprehensive planning process (see Appendix A in the Comprehensive Plan under the “2006 Planning Issues Survey”).

Land Use Chapter:

The Comprehensive Plan designates this property as within the Zion Crossroads Community Planning Area. According to this chapter, *“this area is the county’s primary regional economic development area and is targeted as a regional employment center and for primarily mixed-use, mixed-income development that will also help develop the infrastructure needed for such development, as well as diversifying the county’s tax base”*. Additionally, *“large, medium and small commercial businesses, along with office, civic, and multifamily residential uses, combine to form a series of neo-traditional development or series of interconnected developments*. This area of the county is currently a mix of residential, commercial, and industrial uses. It appears the proposed educational facility would be unique to this area, and may provide a centralized location to allow convenience and accessibility to students in need of this type of facility. This parcel is located within a designated growth-area, the existing Zion Station industrial subdivision, and close proximity to Interstate 64 and Route 250. However two of the existing buildings, (subject building included), have brick exteriors, thus appearing more commercial/office, and less industrial in atmosphere.

Economic Development:

The 2009 Comprehensive Plan states that Goal 3 under the Course of Action Section is *“to protect rural areas through economic development”*, and to *“support the development of locally owned businesses, and entrepreneurial opportunities, particularly those that are of rural character and will require little provision of infrastructure”*. The Zion Crossroads Community Planning Area has been developing with a mix of mostly commercial and industrial uses, and some existing residential. The proposed educational facility is located within the Zion Crossroads CPA, and will not require major utilities or infrastructure in order to become established.

Analysis:

The applicant is requesting to rezone a 1.148 acre parcel (Tax Map 5, Section 24, Parcel 7) from I-1, Industrial, Limited to B-1, Business, General. The parcel is lot 7 of Zion Station industrial subdivision. There are currently three (3) buildings in the subdivision, and a total of 12 lots. Two (2) of the existing three buildings have a brick exterior, lending the atmosphere to more of an office or commercial area, and less of an industrial area. The subject parcel contains a 100’ x 45’ brick building that would be used for the educational facility. The parcel is currently zoned I-1, and I-1 zoning does not allow educational facilities by-right or by special use permit. The applicant is requesting to change the zoning to B-1, which allows educational facilities by special permit. The applicant has submitted a sketch site plan that shows the existing building, parking, and access to the site.

The applicant is proposing to use an existing 4,500 square foot building as an educational facility. According to information provided by the applicant, the purpose of The Lafayette School “*is to serve youth with severe emotional and behavioral problems or mental illness in the least restrictive setting, to provide an alternative for long-term residential treatment where there is an involved and supportive home environment and the student is not a danger to himself or others, and to provide high-quality empirically-based education and treatment to improve individual and family functioning.*” The Lafayette School is licensed by The Commonwealth of Virginia to operate a private day school for a capacity of thirty (30) students with disabilities. The school intends on enrolling twenty-four (24) students, with nine (9) full-time employees, and three (3) part-time employees.

(Attachment D)

When evaluating proposed uses for a special use permit, in addition to analyzing the potential adverse impacts of the use, staff utilizes two (2) general guidelines for evaluation as set forth in the zoning ordinance.

First, the proposed use should not tend to change the character and established pattern of the area or community.

The educational facility would be located on a 1.148 acre parcel, in an existing 4,500 square foot brick building. This parcel is located within the existing Zion Station Industrial subdivision, though it appears less industrial, and more office/commercial in atmosphere. The building would remain as-is, with possibly additional landscaping as part of an approved site development plan. It does not appear that the educational facility, as proposed, would alter or change the established pattern of the community.

Second, the proposed use should be compatible with the uses permitted by-right in that zoning district and shall not adversely affect the use/or value of neighboring property.

Educational facilities are allowed by SUP in the B-1 district. By-right uses that are similar, in operation or size of structures, to this application may include assisted living facilities, corporate offices, daycare centers, and office buildings.

Neighborhood Meeting:

With the exception of the applicant, there was one (1) other attendee at the July 9, 2014 neighborhood meeting.

Technical Review Committee:

At the July 10, 2014 Technical Review Committee meeting:

1. The Fire Department stated concern with regard for mixed uses in the industrial park, and advised to implement an emergency evacuation plan;

2. The E&S inspector advised that there are unresolved stormwater issues in this subdivision;
3. Planning staff asked about the total number of students and if there would be any outdoor play areas or facilities;
4. Chuck Wright with the Division of Forestry stated he has no comments;
5. VDOT stated that the existing 4500 sq. ft. brick building (formerly S&N Communications) located in Zion Station Industrial Park on Lot #7 on Zion Station Road 400 ft. off Rte. 250. VDOT made a site visit and there is at least 610 ft. of Intersection Sight Distance to the east and west at the intersection of Rte. 250 and Zion Station Road. There is an existing right turn taper (100 ft.) and right turn lane (350 ft.). Based on the proposed enrollment (24 students maximum and 10 school staff), the hours of operation (Weekdays - Students 8:30 a.m. to 2:30 p.m. and Staff 8 a.m. to 4:00-4:30 p.m. and Summer School 9 a.m. -2:45 p.m.) and student drop off and pick up by car, VDOT does not object to the proposed use of the existing building on Lot #7 as an educational facility for the Lafayette School.

(Attachment E)

Conclusion:

The Planning Commission should consider any potential adverse impacts, such as traffic entering and exiting the property, noise, or potential impacts to adjacent properties.

Recommended Conditions

If approved, Staff recommends the following conditions:

1. The site must meet the requirements set forth by the Virginia Department of Health.
2. The site must meet all Virginia Department of Transportation requirements.
3. Prior to development of the site, a site development plan that meets the requirements of the Fluvanna County Zoning Ordinance, must be submitted for review and approval.
4. The property shall be maintained in a neat and orderly manner so that the visual appearance from the road and adjacent properties is acceptable to County officials.
5. The maximum number of students enrolled at this facility during the academic school year shall be twenty-four (24).
6. The regular school hours of operation shall be 8:30 a.m. for students, and 8 a.m. to 4:00 p.m. for staff, Monday through Friday.
7. The Board of Supervisors, or representative, reserves the right to inspect the business for compliance with these conditions at any time.
8. Under Sec. 22-17-4 F (2) of the Fluvanna County Code, the Board of Supervisors has the authority to revoke a Special Use Permit if the property owner has substantially breached the conditions of the Special Use Permit.

Suggested Motion:

I move that the Planning Commission recommend **approval/denial** of the attached ordinance for ZMP 14:02, a request To amend the Fluvanna County Zoning Map with respect to 1.148 acres of Tax Map 5, Section 24, Parcel 7, to rezone the same from I-1, Industrial, Limited, to B-1, Business, General; and

I move that the Planning Commission recommend **approval/denial** of SUP 14:08, a request to allow for an educational facility with respect to 1.148 acres of Tax Map 5, Section 24, Parcel 7, [if approved] subject to the eight (8) conditions listed in the staff report.

Attachments:

- A – Applications, owner’s letter of authorization, & APO Letter
- B – Zoning map
- C – Aerial Vicinity Map
- D – Applicant’s supplemental information, site survey, and subdivision plat
- E – TRC Comment Letter, Health Dept. memo, and email from Mark Wood with VDOT
- F – Proposed ordinance

Copy:

Applicant – Barrett B. Stump, James Jessup, 1150 Pepsi Place, Charlottesville, VA 22901

File

Received

JUL 01 2014

Planning Dept.



COMMONWEALTH OF VIRGINIA
 COUNTY OF FLUVANNA
 Application for Rezoning

Owner of Record: Ja-Zan LLC

E911 Address: 1150 Pepsi Place, Charlottesville Va 22901

Phone: 434-978-2140 Fax: 434-973-9074

Email: 250gto@pepsicva.com

Representative: James Jessup

E911 Address: same

Phone: same, extension 120 Fax: _____

Email: same

Tax Map and Parcel(s): S 24 7 Plat - 2 - 284

Acreage: 1.148 Zoning: I1

Location of Parcel: Zion Station Industrial Park

Requested Zoning: B1 Proposed use of Property: educational facility

Applicant of Record: Lafayette School

E911 Address: _____

Phone: 434-977-8636 Fax: 434-977-8529

Email: bshump@lafayetteschoolville.org

Note: If applicant is anyone other than the owner of record, written authorization by the owner designating the applicant as the authorized agent for all matters concerning the request shall be filed with this application.

Is property in Agricultural Forestal District? No Yes

If Yes, what district: _____

Deed Book Reference: _____

Deed Restrictions? No Yes (Attach copy)

Affidavit to Accompany Petition for Rezoning

By signing this application, the undersigned owner/applicant authorizes entry onto the property by County Employees, the Planning Commission, and the Board of Supervisors during the normal discharge of their duties in regard to this request.

I/We, being duly sworn, depose and say that we are Owner/Contract Owner of the property involved in this application and that we have familiarized ourselves with the rules and regulations of the Zoning Ordinance with respect to preparing and filing this application, and that the foregoing statements and answers herein contained and the information on the attached map to the best of our ability present the argument on behalf of the application herewith requested and that the statements and information above referred to are in all respects true and correct to the best of our knowledge.

Date: 7/1/14 Signature of Owner/Applicant: James Jessup

Subscribed and sworn to before me this 1st day of July, 2014 Register # 100948

My commission expires: 09/30/2016 Notary Public: Debra M. Howell

All plats must be folded prior to submission to the Planning Department for review. Rolled plats will not be accepted.

OFFICE USE ONLY

Date Received: 7.1.14 Pre-Application Meeting: 5.28.14 PH Sign Deposit Received: 490 Application #: ZMP 14 : 02

\$1,000 plus \$50 for per acre plus mailing costs fee paid: Mailing Costs: \$20.00 Adjacent Property Owner (APO) after 1st 15, Certified

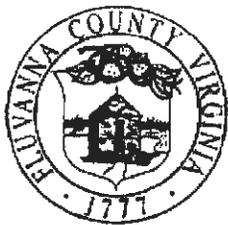
Proffer or Master Plan Amendment: \$750.00 plus mailing costs

Election District: _____ Planning Area: _____

Public Hearings

Planning Commission	Board of Supervisors
Advertisement Dates:	Advertisement Dates:
APO Notification:	APO Notification:
Date of Hearing:	Date of Hearing:
Decision:	Decision:

JUL 01 2014



COMMONWEALTH OF VIRGINIA
COUNTY OF FLUVANNA

Application for Special Use Permit (SUP)

Planning Dept.

Owner of Record: Ja-Zan LLC

Applicant of Record: Lafayette School

E911 Address: 103 Zion Station Road, Troy, VA 22974

E911 Address: _____

Phone: (434) 978-2140 Fax: (434) 973-9074

Phone: 434-971-8036 Fax: 434-977-8529

Email: cfitzgerald@pepsicva.com

Email: b.stump@lafayetteschoolville.org

Representative: _____

Note: If applicant is anyone other than the owner of record, written authorization by the owner designating the applicant as the authorized agent for all matters concerning the request shall be filed with this application.

E911 Address: _____

Phone: _____ Fax: _____

Is property in Agricultural Forestal District? No Yes

Email: _____

If Yes, what district: _____

Tax Map and Parcel(s): 5 24 7 Plat - 2-284

Deed Book Reference: _____

Acreage: 1.148 Zoning: I-1

Deed Restrictions? No Yes (Attach copy)

Request for a SUP in order to: Rezone operate a school

Proposed use of Property: Lafayette School

*Two copies of a plan must be submitted, showing size and location of the lot, dimensions and location of the proposed building, structure or proposed use, and the dimensions and location of the existing structures on the lot.

By signing this application, the undersigned owner/applicant authorizes entry onto the property by County Employees, the Planning Commission, and the board of Supervisors during the normal discharge of their duties in regard to this request and acknowledges that county employees will make regular inspections of the site.

Date: June 27, 2014 Signature of Owner/Applicant: _____

[Handwritten Signature]

Subscribed and sworn to before me this 27th day of June, 2014

Register # 252832

Notary Public: Catherine H Fitzgerald

My commission expires: 10/31/2017



Certification: Date: _____

Zoning Administrator: _____

All plats must be folded prior to submission to the Planning Department for review. Rolled plats will not be accepted.

OFFICIALS ONLY	
Date Received: <u>7-1-14</u>	Pre-Application Meeting: <u>5-28-14</u> PH Sign Deposit Received: _____ Application #: SUP <u>14-00</u>
\$800.00 fee plus mailing costs paid: <u>ch#</u>	Mailing Costs: \$20.00 Adjacent Property Owner(APO) after 1st 15, Certified Mail
Amendment of Condition: \$400.00 fee plus mailing costs paid: _____	
Telecommunications Tower \$1,500.00 fee plus mailing costs paid: _____	\$5,500 w/Consultant Review paid: _____
Election District: _____	Planning Area: _____
Advertisement Dates: _____	Advertisement Dates: _____
APO Notification: _____	APO Notification: _____
Date of Hearing: _____	Date of Hearing: _____
Decision: _____	Decision: _____

Fluvanna County Department of Planning & Community Development * Box 540 * Palmyra, VA 22963 * (434)591-1910 * Fax (434)591-1911

This form is available on the Fluvanna County website: www.fluvannacounty.org

Real Estate III
Commercial Properties

To Fluvanna County,

I, Jay Jessup, authorize the Lafayette School to accomplish the re-zoning for Zion Station Industrial Park at Zion Crossroads, VA.

Sincerely,

Jay Jessup

Managing Partner

JA-ZAN LLC



Received

JUL 01 2014

Planning Dept.

Memorandum

DATE: August 19, 2014
RE: APO'S for **SUP 14-08** Public Hearing Letters
TO: Jason Stewart
FROM: Kelly Belanger Harris

Please be advised the attached letter went out to the attached list of Adjacent Property Owners for the **August 27, 2014** Planning Commission meeting.



COUNTY OF FLUVANNA

“Responsive & Responsible Government”

P.O. Box 540 Palmyra, VA 22963 (434) 591-1910 FAX (434) 591-1911 www.fluvannacounty.org

NOTICE OF PUBLIC HEARING

August 13, 2014

«Owner»

«Address»

«City_State» «Zip_Code»

TMP# «TMP»

Re: Public Hearing on SUP 14:08 & ZMP 14:02

Dear «Owner»:

This letter is to notify you that the Fluvanna County Planning Commission will hold a public hearing on the above referenced item on **Wednesday, August 27, 2014** at **7:00 PM** in the Circuit Court Room at the Fluvanna County Courts Building in Palmyra, VA. The request is described as follows:

SUP 14:08 – Lafayette School - A request for a Special Use Permit (SUP) to allow for a educational facility with respect to 1.148 acres of a portion of Tax Map 5, Section 24, Parcel 7. The affected property is located on the north side of Zion Station Drive, approximately 400 feet northeast of Route 250 (Richmond Road). The property is located in the Columbia Election District and is within the Zion Crossroads Community Planning Area.

ZMP 14:02 – Lafayette School - An ordinance to amend the Fluvanna County Zoning Map with respect to 1.148 acres of Tax Map 5, Section 24, Parcel 7 to rezone the same from I-1, Industrial, Limited to B-1, Business, General. The affected property is located on the north side of Zion Station Drive, approximately 400 feet northeast of Route 250 (Richmond Road). The property is located in the Columbia Election District and is within the Zion Crossroads Community Planning Area.

The applicant or applicant’s representative must be present at the Planning Commission meeting. The tentative agenda and staff report will also be available for review by the public in the Fluvanna County Planning and Community Development Department during working hours (8:00 a.m. – 5:00 p.m., Monday through Friday). If you have any questions, please feel free to contact me at 434-591-1910.

Sincerely,

Steven Tugwell
Senior Planner

SUP 14-08 & ZMP 14-02 Adjoining Property Owners

TMP	Full Name	Address	City, State	Zip
5 (13) 6, 7 & 8	OVERTON, ELLERSON R., ET UX	526 Troy Rd	Troy, VA	22974
5 (24) A, 1-8 7, 8	JA-ZAN LLC	PO Box 9035	Charlottesville	22906
5 (13) 9	Shirley Hasher	4823 Richmond Rd	Troy, VA	22974
5 (24) 9	Baellow Properties, LLC	95 Zion Station Ct	Troy, VA	22974
5 (18) 2	John Lovegrove	1272 Troy Rd	Troy, VA	22974
5 (18) 3	Steven Shifflett	Po Box 523	Keswick, VA	22947



Scale: 1:4513.988705

Date: 08/18/2014

Printed By:

Under Virginia State Law, these real estate assessment records are public information. Display of this property information on the internet is specifically authorized by the Code of Virginia §58.1-3122.2(as amended).



Scale: 1:4513.988705

Date: 08/18/2014

Printed By:

Under Virginia State Law, these real estate assessment records are public information. Display of this property information on the internet is specifically authorized by the Code of Virginia 558.1-3122.2(as amended).

ARTICLES OF INCORPORATION

for the

LAFAYETTE SCHOOL, INC

A Virginia Nonstock Corporation

I hereby form a non-stock corporation pursuant to Chapter 10 of Title 13.1 of the Code of Virginia and to that end set forth the following:

ARTICLE I

NAME

The name of the corporation is the LAFAYETTE SCHOOL, INC. (the "Corporation").

ARTICLE II

LOCATION

The principle office of the Corporation is to be located in the County of Albemarle in the Commonwealth of Virginia.

ARTICLE III

REGISTERED AGENT

The street address of nonprofit organization's initial registered office is 3040-A Berkmar Drive, Charlottesville, Virginia, 22901, and the name of its initial registered agent is John E. Slough, who is a resident of Virginia and a member of the Virginia State Bar. The registered office is located in the County of Albemarle, Commonwealth of Virginia.

ARTICLE IV

PURPOSE

- A. Lawful Purpose: The Corporation is organized exclusively for charitable and educational purposes, the making of distributions to organizations that qualify as exempt organizations under section 501 (c) (3) of the Internal Revenue Code, or corresponding section of any future federal tax code.
- B. Specific Purpose: The purpose of the Lafayette School, Inc. is to serve youth with severe emotional and behavioral problems or mental illness in the least restrictive setting, to provide an alternative for long term residential treatment where there is an involved and supportive home

environment and the student is not a danger to himself or others, and to provide high quality, empirically-based education and treatment to improve individual and family functioning.

ARTICLE V
DURATION

The Corporation's existence shall begin upon the inception of these Articles of Organization and shall continue, unless dissolved sooner in accordance with the terms of organization's Bylaws, in perpetuity.

ARTICLE VI
MEMBERSHIP

The Corporation shall have no members.

ARTICLE VII
DIRECTORS

- A. The business and affairs of the Corporation shall be governed by a Board of Directors elected by the manner described in the organization's Bylaws.
- B. The Directors shall have all of the duties, powers, and authority as set forth in the organization's Bylaws and no other duties, powers, and authority.
- C. Vacancies on the Board of Directors shall be filled by a majority vote of the remaining Directors.

ARTICLE VIII
NOT-FOR-PROFIT STATUS

- A. No part of the net earnings of the Corporation shall inure to the benefit of any member, trustee, officer of the Corporation, or any private individual (except that reasonable compensation may be paid for services rendered to or for the Corporation affecting one or more of its purposes), and no member, trustee, officer of the Corporation, or any private individual shall be entitled to share in the distribution of any of the corporate assets on dissolution of the Corporation.
- B. No substantial part of the activities of the Corporation shall be the carrying on of propaganda, or otherwise attempting, to influence legislation, and the Corporation shall not participate in or intervene in (including the publication or distribution of statements) any political campaign on behalf of any candidate for public office.
- C. Notwithstanding any other provision of this certificate, the Corporation shall not conduct or carry on any activities not permitted to be conducted or carried on by an organization under Section 501 (c) (3) of the Internal Revenue Code and its Regulations as they now exist or as they may hereafter be amended, or by an organization, contributions to which are deductible under Section 170 (c) (2) of such Code and Regulations as they now exist or as they may hereafter be amended.

ARTICLE IX
DISSOLUTION

Should the Corporation cease to operate, voluntary dissolution procedures shall be initiated in accordance with the requirements of the statutes of the State of Virginia. The requirements by the Internal Revenue Code with respect to distribution of properties held by a corporation which has been granted tax exempt status or other funding source requirements shall be followed.

Witness the following signature of the Incorporator this 16th day of August, 1999.



John E. Slough, Incorporator

Proposed for Approval upon review by legal counsel.



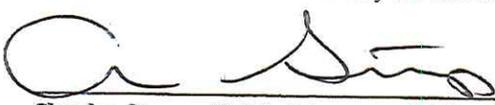
Cary Anderson, Chair of the Board of Directors

9-14-12
9/14/2012



Barret Stump, M.S., Director of School/Ex Officio
Board of Directors Member

9-14-12
9/14/2012



Charles Stump, M.Ed., Director of School/Ex Officio
Board of Directors Member

9.14.12
9/14/2012

Lafayette School and Treatment Center : Proposed By-laws

ARTICLE I. OFFICE AND FISCAL YEAR

Section 1.01 Office. The principal office of the Corporation shall be located in the County of Albemarle, Virginia.

Section 1.01 Fiscal Year. The fiscal year of the Corporation shall begin on the first day of July.

ARTICLE II. PURPOSE

Section 2.01 The purpose of the Lafayette School and Treatment Center is to serve youth with severe emotional and behavioral problems or mental illness in the least restrictive setting, to provide an alternative for long term residential treatment where there is an involved and supportive home environment and the student is not a danger to himself or others, and to provide high quality, empirically-based education and treatment to improve individual and family functioning.

ARTICLE III. POWERS AND DUTIES OF THE BOARD OF DIRECTORS

Section 3.01 The corporate powers, duties and responsibilities of The Board of Directors shall be as follows:

1. to develop rules and procedures for governing the Board of Directors, which shall be contained in the Corporate By-laws;
2. to receive and oversee the administration of funds and contributions from private, federal, state or local sources, which are used in support of LSTC;
3. to determine LSTC's overall program plans and priorities;
4. to grant final approval of all program proposals and budgets;
5. to ensure the compliance of all grants and contracts, including having an annual audit performed by an independent auditor;
6. to determine personnel, fiscal, organizational and program policies and procedures for the effective and efficient operation of LSTC. The Board shall vest the power to manage, direct, supervise and otherwise administer programs, services and staff to the Executive Director and/or his/her designees. **The term Executive Director referred to throughout this document can be a shared position, e.g., two co-directors, if the Board so designates;**
7. to hire, evaluate and terminate the Executive Director, and to monitor the Executive Director's implementation of LSTC's programs, services, and overall management. The Board of Directors shall determine the Executive Director's salary. The Board Chair shall serve as the conduit between the Board and the Executive Director. A job description for the Executive Director describing his/her duties and responsibilities shall be developed and maintained by the Board. The Executive Director is the sole employee of the Board of Directors, and shall be responsible for the administration of organization policies and procedures and for day-to-day management and support of organization employees, in accordance with established personnel policies and procedures;
8. to review the extent and quality of LSTC programs;
9. to select Board officers and the Executive Committee of the Board;

Lafayette School and Treatment Center Proposed Bylaws

- 10. to review and amend the By-laws. The By-laws should be reviewed and approved in total every three (3) years making appropriate revisions as required. Revisions to the By-laws are to take effect immediately upon approval of the Board; and
- 11. to acquire, purchase, lease, own, hold, or sell real estate wherever situated; and also to construct, erect and operate building and recreational facilities.

ARTICLE IV. NUMBER OF DIRECTORS

Section 4.01 The Board of Directors shall consist of no more than eleven (11) members.

ARTICLE V. TERM LIMITS

Section 5.01 Board Member Terms. Terms of office for all members, shall be three (3) years. No Board member can serve more than two (2) consecutive terms. One year must then lapse before a member can return to the Board.

ARTICLE VI. BOARD VACANCIES

Section 6.01 Resignations. All resignations from the Board shall be in writing and shall become effective upon receipt by the Board Chair or his/her designee.

ARTICLE VII. BOARD MEMBER REMOVAL

Section 7.01 Removal. Any Board member may be removed from office by a 2/3-majority vote of all members present at a regularly scheduled meeting.

Members may be removed for the following reasons:

Absenteeism - missing more than two in a row of the scheduled Board of Directors meetings within a calendar year without cause;

Malfesance - illegal, wrongful conduct and/or unethical behavior;

Conduct which reflects adversely upon LSTC as defined in the Board of Directors Code of Conduct;

Violation of these By-laws or other corporate policies and procedures, or not acting in the best interest of LSTC;

Violation of the Conflict of Interest regulations as specified in Article IX, Section 9.02 and/or;

Violation of any Board member regulations as specified in these By-laws.

Section 7.02 Procedures for Removal. The Board shall use the following procedures for removing a Board member from office:

Lafayette School and Treatment Center Proposed Bylaws

The Board member shall be advised in writing that his or her removal from the Board has been recommended. Such notice shall contain the basis upon which the removal has been recommended.

The Board member shall be notified as to date and time to appear before the Board of Directors. Said hearing shall take place no later than 45 days from the date of notification.

The Board of Directors shall vote on the removal from office. The removal of a Board member requires a two-thirds (2/3)-majority vote of all present members of the Board of Directors.

ARTICLE VIII. BOARD MEMBER REGULATIONS

Section 8.01 Compensation. All Board members serve in a volunteer capacity, and there shall be no compensation to any Board member for service on the Board of Directors. Board members may be reimbursed reasonable and justifiable expenses related to Board business, subject to documentation being presented to the Chair and/or the Executive Director for approval. LSTC's fiscal policies and procedures shall govern authorized travel expenses for Agency conferences and/or out of town travel.

Section 8.02 Conflict of Interest. Board members shall:

1. not make a profit in any way in their outside employment or business interests from their association with the corporation;
2. have an affirmative duty and obligation to disclose any conflict or potential conflict of interest involving any issue presented at the board meeting for a vote; members should abstain, where appropriate, from discussion or voting on these issues;
3. not flaunt their board membership and attempt to intimidate employees to gain personal favors. Board members shall not abuse membership by using LSTC staff, services, equipment, materials or property for their personal gain; and
4. have an affirmative duty to disclose any and all family members who are employed by LSTC. The Board member shall refrain from voting on actions affecting family.

Section 8.03 Board Member Employment. No Board member shall be an employee of LSTC. If a Board Member applies for a job at the agency s/he will immediately resign from the Board.

Section 8.04 Confidentiality Clause. The Board shall be responsible for maintaining confidentiality as may be required from time to time in conducting corporate matters and/or handling LSTC issues. Confidentiality shall be maintained throughout board service and for a period of 5 years after board service; violation of this policy may invoke sanctions, including removal from the Board.

Section 8.05 Code of Conduct. The Board of Directors Code of Conduct, as incorporated herein, shall be signed upon the seating of each board member, and shall serve as an integral part of the standards of professionalism governing this organization.

Lafayette School and Treatment Center Proposed Bylaws

ARTICLE IX. BOARD OF DIRECTORS MEETINGS

Section 9.01 Regular Meetings. The Board of Directors shall schedule a regular meeting at least once every two (2) months. Meetings of the Board shall be held on the **third Tuesday** of the month, unless otherwise specified by the Board. All regular meetings of the Board of Directors shall be open to the general public, with exceptions noted for Executive Session for confidential organization business. Executive Sessions shall be conducted in accordance with the Virginia Freedom of Information Act (VFOIA).

Section 9.02 Annual Meeting. There shall be an Annual meeting held at the organization's registered address or at any such place as may be designated by the majority vote of the Board members every year during the month of **October**. Officers and other members of the Executive Committee shall be elected at the Annual meeting, and their terms shall begin as of that date.

Section 9.03 Notice of Meetings. Notice of the Meeting shall be sent to each Board member at least three (3) days prior to the meeting and shall include an agenda. Notice of all meetings of the Board of Directors shall be given, along with the date, time, and place of the meeting. Notice of a meeting can be given by telephone, e-mail or by written notice, either personally or by first class mail, to each Director at his or her address of record. **In the event that adequate notice of a meeting has not been provided, any Director may waive notice of any meeting.** The attendance of a Director at any meeting shall constitute a waiver of notice, except when a Director attends a meeting for the express purpose of objecting to the transaction of any business because the meeting is not lawfully called or convened. Unless specifically required by law or these by-laws, the business to be conducted at the meeting need not be specified in the notice or waiver of notice.

Section 9.04 Special Meetings. Special meetings of the Board of Directors may be called by the Chair or by request of the Board membership. To call a special meeting by request, a petition must be signed by fifty percent (50%) of the Board Membership. The meeting notification shall include a copy and/or statement of the matter(s) to be discussed at the meeting, the date, time, and location of the meeting and shall be sent at least three (3) days prior to the called meeting.

Section 9.05 Quorums. A quorum shall consist of at least one half (1/2) of the non-vacant seats on the Board. The Board of Directors shall take no vote unless a quorum is present. The act of the majority of the Board Members at any meeting, at which a quorum is present, unless specified otherwise in the By-laws, shall be an act representing the full Board of Directors.

Section 9.06 Voting. Voting at all meetings of the Board of Directors and its committee shall be in person, via telephone or when special arrangements are made, via e-mail. Each member of the Board shall be entitled to one vote. Proxy voting is allowed. A majority vote shall be required for all decisions except as may be otherwise stated in these By-laws.

Section 9.07 Minutes. The Board shall keep for each meeting written minutes with a record of votes on all motions. Minutes shall be available to officers and board members in accordance with the provisions of these By-laws. Minutes of the previous meeting shall be distributed to all members before the next meeting, and shall be made available to the public upon request.

Lafayette School and Treatment Center Proposed Bylaws

Section 9.08 Parliamentary Authority. The Parliamentary Procedures of all meetings of this corporation shall be conducted in accordance with Robert's Rules of Order.

Section 9.09 Open Meetings. All Board and Committee meetings of the Corporation shall be open to the public except when considering personnel, legal, or real estate matters as provided by the Virginia Freedom of Information Act (VFOIA). Actions taken in closed meetings shall not be effective until such actions are voted on in an open meeting.

ARTICLE X. OFFICERS OF THE CORPORATION

Section 10.01 Board Officers. The Organization shall have the following officers: Chair, Vice-Chair, Treasurer, Secretary and such other officers as the Board of Directors shall from time to time determine necessary. No person may hold more than one office at any given time.

Section 10.02 Election of Officers. The officers of the Board shall be elected by the Board of Directors from among its own membership at its Annual Meeting each calendar year, as defined in these By-laws. The Nominating Committee shall be responsible for the election process and criteria. If the election of officers shall not be held at such meeting, such election shall be held as soon thereafter as possible. Officer vacancies may be filled at any meeting of the Board. Elections shall be by a majority vote of members present. Nominations for officers also may be from the floor. In the event that no candidate shall receive a majority of the votes cast for any office, a runoff election shall be held between the candidates receiving the highest number of votes. Each officer shall hold office until his or her successor has been duly elected and officially seated.

Section 10.03 Term of Office. Election shall be for a term of one year, or until their successors shall have been duly elected. Each officer shall hold office until the Annual Meeting of the year, or until his or her death, his or her resignation, or until he or she has been removed as provided herein. All offices are open for election/re-election annually.

Section 10.04 Officer Vacancy. A vacancy in any office because of death, resignation, removal, disqualification or otherwise, shall be filled by the Board of Directors for the un-expired portion of the term.

Section 10.05 Duties and Powers. The duties and powers of the Board officers shall be to sign any checks, deeds, mortgages, bonds, contracts, or other instruments which the Board of Directors has authorized to be executed, except in cases where the signing and execution thereof shall be expressly delegated by the Board.

Section 10.06 Refusal to Act. An officer may refuse to act if he/she wishes to participate in a way restricted by virtue of holding an office or if he/she perceives a conflict of interest by virtue of maintaining an office.

Section 10.07 Chair. The Chair shall serve as the Principal Officer of the Board and shall:

1. preside at all meetings of the Board of Directors;

Lafayette School and Treatment Center Proposed Bylaws

2. sign, with proper authority, any grants, contracts, bonds or other instruments which the governing board has authorized to be executed;
3. to perform all duties of the Chair and such other duties as may be prescribed by the Board of Directors from time to time;
4. serve as an ex-officio member, without the power to vote, on all committees;
5. provides leadership that will assure that the plans and policies adopted by the Board of Directors are carried out;
6. appoints the Nominating Committee; and
7. chairs the Executive Committee.

Section 10.08 Vice-Chair. The Vice-Chair shall perform the duties of the Chair in the absence of the Chair or in the event of his/her inability or refusal to act. S/he shall have all the powers of and be subject to all the restrictions upon the Chair. S/he may perform such other duties and responsibilities as designated by these By-laws, by the Chair or by the Board of Directors.

Section 10.09 Treasurer. The Treasurer shall:

1. be the financial officer, and shall oversee the charge and custody of the corporate funds and other valuable effects.
2. provide oversight to ensure full and accurate accounts of receipts and disbursements in books belonging to the Corporation.
3. review the disbursement of the funds of the Corporation as may be ordered by the Board, working in close cooperation with the Executive Director.
4. render to the Chair, whenever the Chair may require it, an account of all transactions of the Corporation and its financial status.
5. Notwithstanding the foregoing, the Executive Director, with oversight by the Treasurer, shall be responsible for paying the Corporation's monthly bills incurred in the ordinary course of business and for depositing all moneys and other valuable effects in the name and to the credit of LSTC in such depositories as may be designated by the Board of Directors. **All checks must be signed by either the Board Chair, Vice-Chair or Treasurer.**

Section 10.10 Secretary. The Secretary shall:

1. keep, or cause to be kept, the minutes of the Board of Directors meetings;
2. see that notices are duly given in accordance with provisions of the By-laws and as may be required by law;
3. ensure the safe keeping of the organization records and of the seal of the Organization;
4. ensure that all correspondence to and from the Board of Directors and/or Executive Committee is received or otherwise appropriately handled;
5. act as the Board's Parliamentarian and perform such duties at all Board meetings;
6. perform all duties of the Chair in the absence of the Chair, Vice-Chair, and Treasurer, or in the event of their inability to act or refusal to act; and
7. perform all duties incident to the office of Secretary and such other duties as from time to time may be assigned by the Chair or by the Board of Directors.

Lafayette School and Treatment Center Proposed Bylaws

Section 10.11 Assistant Officers. The Board of Directors may elect Assistant Officers to the above offices as deemed necessary.

ARTICLE XI. COMMITTEES OF THE BOARD OF DIRECTORS

Section 11.01 Appointment of Committees. The Board of Directors by a vote of a simple majority of Directors then in office may appoint such committees as it deems appropriate, such committees may be either standing committees or committees created for a specific limited purpose. A committee will be treated as created for a specific limited purpose, unless the resolution authorizing the committee specifically states that the committee is to be a regular standing committee.

Section 11.02 Members of all regular standing committees, except the Executive Committee, will be appointed each year at the annual meeting of the Board of Directors. Members of any committee serve at the pleasure of the Board of Directors and may be removed at any time by a simple majority of the Directors then in office. At the annual meeting of the Board of Directors each standing committee will refine and state its mission, goals and objectives for the upcoming year

Section 11.03 Members of all committees except the Executive Committee may include members and non-members of the Board of Directors.

Section 11.04 Executive Committee. In addition to any other committees, there shall be an executive committee, which shall be a regular standing committee, and which shall consist of the elected Officers of LSTC. The Executive Committee shall have charge of the business and affairs of the corporation in the interim between meetings of the Board of Directors and the committee shall have power, upon consent of a majority of the Executive Committee members, to exercise the entire authority of the Board of Directors to the extent permitted by law. The Board Chair shall be the chairperson of the Executive Committee and may convene it upon reasonable notice to its members at any time. The Executive Committee shall at all times act under the direction and control of the Board of Directors and shall keep accurate records of its acts and transactions and report the same to the Board, which reports shall form part of the records of the Board of Directors.

Section 11.05 Authority of Committees. Each committee will have and may exercise such powers as are granted to the committee by the articles of incorporation, these by-laws and by resolution of the Board of Directors. However, no committee may be authorized (i) to fill vacancies on the Board or on any of its committees; (ii) to amend the articles of incorporation; (iii) adopt, amend, or repeal the by-laws; (iv) to approve a plan of merger.

Section 11.06 Procedures. Unless designated by the Board Chair, each committee will elect from among its members a chairperson. Each committee may also elect such other Officer or Officers and may adopt such procedures as it deems appropriate. Each committee shall prepare minutes of each meeting and submit a copy of such minutes to the Chair.

Section 11.07 Meetings. Each committee may establish a regular schedule of meetings, in which case meetings will be held at the time of day and at such place as the chairperson may decide. Each committee may also hold a special meeting at the call of the chairperson of the committee, the Chair or any other two members of the committee.

Lafayette School and Treatment Center Proposed Bylaws

ARTICLE XII. FINANCE, RECORDS AND CONTRACTS

Section 12.01 Fiscal Year. The fiscal year of the organization shall begin on the first day of July.

Section 12.02 Books and Accounts. Books and accounts of the organization shall be kept in accordance with generally accepted accounting principles under the direction of the Treasurer, the Executive Director and the Chief Financial Officer (if applicable).

Section 12.03 Contracts. The Board of Directors may authorize any officer(s) and/or agent(s) of LSTC, in addition to the officers so authorized by these By-laws, to enter into any contracts or execute and deliver any instrument in the name of and on behalf of the Corporation, and such authority may be general or confined to specific instances.

Section 12.04 Bonds. The Board of Directors requires the bonding with surety (e.g. general liability insurance) of personnel designated by the Board as may be determined necessary. Premiums for such bonds shall be paid by the Corporation.

ARTICLE XIII. BOARD MEMBER LIABILITY & CORPORATE INDEMNIFICATION

Section 13.01 Officers and Directors Liability Insurance. The Board of Directors shall be covered by Officers and Directors Liability Insurance, and other insurance coverage deemed necessary as appropriate, which shall be maintained and paid by the Corporation. The Corporation may indemnify every director, officer, agent and/or employee, present and former, to the fullest extent permitted under the Virginia Nonstock Corporation Act. Such indemnification shall not be deemed exclusive of any other rights to which such director, officer, agent or employee may be entitled, under any By-laws, agreement, vote of the Board of Directors or otherwise.

The Board of Directors may authorize the purchase of insurance on behalf of any director, officer, employee or other agent against any liability asserted against or incurred by him which arises out of such person's status as a director, officer, employee or agent out of acts taken in such capacity, whether or not the Corporation would have the power to indemnify the person against that liability under law.

Section 13.02 Corporate Indemnification. The Corporation shall indemnify any person who was or is a party, or is threatened to be made a party to any threatened, pending or completed action, suit, or proceeding, whether civil, criminal, administrative, or investigative (other than an action by or in the right of the Corporation), by reason of the fact that he/she is or was a Board Member of the Organization to the extent possible in accordance with applicable State laws.

ARTICLE XIV. REPEAL OR AMENDMENT OF BY-LAWS

Section 14.01 By-law Amendments. These By-laws may be altered, amended or repealed and new By-laws may be adopted by a (2/3) two-thirds vote of the Board of Directors present and voting at any regular or special meeting of the Board of Directors, provided that at least ten (10) days written notice is given to each member of the Board of Directors. The notice shall include the intent to alter, amend, repeal or adopt new By-laws, and shall include a statement of the contemplated changes.

Section 14.02 Articles of Incorporation. In case any provisions of these By-laws shall be inconsistent with the Articles of Incorporation, State or Federal law, the Articles of Incorporation or the specific law involved will govern.

ARTICLE XV. DISSOLUTION OF THE CORPORATION

The Corporation may be dissolved at any time in the manner provided by the laws of the Commonwealth of Virginia and all applicable regulations such as the Internal Revenue Service (IRS). If the Corporation is dissolved voluntarily, the plan of distribution for the assets shall provide that:

all liabilities and obligations of the Corporation shall be paid, satisfied and discharged or adequate provisions should be made therefore. All remaining assets shall be distributed to a corporation or corporations operating exclusively for charitable or educational purposes. Said corporation or corporations must qualify as exempt organizations under the provisions of the existing United States Internal Revenue Code or other applicable laws.

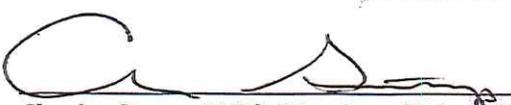
Proposed for Approval upon review by legal counsel.


Cary Anderson, Chair of the Board of Directors

9-14-12
9/14/2012


Barret Stump, M.S., Director of School/Ex Officio
Board of Directors Member

9-14-12
9/14/2012


Charles Stump, M.Ed., Director of School/Ex Officio
Board of Directors Member

9-14-12
9/14/2012

Commonwealth of Virginia



LICENSE TO OPERATE

In accordance with the provisions of Title 22.1, Chapter 16, Sections 22.1-319 through 22.1-335 of the Code of Virginia (2050) as amended, and applicable regulations of the Board of Education, this License to Operate a Private Day School for Students with Disabilities is issued to:

Lafayette School & Treatment Center
3020 Fontaine Avenue, Extended
Charlottesville, Virginia 22903

<i>Ownership:</i>	<i>Age Range:</i>	<i>Capacity:</i>	<i>Gender:</i>	<i>Disability Categories:</i>
Lafayette School, Inc. 3020 Fontaine Ave., Extended Charlottesville, Virginia 22903	5-22	30	M/F	Emotional Disability Other Health Impairment Specific Learning Disability

Issue Date: July 1, 2013

Expiration Date: June 30, 2016

*This certificate is valid through the date shown above unless revoked or suspended for cause.
In witness whereof: the Board of Education has caused this license to be issued.*

Dale S. Wright

Superintendent of Public Instruction

Virginia Association of Independent Specialized Education Facilities

CERTIFICATE OF MEMBERSHIP AND ACCREDITATION

This is to certify that

LAFAYETTE SCHOOL AND TREATMENT CENTER

*having met the Accreditation Standards of the Association,
having complied with all other requirements established by the Association,
and having been recommended by the Accreditation Committee
is declared to be a fellow member with all the rights and privileges appertaining thereto until*

OCTOBER 2014

*IN TESTIMONY WHEREOF the Board of Directors has caused this certificate to be issued, bearing the seal
of the Association and the signatures of the President and the Chairperson of the Accreditation Committee.*

President

Accreditation Committee Chairperson

DEC-29 99 11:02 FROM: IRS/CEP COGBURN 404-338-8236 TO: f 747386 PAGE: 85

INTERNAL REVENUE SERVICE
P. O. BOX 2508
CINCINNATI, OH 45201

DEPARTMENT OF THE TREASURY

Date: DEC 23 1999

LAFAYETTE SCHOOL INC
C/O RONALD STRAWLEY
2265 MOUNTAIN BROOK RD
CHARLOTTESVILLE, VA 22902

Employer Identification Number:
31-1664802

DLN:
17053280013019

Contact Person:
JERRY FINKLIN ID# 52674

Contact Telephone Number:
(877) 829-5500

Accounting Period Ending:
AUGUST 31

Form 990 Required:
YES

Addendum Applies:
YES

COPY

Dear Applicant:

Based on information supplied, and assuming your operations will be as stated in your application for recognition of exemption, we have determined you are exempt from federal income tax under section 501(a) of the Internal Revenue Code as an organization described in section 501(c)(3).

We have further determined that you are not a private foundation within the meaning of section 509(a) of the Code, because you are an organization described in sections 509(a)(1) and 170(b)(1)(A)(ii).

If your sources of support, or your purposes, character, or method of operation change, please let us know so we can consider the effect of the change on your exempt status and foundation status. In the case of an amendment to your organizational document or bylaws, please send us a copy of the amended document or bylaws. Also, you should inform us of all changes in your name or address.

As of January 1, 1984, you are liable for taxes under the Federal Insurance Contributions Act (social security taxes) on remuneration of \$100 or more you pay to each of your employees during a calendar year. You are not liable for the tax imposed under the Federal Unemployment Tax Act (FUTA).

Since you are not a private foundation, you are not subject to the excise taxes under Chapter 42 of the Code. However, if you are involved in an excess benefit transaction, that transaction might be subject to the excise taxes of section 4958. Additionally, you are not automatically exempt from other federal excise taxes. If you have any questions about excise, employment, or other federal taxes, please contact your key district office.

Grantors and contributors may rely on this determination unless the Internal Revenue Service publishes notice to the contrary. However, if you lose your section 509(a)(1) status, a grantor or contributor may not rely on this determination if he or she was in part responsible for, or was aware of, the act or failure to act, or the substantial or material change on the part of the organization that resulted in your loss of such status, or if he or she acquired knowledge that the Internal Revenue Service had given notice that you would no longer be classified as a section 509(a)(1) organization.

Letter 947 (DO/CG)

-4-

LAFAYETTE SCHOOL INC

This determination is based on the understanding that you will be supported primarily by governmental sources. If and when your support from other than governmental sources exceeds twenty-five percent of your total support, you should notify the Internal Revenue Service so that we may determine the effect, if any, on your exempt status.

The value of time or personal services contributed to your organization by volunteers is not deductible by those volunteers as a charitable contribution for Federal income tax purposes. You should advise your volunteers to this effect.

Letter 947 (DQ/CG)

SUBDIVISION CERTIFICATE

THE PLATTING AND SUBDIVISION OF 22.873 ACRES OF LAND LYING IN THE PALMYRA DISTRICT FLUVANNA COUNTY VIRGINIA OWNED BY JA-ZAN, LLC BY DEED RECORDED IN INSTRUMENT NUMBER 0603097 IN THE CLERKS OFFICE OF FLUVANNA CIRCUIT COURT AND ALSO INSTRUMENT NUMBER 06006107 IN THE CLERKS OFFICE OF LOUISA COUNTY CIRCUIT COURT AND DESIGNATED AS ZION STATION SECTION 'A', IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS, PROPRIETORS AND TRUSTEES, IF ANY; THAT ALL STREETS SHOWN ON THE PLAT ARE HEREBY IRREVOCABLY OFFERED FOR DEDICATION TO PUBLIC USE.

JA-ZAN LLC - OWNER

TRUSTEE

COMMONWEALTH OF VIRGINIA

OF TO WIT:

I, A NOTARY PUBLIC IN AND FOR THE

OF COMMONWEALTH OF VIRGINIA,

DO HEREBY CERTIFY THAT:

(PRINT NAME)

WHOSE NAME IS SIGNED TO THE SUBDIVISION CERTIFICATE HAS

ACKNOWLEDGED THE SAME BEFORE ME IN MY AND

COMMONWEALTH AFORESAID

GIVEN UNDER MY HAND AND SEAL THIS DAY OF 2007

NOTARY PUBLIC

MY COMMISSION EXPIRES

COMMONWEALTH OF VIRGINIA

OF TO WIT:

I, A NOTARY PUBLIC IN AND FOR THE

OF COMMONWEALTH OF VIRGINIA,

DO HEREBY CERTIFY THAT:

(PRINT NAME)

WHOSE NAME IS SIGNED TO THE SUBDIVISION CERTIFICATE HAS

ACKNOWLEDGED THE SAME BEFORE ME IN MY AND

COMMONWEALTH AFORESAID

GIVEN UNDER MY HAND AND SEAL THIS DAY OF 2007

NOTARY PUBLIC

MY COMMISSION EXPIRES

SUBDIVISION AGENT

THE SUBDIVISION SHOWN HEREON HAS BEEN REVIEWED AND APPROVED BY THE UNDERSIGNED IN ACCORDANCE WITH EXISTING REGULATIONS, AND MAY BE COMMITTED TO RECORD.

SUBDIVISION AGENT DATE

SOURCE OF TITLE

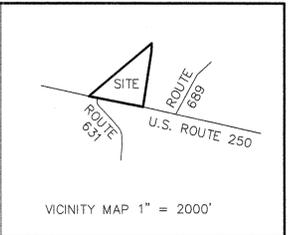
THE PROPERTY EMBRACED WITHIN THE LIMITS OF THIS SUBDIVISION WAS CONVEYED

PARCEL 'A' TO JA-ZAN, LLC, A VIRGINIA LIMITED LIABILITY COMPANY FROM FLUVANNA HOLDINGS, LLC, A VIRGINIA LIMITED LIABILITY COMPANY, BY DEED DATED MAY 26, 2006 AND RECORDED MAY 31, 2006 IN INSTRUMENT NUMBER 0603097 AS RECORDED IN THE CLERKS OFFICE, CIRCUIT COURT, FLUVANNA COUNTY, VIRGINIA

PARCEL 'B' TO JA-ZAN, LLC, A VIRGINIA LIMITED LIABILITY COMPANY FROM FLUVANNA HOLDINGS, LLC, A VIRGINIA LIMITED LIABILITY COMPANY, BY DEED DATED MAY 26, 2006 AND RECORDED MAY 31, 2006 IN INSTRUMENT NUMBER 06006107 AS RECORDED IN THE CLERKS OFFICE, CIRCUIT COURT, LOUISA COUNTY, VIRGINIA

JENNINGS STEPHENSON P.C.

Table with columns: CURVE, LENGTH, RADIUS, CHORD BEARING, CHORD, LINE, BEARING, LENGTH. Contains 17 rows of curve data (C1-C17).



DATUM: VDOT PROJ. 0250-032-RW201

NOTES: OWNER: JA-ZAN, LLC P.O. BOX 5384 CHARLOTTESVILLE, VA 22905 PHONE: (434)962-0808 DEVELOPER: HASBROUCK REAL ESTATE CORPORATION P.O. BOX 5384 CHARLOTTESVILLE, VA 22905

D.B. 685 PG. 213 TAX PCL.: 5-10-1 & 5-10-7 NUMBER OF LOTS: 12 AREA IN LOTS: 20.012 AREA IN ROADS: 2.044 ACRES COMMON AREA: 0.817 ACRE TOTAL AREA: 22.873 ZONING: I-1

DURING THE PROCESS OF OUR PHYSICAL PERIMETER SURVEY NO INDICATIONS OF A CEMETERY WAS FOUND. NO FURTHER INSPECTION OF THE PROPERTY HAS BEEN MADE FOR POSSIBLE CEMETERIES.

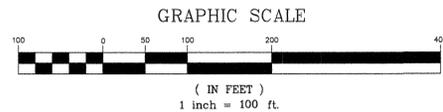
THIS PROPERTY LIES IN ZONE 'C' OF THE HUD DEFINED FLOOD HAZARD AREA AS SHOWN ON COMMUNITY PANEL NUMBER 510058 0050 A, DATED 8-15-78.

THIS PROPERTY IS GENERALLY WOODED AREA, WITH EXCEPTION TO THE CLEARING FOR THE EXISTING BUILDING, ENTRANCE DRIVEWAY, AND THE EXISTING UTILITY LINES.

FINAL SITE PLAN SHALL INCLUDE THE RIGHT TURN LANE DESIGN.

SURVEYOR'S CERTIFICATE TO THE BEST OF MY KNOWLEDGE AND BELIEF ALL OF THE REQUIREMENTS OF THE BOARD OF SUPERVISORS AND ORDINANCES OF FLUVANNA COUNTY VIRGINIA, REGARDING THE PLATTING OF SUBDIVISIONS WITHIN THE COUNTY, HAVE BEEN COMPLIED WITH.

JENNINGS STEPHENSON P.C.



ZION STATION SECTION 'A' PALMYRA DISTRICT * FLUVANNA COUNTY, VIRGINIA DATE: MARCH 12, 2007 SCALE: 1" = 100' JENNINGS STEPHENSON, P.C. 10160 STAPLES MILL ROAD SUITE 103 GLEN ALLEN, VA 23060 PHONE - 804-545-6235 FAX - 804-545-6259

DRAWN BY: CHECKED BY:



COUNTY OF FLUVANNA

"Responsive & Responsible Government"

P.O. Box 540 Palmyra, VA 22963 (434) 591-1910 FAX (434) 591-1911 www.co.fluvanna.va.us

July 23, 2014

Ja-Zan, LLC
1150 Pepsi Place
Charlottesville, VA 22901

**Re: ZMP 14:02 – Rezoning from I-1 to B-1 and SUP 14:08 Special Use Permit for an educational facility
Tax Map 5-24-7**

July 10, 2014 TRC Comments

Dear Applicant:

The following comments are the result of the Technical Review Committee meeting. Comments are outlined below:

1. The Fire Department stated concern with regard for mixed uses in the industrial park, and advised to implement an emergency evacuation plan;
 2. The E&S inspector advised that there are unresolved stormwater issues in this subdivision;
 3. Planning staff asked about the total number of students and if there would be any outdoor play areas or facilities;
 4. Chuck Wright with the Division of Forestry stated he has no comments;
- VDOT stated that the existing 4500 sq. ft. brick building (formerly S&N Communications) located in Zion Station Industrial Park on Lot #7 on Zion Station Road 400 ft. off Rte. 250. VDOT made a site visit and there is at least 610 ft. of Intersection Sight Distance to the east and west at the intersection of Rte. 250 and Zion Station Road. There is an existing right turn taper (100 ft.) and right turn lane (350 ft.). Based on the proposed enrollment (24 students maximum and 10 school staff), the hours of operation (Weekdays - Students 8:30 a.m. to 2:30 p.m. and Staff 8 a.m. to 4:00-4:30 p.m. and Summer School 9 a.m. -2:45 p.m.) and student drop off and pick up by car, VDOT does not object to the proposed use of the existing building on Lot #7 as an educational facility for the Lafayette School.

If you have any questions or need additional information, please contact me at 434-591-1910.

Sincerely,

A handwritten signature in black ink that reads "Steve Tugwell". The signature is written in a cursive style with a large, looped "S" and a long, sweeping "T".

Steve Tugwell

Senior Planner

Dept. of Planning & Community Development

cc: Barrett Stump, bstump@lafayetteschoolcville.org
File

Steven Tugwell

From: Miller, Charles (VDH) <Charles.Miller@vdh.virginia.gov>
Sent: Friday, July 25, 2014 2:20 PM
To: Steven Tugwell
Subject: RE: July 10th TRC meeting comments

Steve,

We didn't have any comments. No issues, of course, with the towers and no issues with the sewage & water for the school. Zion Station has a decentralized sewage system and a central water system.

Charles

From: Steven Tugwell [<mailto:stugwell@fluvannacounty.org>]
Sent: Wednesday, July 23, 2014 9:48 AM
To: Miller, Charles (VDH)
Subject: July 10th TRC meeting comments

Did you have any comments from the July 10th TRC meeting? There were three new cell towers (you probably don't have comments), and a rezoning and SUP for the Lafayette School to be located in the Zion Station industrial subdivision on 250.

Thanks!
Steve

Steve Tugwell
Senior Planner
Dept. of Planning & Community Development
Fluvanna County, VA
434-591-1910
stugwell@co.fluvanna.va.us

 please conserve, do not print this e-mail unless necessary

Steven Tugwell

From: Wood, Mark, P.E., L.S (VDOT) <James.Wood@VDOT.virginia.gov>
Sent: Thursday, July 10, 2014 4:04 PM
To: Steven Tugwell
Cc: Reed, James M. (VDOT); Wolfrey, Sharon A. (VDOT); Jason Stewart
Subject: July 10, 2014 TRC Meeting (SUP 14:05, SUP 14:06, SUP 14:07, SUP 14:08 and ZMP 14:02)

Steve,

As a follow up to the TRC Meeting held at 10:00 a.m. this morning I offer the following comments:

- SUP 14:05, 14:06 and 14:07(3 Cell Tower Sites): Install Low Volume Commercial Entrances (12 ft. minimum wide, 25 ft. minimum entrance radii, minimum 15" diameter 24 ft. long entrance culverts and gravel entrance surface) at connection of proposed cell tower access roads to existing State Roads. If gates are installed to control access to the site, position them at least 30 ft. off the edge of pavement of the State Road to allow for vehicles entering the site to safely pull out of the State Road and open and close the gate. Flag/Mark the location of the proposed entrances that will serve the cell tower sites. After the entrance locations are marked, VDOT will check the locations for sight distance.
- SUP 14:08 & ZMP 14:02, LAFAYETTE SCHOOL: Existing 4500 sq. ft. brick building (formerly S&N Communications) located in Zion Station Industrial Park on Lot #7 on Zion Station Road 400 ft. off Rte. 250. VDOT made a site visit and there is at least 610 ft. of Intersection Sight Distance to the east and west at the intersection of Rte. 250 and Zion Station Road. There is an existing right turn taper (100 ft.) and right turn lane (350 ft.). Based on the proposed enrollment (24 students maximum and 10 school staff), the hours of operation (Weekdays - Students 8:30 a.m. to 2:30 p.m. and Staff 8 a.m. to 4:00-4:30 p.m. and Summer School 9 a.m. -2:45 p.m.) and student drop off and pick up by car, VDOT does not object to the proposed use of the existing building on Lot #7 as an educational facility for the Lafayette School.

J. Mark Wood, P.E., L.S.
Area Land Use Engineer
Virginia Department of Transportation
Land Development – South
P.O. Box 1017
11430 James Madison Highway
Troy, VA 22974
Phone: (434) 589-7932
Cell: (540) 223-5240
Fax: (434) 589-3967
Email: Mark.Wood@VDOT.Virginia.gov

An Ordinance To Amend The Fluvanna County Zoning Map, With Respect To 1.148 acres of Tax Map 5, Section 24, Parcel 7 to rezone the same from I-1, Industrial, Limited to B-1, Business, General.

(ZMP 14:02)

BE IT ORDAINED BY THE FLUVANNA BOARD OF SUPERVISORS, pursuant to Virginia Code Section 15.2-2285, that the Fluvanna County Zoning Map be, and it is hereby, amended, as follows:

That 1.148 acres of Tax Map 5, Section 24, Parcel 7, be and is hereby, rezoned from I-1, Industrial, Limited to B-1, Business, General.



COUNTY OF FLUVANNA

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STAFF REPORT

To: Fluvanna County Planning Commission

Case Number: SUP 14:05

Tax Map: 59-A-65A

From: Steve Tugwell

District: Fork Union

Date: August 27, 2014

General Information: This request is to be heard by the Planning Commission on Wednesday, August 27, 2014 at 7:00 pm in the Circuit Courtroom of the Fluvanna County Courts Building.

Applicant: 52-Eighty Partners, LLC

Requested Action: A request for a Special Use Permit (SUP) to allow for a 199-foot wireless telecommunications tower with respect to 18.3 acres of Tax Map 59, Section A, Parcel 65A (Attachment A).

Existing Zoning: A-1, Agricultural, General

Planning Area: Rural Preservation

Zoning Ordinance: Article 27: *Regulation of Telecommunications Facilities*

Location: The affected property is located approximately 0.5 miles southwest of West Bottom Road (Route 655) on the south side of Bremo Road (Route 601). (Attachment B)

Existing Land Use: The property consist mostly wooded areas with a few open-expanses and a single-family dwelling.

Adjacent Land Use: The surrounding area is largely rural, with a few scattered residences nearby.

Zoning History: No previous zoning activities

Analysis

The applicant has requested a Special Use Permit (SUP) to allow the construction of a 199-foot monopole-type telecommunications tower on Tax Map 59, Section A, Parcel 65A. The tower will be constructed within a 10,000 square foot (100' x 100') compound that will also house the necessary accessory structures, and will be accessed by a 20-foot ingress/egress utility easement.

Two (2) general guidelines are used when evaluating a request for a Special Use Permit (SUP), as set forth in the Fluvanna County Zoning Ordinance (Sec. 22-17-4D).

First, the proposed use should not tend to change the character and established pattern of the area or community.

Character of Surrounding Area

The proposed tower is located in the southeastern portion of the county off of State Route 656 (Bremono Road), approximately one (1) mile north of the James River. The surrounding area is largely wooded and retains its rural, scenic character. A few scattered homes are located along existing roadways, interspersed amongst forests and open fields. Many of the surrounding parcels are quite large, with several spanning more than 40 acres.

Due to local topography and the existing vegetation, the tower is not easily visible from State Route 656, but may be directly visible from a dwelling located at 2217 Bremono Road. Since the tower compound is located in a heavily-wooded area nearly 1,000 feet from the Bremono Road right-of-way, the tower's base and accompanying structures will not be visible (if the vegetation remains as-is).

Conformance with the Wireless Telecommunications Facilities Master Plan

According to the *Wireless Telecommunications Facilities Master Plan*, there is an existing tower approximately ½ mile away located on the Virginia Power Company property, however Virginia Power issued a statement saying they do not allow collocations for security reasons. According to Cityscape, there are three (3) possible Fluvanna County-owned property candidates, 1.2 miles, 0.6 miles away, and 0.4 miles away. The closest county-owned property is 0.4 miles away and within the search ring. Upon further review, it was discovered that the property is too small and too close to an existing dwelling, therefore it was deleted from consideration. The *Wireless Telecommunications Facilities Master Plan* does not designate this site as a proposed emergency service location (Attachment C).

Second, the proposed use should be compatible with the uses permitted by-right in that zoning district and shall not adversely affect the use/or value of neighboring property.

Zoning

The subject property and all adjoining parcels are zoned A-1 (Agricultural, General). The A-1 zoning district is intended to accommodate limited residential development, as well as small-

scale commercial and industrial uses that are directly related to agriculture, forestry, and other traditionally rural uses. Non-concealed freestanding telecommunications antennas require a special use permit within A-1 districts.

If this request were approved, the applicant will be required to submit a site development plan for review, in accordance with Article 23: *Site Development Plans* of the Fluvanna County Zoning Ordinance.

Relationship to Neighboring Properties

The proposed tower will be approximately .20 miles from the nearest residence. Existing vegetation effectively screens the tower compound from State Route 656 (Bremo Road) and adjoining properties. Based on the balloon test, the tower itself will not be easily visible from adjacent parcels, but may be directly visible to 2217 Bremo Road, which is across the street.

Comprehensive Plan

According to the Comprehensive Plan, the subject property is designated as “Rural Preservation.” Rural preservation areas are intended to be the least developed areas of the County. These areas should be used primarily for agriculture and forestry, with very limited residential development (less than one unit per five acres). Viewsheds from roads and existing developments should be preserved (page 61).

The *Infrastructure* chapter of the Comprehensive Plan includes several recommendations regarding the siting and design of telecommunications facilities (page 110):

- Minimize the impacts of wireless communications facilities on surrounding areas;
- Encourage the location and co-location of wireless communication equipment on existing structures;
- Accommodate the growing need and demand for wireless communication services;
- Encourage coordination between communication providers;
- Establish consistent and balanced legal language governing wireless communications facilities that take into consideration the Comprehensive Plan and communications master plan; and
- Maintain compliance with applicable laws, including but not limited to the 1996 Telecommunications Act.

The *Community Design* chapter of the Comprehensive Plan also addresses the design and siting of telecommunications facilities. The plan encourages developers to use innovative design techniques to minimize the visual impact of new facilities. The co-location of wireless communication equipment on existing structures is encouraged, to improve the local communications network with minimal impact to the surrounding landscape (page 73). (Attachments D, E)

Neighborhood Meeting

The neighborhood meeting was held on July 9, 2014. With the exception of the property owner, there were no other people there to speak with regard to this application.

Technical Review Committee

The Technical Review Committee (TRC) meeting was held on July 10, 2014. The following comments were made:

1. The E & S inspector asked how much area will need to be cleared?
2. Planning staff stated that the consultant's report was forthcoming and their comments would be part of the staff report; To date we have from the consultant:
 - 1) You are the Applicant identified as 52-Eighty; will you be the tower owner, or T-Mobile or another party? The County has a compliance statement of FCC rules which can be certified by the carrier or the tower owner. The statement is in your letter, but that is only acceptable if 52 is the owner, otherwise the compliance statements must come from T-Mobile
 - 2) You indicate 195 foot RAD, your search ring is 0.5 miles; could someone explain the diameter of the ring when space between sites is as substantial?

Additionally- a site development plan will be required that includes screening the ground equipment.

3. VDOT stated to Install Low Volume Commercial Entrances (12 ft. minimum wide, 25 ft. minimum entrance radii, minimum 15" diameter 24 ft. long entrance culverts and gravel entrance surface) at connection of proposed cell tower access roads to existing State Roads. If gates are installed to control access to the site, position them at least 30 ft. off the edge of pavement of the State Road to allow for vehicles entering the site to safely pull out of the State Road and open and close the gate. Flag/Mark the location of the proposed entrances that will serve the cell tower sites. After the entrance locations are marked, VDOT will check the locations for sight distance. (Attachment F)

Consultant's Recommendation

CityScape Consultants, Inc. has reviewed this request (Attachment G). The consultants stated that:

1. The proposed facility is required because of generally accepted and adequately demonstrated technological reasons and is essential in order for T-Mobile to alleviate a signal coverage issue to provide new wireless communications service;
2. T-Mobile's submissions indicate there is a substantial service void in the general area surrounding the subject site and that the addition of new service at a height of 195 feet will

help relieve these concerns. Therefore, the proposed location will sufficiently accomplish satisfactory service, and there are no reasonable alternative technologies to accommodate the Applicant's needs without the construction of a new facility; and

3. The proposed site is supported by the *Wireless Telecommunications Facilities Master Plan*.

Cityscape Consultants, Inc. recommends that the application be approved with the following conditions:

1. The owner shall provide the correct address and T-Mobile shall confirm compliance; and,
2. The owner shall provide new and correctly formulated Breakpoint Technology documentation; and'
3. The owner shall submit corrected ground compound drawings; and,
4. The owner shall clarify no lightning rod will be installed; and,
5. The owner shall submit satisfactory National Environmental Policy Act (NEPA) and State Historic Preservation Office (SHPO) documentation; and,
6. The applicant shall certify all access ports will be sufficiently sealed to prevent infiltration or habitation by any type of wildlife.

Conclusion

This request for a special use permit for a 199 ft. monopole telecommunication facility appears to be in substantial conformance with the intent of the Comprehensive Plan's recognition that telecommunications are a critical part of the role of infrastructure throughout the county, and the criteria set forth in the Zoning Ordinance. In reviewing this request, the Planning Commission should consider how the proposed tower:

- Conforms with the *Wireless Telecommunications Facilities Master Plan*;
- Improves telecommunications infrastructure within Fluvanna County; and
- Impacts the rural character, and associated tourism potential, of the surrounding area.

If approved, staff recommends that the following conditions be imposed:

1. The owner shall provide the correct address and T-Mobile shall confirm compliance; and
2. The owner shall provide new and correctly formulated Breakpoint Technology documentation; and,
3. The owner shall submit corrected ground compound drawings; and,
4. The owner shall clarify no lightning rod will be installed; and
5. The owner shall submit satisfactory National Environmental; Policy Act (NEPA) and State Historic Preservation Office (SHPO) documentations; and,
6. The tower, including antennae, will not be higher than 199 feet and will not be lit;
7. The tower shall be in the same location as shown in the application;

8. The Applicant confirms the new support structure will be capable of supporting a total of six (6) antenna arrays, in compliance with EIA/TIA 222-G;
9. The proposed new tower shall accommodate no less than six (6) different wireless services providers' antenna arrays, all of the same general design;
10. The Applicant shall expand the ground compound to accommodate up to six (6) different wireless service providers' ground-mounted electronic equipment;
11. The tower shall be available for co-location by other telecommunications companies, with Fluvanna County having the right of first refusal prior to the approval of each proposed co-location;
12. The Applicant shall obtain all necessary County permits prior to any work on the site;
13. All access ports shall be sufficiently sealed to prevent infiltration or habitation by any type of wildlife; and
14. The facility shall be protected from access from unauthorized personnel both during construction and during all periods of operation;
15. All feed lines shall be installed within the shell of the monopole and no lines will be exposed except at the antennas;
16. If the structures should no longer be needed, the applicant shall remove them, and restore the grounds to the prior condition;
17. Violation of any condition of this permit shall be grounds for revocation of this permit;
18. The Board of Supervisors, or their representatives, has the right to inspect the property for compliance with these conditions at any time;
19. The facility shall be constructed and receive final inspection from the Fluvanna County Department of Building Inspections within eighteen (18) months of the date of approval of the special use permit.

Suggested Motion

I move that the Planning Commission recommend **approval/denial** of SUP 14:05, a special use permit request to allow the construction of a 199-foot monopole telecommunications tower with respect to 18.3 acres of Tax Map 59, Section A, Parcel 65A (if approved) subject to the nineteen(19) conditions listed in the staff report.

Attachments

- A - Application, compliance letter, and APO letter
- B - Aerial Vicinity Map
- C - Map of Existing Wireless Telecommunications Inventory
- D - Map of County-owned property
- E - Map of Public Safety Tower Sites
- F - Technical Review Committee (TRC) Comments
- G - Consultant's Report

Copy

Owner: Paul V. Beyer, Et. Al., P.O. Box 126 Fork Union, VA 23055

Applicant: Dale G. Finocchi, 2028 Walker Avenue, Greensboro, NC 27403

Consultant: CityScape Consultants, 7050 W. Palmetto Park Road, # 15-652, Boca Raton, FL 33433

File

Received

Attachment A

JUL 01 2014



COMMONWEALTH OF VIRGINIA
COUNTY OF FLUVANNA

Application for Special Use Permit (SUP)

Planning Dept.

Owner of Record: Paul V. Beyer Et. Al

Applicant of Record: 52-Eighty Partners, LLC

E911 Address: ~~2358~~ Breomo Rd. FORK UNION, VA

E911 Address: 5860 Clarion Street Ste 101, Cumming, GA
30040

Phone: 434-996-7933 Fax: 23055

Phone: 404-382-5285 Fax: 866-659-4989

Email: pvdkbeyer@gmail.com

Email: dfinocchi@52eighty.com

Representative: Dale G. Finocchi

Note: If applicant is anyone other than the owner of record, written authorization by the owner designating the applicant as the authorized agent for all matters concerning the request shall be filed with this application.

E911 Address: 2028 Walker Ave. Greensboro, NC 27403

Phone: 336-681-6166 Fax: 866-659-4989

Is property in Agricultural Forestal District? No Yes

Email: dfinocchi@52eighty.com

If Yes, what district:

Tax Map and Parcel(s): 59-A-65-A

Deed Book Reference: 661/WB 49-906

Acreage: 18 Zoning: A-1

Deed Restrictions? No Yes (Attach copy)

Request for a SUP in order to: TASF

Proposed use of Property: AG/L TASF

*Two copies of a plan must be submitted, showing size and location of the lot, dimensions and location of the proposed building, structure or proposed use, and the dimensions and location of the existing structures on the lot.

By signing this application, the undersigned owner/applicant authorizes entry onto the property by County Employees, the Planning Commission, and the board of Supervisors during the normal discharge of their duties in regard to this request and acknowledges that county employees will make regular inspections of the site.

Date: 6-30-14 Signature of Owner/Applicant: Dale G. Finocchi

Subscribed and sworn to before me this 30 day of June, 20 14

Notary Public: Jerry B. Edwards Register # _____

My commission expires: July 10 2017

Certification: Date: _____

Zoning Administrator: _____

All plats must be folded prior to submission to the Planning Department for review. Rolled plats will not be accepted.

OFFICE USE ONLY	
Date Received: <u>7.1.14</u> Pre-Application Meeting: <u>6.20.14</u> PH Sign Deposit Received: <u>yes \$90 ch# 1384</u> Application #: SUP <u>14</u> : <u>05</u>	
\$800.00 fee plus mailing costs paid: _____ Mailing Costs: \$20.00 Adjacent Property Owner(APO) after 1st 15, Certified Mail	
Amendment of Condition: \$400.00 fee plus mailing costs paid: _____	
Telecommunications Tower \$1,500.00 fee plus mailing costs paid: _____ \$5,500 w/Consultant Review paid: <u>ch# 1384</u>	
Election District: <u>Fork Union</u>	Planning Area: <u>Rural Preservation</u>
Public Hearings	
Planning Commission	Board of Supervisors
Advertisement Dates: <u>8.14.14; 8.21.14</u>	Advertisement Dates: <u>9.4.14; 9.11.14</u>
APO Notification: <u>8.13.14</u>	APO Notification: <u>9.3.14</u>
Date of Hearing: <u>8.27.14</u>	Date of Hearing: <u>9.17.14</u>
Decision: _____	Decision: _____

Describe briefly the **improvements** proposed. State whether new buildings are to be constructed, existing buildings are to be used, or additions made to existing buildings.

The development of a 199-foot Telecommunication antenna support facility (Non-Concealed Monopole), antennas, and associated ground equipment. The lease area consists of a 100x100 leased space with a developed fenced area of 50x40. The access road will travel from the existing driveway to the proposed compound and utilize the existing driveway for access to the County Road.

NECESSITY OF USE: Describe the reason for the requested change.

The proposed tower is part of T-Mobile's expansion into rural Fluvanna County as specified by the FCC's Mobility Fund project to bring 3G and 4G technologies to under-served census tracts. The Project in-compasses the FCC's mandate to cover 176.3 road miles within census tract 51065020200. The specific details of the location and how the site propagates signal and interconnects with other T-Mobile sites is descriptively and graphically described in several attachments.

PROTECTION OF ADJOINING PROPERTY: Describe the effects of the proposed use on adjacent property and the surrounding neighborhood. What protection will be offered adjoining property owners?

The proposed project meets and exceeds all setback and separation requirements specified in the Fluvanna County Code. Specifically the code requires any TASF to be a minimum of 500-feet from any on-site or off-site residential structure. The closet off-site structure is approx. 1,171-feet away, while the closet on-site structure is approximately 1,200-feet away. The Code requires the Tower be situated a minimum of its height from any property line unless an engineered fall zone letter is provided. The closet property line is to the west and owned by Mr. Beyer and is 121.7-feet away, which is within the 100-foot fall radii described in the Fall letter signed and sealed by a Virginia Certified Engineer. The other property lines exceed the 199 requirement and are 257 and 290 feet respectively.

ENHANCEMENT OF COUNTY: Why does the applicant believe that this requested change would be advantageous to the County of Fluvanna? (Please substantiate with facts.)

The proposed TASF will provide access to cellular phone service and wireless Internet services in an area with little to no service. This area, primarily portions of census tract 51065020200 was identified by the FCC as being under served. In addition to bringing wireless access to the area the County Emergency Management Department has indicated a need and desire to locate antennas in this area.

PLAN: Furnish plot plan showing boundaries and dimensions of property, width of abutting right-of-ways, location and size of buildings on the site, roadways, walks, off-street parking and loading space, landscaping, etc. Architect's sketches showing elevations of proposed buildings and complete plans are desirable and may be required with the application. Remarks:

Detailed Survey and Zoning drawings showing all required information is attached in document titled: Final Development Plans

Fluvanna County Virginia Communications Facility Application Checklist

Date Submitted: May 30, 2014

APPLICANT'S NAME: <u>52-Eighty Partners, LLC</u> (Site Name: VA-903 Beyer TMO VA62677)		
Phone: <u>404-382-5285</u>	FAX: <u>866-659-4989</u>	E-mail: <u>dfinocchi@52eighty.com</u>
PROPERTY OWNER: <u>Paul Beyer</u> Phone: <u>434-996-7933</u>		
APPLICANT'S CONTACT: <u>Dale Finocchi</u>		
Address <u>5860 Clarion St Suite 101 Cumming, GA 30040</u>		
Phone: <u>336-681-6166</u>	FAX: <u>866-659-4989</u>	E-mail: <u>dfinocchi@52eighty.com</u>
Lessor/Licenser Contact Information:		
Name: <u>52-Eighty, LLC</u>		
Address: <u>5860 Clarion St Suite 101 Cumming, GA 30040</u>		
Phone: <u>404-382-5280</u>	FAX: <u>866-659-4989</u>	E-mail: <u>info@52eighty.com</u>

Commercial Wireless Provider T-MobileNew Structure: Yes [] No [] Co-location: Yes [] No [] Water Tower: Yes [] No []Replace Existing Structure: Yes [] No [] Replacement (upgrade) of existing antennas Yes [] No []Stealth Attached Facility: Yes [] No [] New Stealth Antenna Support Structure: Yes [] No []**FACILITY INFORMATION:**Site Address: 2358 Bremono Road, Fork Union, VA 23055 (Parcel ID 59 A 65A)Latitude (NAD83): N 37-42-42.61 Longitude (NAD83): W 78-15-52.45Ground Elevation (AMSL) (ft): 419.7 Total Height of Tower: (AGL) (ft) 199RAD Center (ft): 195TAX Parcel Identification Number: 59-A-65APresent Zoning of Property: A-1Land Use and Description of Property: Large parcel contiguous with another large parcel used as family farm with cultivated land and mixed forested areas.

FCC Antenna Structure Registration Number (ASR) (if applicable): _____

The following must be enclosed with this application:

1. A map (electronic preferable) of the same search ring submitted and used by the applicant's site locator;
2. A map (electronic preferable) indicating applicant's existing RF signal propagation;
3. A map (electronic preferable) indicating applicant's proposed new RF signal propagation;
4. A statement (electronic preferable) from a qualified individual that the applicant will comply with all FCC rules regarding human exposure to RF energy, along with the individual's qualifications.
5. A statement (electronic preferable) from the applicant that the applicant will comply with all applicable FCC rules regarding radio-frequency interference;
6. A statement (electronic preferable) that the submitted search ring is the same as utilized in the selection of the site;
7. Complete plans of the proposed facility to include a structural certification by a Registered Professional Engineer that the facility complies with applicable Federal, State and Fluvanna County building codes;

Please Note: Supplemental information may be requested for purposes of clarity or confirmation.

T

T-Mobile Northeast LLC, a subsidiary of T-Mobile USA, Inc.

August 4, 2014

George Alex
52|Eighty Partners LLC
5860 Clarion Street, Suite 101
Cumming, GA 30040-0368

Dear Mr. Alex,

T-Mobile is interested in collocating on the tower proposed by 52|Eighty Partners LLC at 2858 Remo Rd, Fork Union, VA 23055. We are preparing the Site License Agreement to secure the 195' rad center.

This letter is being supplied to you in support of your efforts to secure all federal, state and local approvals necessary to develop the communications facility.

Sincerely,



James Simon
Market Manager, T-Mobile

Memorandum

DATE: August 19, 2014
RE: APO'S for **SUP 14-06** Public Hearing Letters
TO: Jason Stewart
FROM: Kelly Belanger Harris

Please be advised the attached letter went out to the attached list of Adjacent Property Owners for the **August 19, 2014** Planning Commission meeting.



COUNTY OF FLUVANNA

"Responsive & Responsible Government"

P.O. Box 540 Palmyra, VA 22963 (434) 591-1910 FAX (434) 591-1911 www.fluvannacounty.org

NOTICE OF PUBLIC HEARING

August 13, 2014

«Full_Name»
 «Address»
 «City_State» «ZIP»
 TMP# «TMP»

Re: Public Hearing on SUP 14:05

Dear «Full_Name»:

This letter is to notify you that the Fluvanna County Planning Commission will hold a public hearing on the above referenced item on **Wednesday, August 27, 2014** at **7:00 PM** in the Circuit Court Room at the Fluvanna County Courts Building in Palmyra, VA. The request is described as follows:

SUP 14:05 – 52 Eighty Partners, LLC - Construct Telecommunications Tower – A request for a special use permit to allow for a 195 foot wireless communications tower with respect to 18 acres of Tax Map 59, Section A, Parcel 65A. The property is zoned A-1 and is located approximately 0.5 miles southwest of West Bottom Road (Route 655) on the south side of Bremo Road (Route 601). The property is located in the Fork Union Election District and is within the Rural Preservation Planning Area.

The applicant or applicant's representative must be present at the Planning Commission meeting. The tentative agenda and staff report will also be available for review by the public in the Fluvanna County Planning and Community Development Department during working hours (8:00 a.m. – 5:00 p.m., Monday through Friday). If you have any questions, please feel free to contact me at 434-591-1910.

Sincerely,

Steven Tugwell
 Senior Planner

SUP 14-06 52 Eighty Partners, LLC

TMP	Full Name	Address	City, State	ZIP
53 6 1B	DOUGLAS E & BARBARA L FLEMING	5147 Tapscott Rd	Columbia, VA	23038
53 A 56	BARRY S & R. CARTER MORRIS	7791 BREMO RD	Fork Union, VA	23055
52 6 5	LINDSAY B.SIEGFRIED, III	7065 Lauralee Circle	Mechanicsville, Va	23111
53 A 57; 52 (A) 50A	STANLEY GORDON SHEPHERD, SR.	7421 BREMO RD	Fork Union, VA	23055
53 (6) 1	Preston & Cindy Fleming	812 Gale Hill Rd	Fork Union, VA	23055



August 8, 2014

To: Fluvanna County Virginia Planning Department

RE: Authorization to Act as Agent for Zoning and Permitting in Fluvanna County for the development of a Wireless Communication Facility at 2358 Bremo Road, Fork Union, VA.

To whom it may concern:

I hereby authorize 52-Eighty Partners, LLC, its agents, contractors, and consultants to act on my behalf for the purposes of obtaining all necessary approvals from Fluvanna County for the construction of a communication tower on property I currently own at the address above.

Sincerely,

Paul V. Beyer



SEARCH RING: VA62677 - SITE NAME: BEYER - SITE ID: VA-903

PROPOSED 199' MONOPOLE TOWER STRUCTURE WITH ANTENNAS AND TENANT GROUND SPACE

FINAL DEVELOPMENT PLANS



52 EIGHTY, LLC
5860 CLARION STREET, SUITE 101
CUMMING, GA 30040
PHONE: (404) 382-5280



Site Development Services
NOT TO SCALE

SCALE VERIFICATION
0 1"
BAR IS ONE INCH ON ORIGINAL DRAWING.
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALE ACCORDINGLY.

REVISIONS		
NO.	DESCRIPTION	DATE

DATE:	5-23-14
DRAWN:	JAE
CHECKED:	GAM
DESIGNED:	JAE
JOB NUMBER:	319-127-36

CAD FILE: /ENG/5280/TMO VA62677 CD'S.DWG



1717 S. BOULDER AVE.
SUITE 300
TULSA, OK 74119
PH: (918) 587-4630
www.btgrp.com

VIRGINIA CERTIFICATE OF AUTHORITY FOR CHAD TUTTLE
No. 0402 039105

APPROVAL: _____ DATE _____
SIGNATURE _____

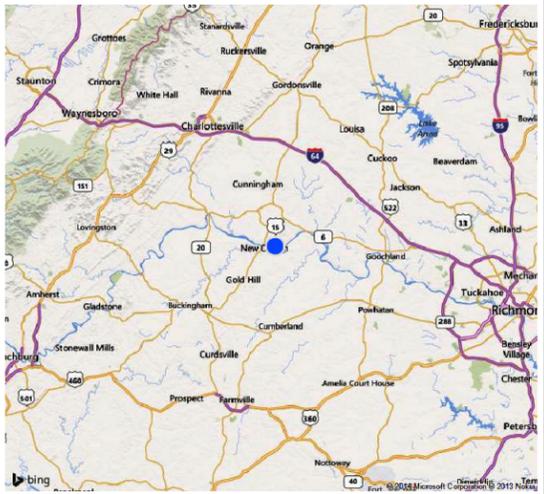
CHAD TUTTLE
Lic. No. 039105
8/8/14
PROFESSIONAL ENGINEER
REGISTRATION No.: 0402 039105

DIRECTIONS FROM RICHMOND:

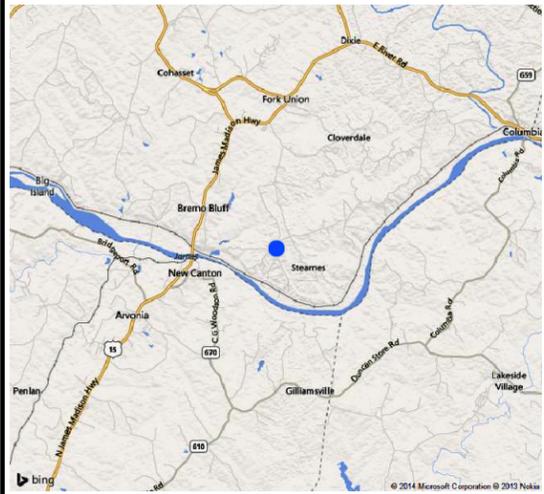
FROM THE INTERSECTION OF I-295 & I-64 TAKE I-64 WEST 40.4 MILES TO EXIT 136 AND TAKE RAMP RIGHT FOR US 15 TOWARDS PALMYRA, VA. CONTINUE ON US 15 21.6 MILES THROUGH PALMYRA TO BREMO BLUFF AREA AND TURN RIGHT ONTO SR 656 (BREMO ROAD) EAST. THE SITE IS PAST THE POWER PLANT ON YOUR RIGHT ABOUT 2 MILES DOWN BREMO ROAD.

COORDINATE	
LATITUDE:	N 37°42'42.61"
LONGITUDE:	W 78°15'52.45"
ELEVATION:	419.7' NAVD 88

DIRECTIONS TO SITE



VICINITY MAP



LOCATION MAP

SEARCH RING:	VA62677
SITE NAME:	BEYER
52 EIGHTY SITE:	VA-903
MARKET:	VIRGINIA
REGION:	SOUTH
ADDRESS:	2358 BREMO RD., FORK UNION, VA 23055

TOWER TYPE:	MONOPOLE
TOWER HEIGHT:	199'
ANTENNA RAD Ɔ:	195' AGL
FLOOD ZONE:	NO

PARENT TRACT	BEYER, PAUL TRUSTEE, ET AL.
OWNER:	
CONTACT#:	434-996-7933

APPLICANT:	52 EIGHTY PARTNERS, LLC
CONTACT:	DALE FINOCCHI (404) 382-5285

ENGINEER:	B&T ENGINEERING. CHAD TUTTLE PH: (918) 587-4630
-----------	---

SITE INFORMATION

POINT TO POINT LAND SURVEYORS
810 JACKSON STREET,
LOCUST GROVE
GEORGIA 30248
(P) 678.565.4440

CONSULTANTS

POWER COMPANY:	DOMINION 1-866-366-4357
TELEPHONE COMPANY:	PROVIDED VIA MICROWAVE
WATER SUPPLY:	NO SERVICE REQUIRED
WASTE WATER:	NO SERVICE REQUIRED

UTILITY COMPANY

ZONING :	A-1
JURISDICTION:	FLUVANNA COUNTY
TAX PARCEL#:	59 A 65 A
PARKING:	1 SPACE

ZONING DATA

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

- 2010 INTERNATIONAL BUILDING CODE
- NATIONAL ELECTRIC CODE (NEC) WITH LOCAL AMENDMENTS LATEST ED.
- ANSI/ TIA/ EIA APPLICABLE STANDARDS.
- LIFE SAFETY CODE NFPA - 101-2000
- AMERICAN INSTITUTE OF STEEL CONSTRUCTION SPECIFICATIONS (AISC)
- UNDERWRITERS LABORATORIES (U.L.)
- LOCAL BUILDING CODE
- CITY/COUNTY ORDINANCES

CODE COMPLIANCE

va811.com
Dig With CARE
Call 811 or 1-800-552-7001

CALL BEFORE YOU DIG

FLUVANA COUNTY DIRECTOR OF PLANNING

APPROVAL: _____ DATE _____
SIGNATURE _____

SHEET NO.	DESCRIPTION
T1.00	COVER SHEET
C1.00	LEGEND, ABBREVIATIONS & GENERAL NOTES
C1.10	GENERAL NOTES
C1.20	BOUNDARY INFORMATION & EXISTING FEATURES
C1.30	BOUNDARY INFORMATION & EXISTING FEATURES
C1.40	LEGAL DESCRIPTIONS
C2.00	MASTER SITE PLAN
C2.10	PROPOSED IMPROVEMENTS
C2.20	PROPOSED IMPROVEMENTS
C3.00	TOWER ELEVATION & DETAILS
C3.01	ENGINEERING DETAILS
C3.10	ENGINEERING DETAILS
C3.20	FENCE DETAILS
C3.30	SIGN DETAILS
E1.00	GROUNDING PLAN
E1.00	GROUNDING DETAILS

SHEET INDEX

SR: VA62677
SITE ID: VA-903
SITE NAME: BEYER

SHEET TITLE
COVER SHEET

SHEET NUMBER
T1.00

LEGEND	
EXISTING	PROPOSED

Note:
This standard legend is all inclusive and may include items not found in this set of plans.

ABBREVIATIONS			
A/C	ASPHALTIC/CONCRETE	JB	JUNCTION BOX
AFG	ABOVE FINISH GRADE	L/S	LANDSCAPE PAVEMENT
BFG	BELOW FINISH GRADE	PAVE	PAVE
CL	CENTER LINE	R/W	RIGHT OF WAY
CONC.	CONCRETE	S/W	SIDE WALK
C&G	CURB AND GUTTER	TOS	TOE OF SLOPE
E/P	EDGE OF PAVEMENT	TOB	TOP OF BANK
EX	EXISTING	VUA	VEHICULAR USE AREA
FF	FINISH FLOOR	WM.	WATER MAIN
DOT	FLORIDA DEPARTMENT OF TRANSPORTATION		

TOWER NOTES

1. THE PROPOSED TELECOMMUNICATIONS TOWER SHALL BE IN COMPLIANCE WITH THE FEDERAL COMMUNICATIONS COMMISSION GUIDELINES CONCERNING RADIO FREQUENCY RADIATION AND EMISSIONS.
2. IN ACCORDANCE WITH FCC LICENSING, THE PROPOSED WIRELESS TELECOMMUNICATIONS SYSTEM WILL NOT CAUSE INTERFERENCE WITH THE RECEPTION OR TRANSMISSION OF ANY NEARBY EXISTING LICENSED RADIO SYSTEMS.
3. THE PROPOSED TELECOMMUNICATIONS TOWER SHALL COMPLY WITH THE ELECTRONICS INDUSTRIES ASSOCIATION (EIA) STANDARDS AND ALL LOCAL ORDINANCES, AS DEMONSTRATED BY FINAL DEVELOPMENT APPROVAL AND BUILDING PERMIT APPROVAL.
4. THE PROPOSED TELECOMMUNICATIONS TOWER SHALL BE DESIGNED TO MEET OR EXCEED EIA/TIA 222G SPECIFICATIONS AND THE LOCAL DEVELOPMENT REGULATIONS.
5. THE PROPOSED TELECOMMUNICATIONS TOWER WITH APPURTENANCES SHALL NOT EXCEED 199 FEET ABOVE GROUND LEVEL.
6. THERE ARE NO SPECIAL FIRE PROTECTION CONCERNS ASSOCIATED WITH THE PROPOSED DEVELOPMENT. NO FIRE PROTECTION SYSTEMS ARE TO BE INSTALLED.
7. THE TOWER, TOWER FOUNDATIONS, AND ANTENNA SYSTEMS, INCLUDING ANTENNA CONNECTIONS, SHALL BE DESIGNED AND SPECIFIED BY OTHERS.
8. NAVIGATIONAL HAZARD LIGHTING IS NOT REQUIRED FOR THE PROPOSED STRUCTURE IN ACCORDANCE WITH THE FAA REGULATIONS.
9. THE PROPOSED TELECOMMUNICATION TOWER STRUCTURE SHALL HAVE A GALVANIZED FINISH.
10. THE PROPOSED FACILITY WILL BE DESIGNED FOR THE CO-LOCATION OF UP TO FIVE ADDITIONAL CARRIERS.

ENVIRONMENTAL SAFETY PRACTICES:

1. THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY DISPOSING OF ALL DEMOLITION MATERIALS, AND ANY DEBRIS OR TRASH GENERATED DUE TO CONSTRUCTION, AT AN APPROVED PREDETERMINED OFF-SITE LOCATION IN A MANNER DETERMINED BY THE LOCAL REGULATORY AGENCY.
2. THE CONTRACTOR SHALL PROVIDE ON-SITE TRASH RECEPTACLES FOR COLLECTION OF NON-TOXIC DEBRIS. ALL TRASH SHALL BE COLLECTED ON A DAILY BASIS.
3. ALL TOXIC AND ENVIRONMENTALLY HAZARDOUS SUBSTANCES SHALL BE USED AND DISPOSED OF IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS. UNDER NO CIRCUMSTANCES SHALL RINSING OR DUMPING OF THESE SUBSTANCES OCCUR ON-SITE.

GENERAL NOTES

1. BOUNDARY INFORMATION SHOWN HEREON IS BASED ON A SURVEY PERFORMED BY POINT TO POINT LAND SURVEYORS DATED MAY 20, 2014, AS PROVIDED BY THE CLIENT.
2. EXISTING FEATURES SHOWN HEREON ARE BASED ON INFORMATION SHOWN ON A SURVEY PERFORMED BY POINT TO POINT LAND SURVEYORS DATED MAY 20, 2014, PROVIDED BY THE CLIENT.
3. ALL AREAS DISTURBED DURING THE CONSTRUCTION PROCESS, OTHER THAN THOSE AREAS SLATED FOR IMPROVEMENT, SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AFTER COMPLETION OF CONSTRUCTION.
4. AT A MINIMUM ALL AREAS DISTURBED DURING THE CONSTRUCTION PROCESS SHALL BE STRAW MULCHED FOR EROSION AND SEDIMENTATION CONTROL PURPOSES.
5. THE PROPOSED FACILITY IS AN UNMANNED RESTRICTED GROUND INSTALLATION WHICH WILL BE USED TO PROVIDE PUBLIC WIRELESS TELECOMMUNICATIONS SERVICE.
6. AS AN UNMANNED FACILITY, THE PROPOSED DEVELOPMENT WILL NOT REQUIRE PUBLIC WATER SERVICE, PUBLIC WASTE WATER SERVICE, SOLID WASTE DISPOSAL SERVICE, OR PUBLIC TELEPHONE SERVICE.
7. THE PROPOSED FACILITY WILL REQUIRE LESS THAN ONE ROUTINE MAINTENANCE VISIT PER MONTH, PER CARRIER.
8. THE PROPOSED IMPROVEMENTS WILL NOT CAUSE A REDUCTION IN THE ADOPTED LEVELS OF SERVICE FOR ROADS, PARKS, DRAINAGE, STORM WATER MANAGEMENT, SOLID WASTE, WATER AND SEWER, OR MASS TRANSIT.
9. THIS FACILITY WILL CONSUME NO RECOVERABLE ENERGY AND IS EXEMPT FROM ENERGY REVIEW CODES.
10. ALL SITE WORK SHALL BE CAREFULLY COORDINATED BY THE GENERAL CONTRACTOR WITH LOCAL ELECTRIC SERVICE PROVIDERS AND OTHER UTILITY COMPANIES HAVING JURISDICTION OVER THE PROPOSED DEVELOPMENT SITE.
11. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL ABOVE GROUND AND BELOW GROUND UTILITIES PRIOR TO CONSTRUCTION.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST AND REPAIR OF ANY UTILITIES OR OTHER IMPROVEMENTS DAMAGED DURING THE CONSTRUCTION PROCESS.
13. ALL LOCATION TIES SHOWN HEREON ARE PERPENDICULAR MEASURE UNLESS OTHERWISE NOTED.
14. A 8' HIGH CHAINLINK FENCE WITH SCREEN SHALL BE INSTALLED TO ENCOMPASS THE TOWER AND GRAVEL COMPOUND. THE FENCE SHALL BE MAINTAINED BY THE TOWER OWNER FOR THE LIFE OF THE GROUND INSTALLATION.
15. THE PROPOSED FACILITY IS AN UNMANNED RESTRICTED GROUND INSTALLATION AND, THEREFORE, WILL NOT REQUIRE A LOCK ALLOWING EMERGENCY VEHICLE ACCESS. EMERGENCY VEHICLE ACCESS CAN BE PROVIDED BY CUTTING A LINK IN THE LOCKING CHAIN AT THE FENCED COMPOUND GATE.
16. NO SITE WORK OR EXCAVATION SHALL BE ALLOWED UNTIL THE CONTRACTOR CONTACTS VIRGINIA ONE CALL 811 OR CALL 1-800-552-7001. CONTRACTOR SHALL CALL FOR A REMARK AS NEEDED.
17. THE BENCH MARK INFORMATION SHOWN HEREON IS FOR THE EXPRESS USE OF THE CONTRACTOR WHILE PERFORMING WORK ON THIS PROJECT.
18. THE VERTICAL INFORMATION SHOWN HEREON IS BASED ON NAVD 88, AND WAS AS PROVIDED BY THE CLIENT.
19. THE CONTRACTOR SHALL IMMEDIATELY STOP WORK IN THE EVENT HUMAN REMAINS, ARTIFACTS, ETC. ARE ENCOUNTERED ON-SITE DURING THE CONSTRUCTION PROCESS.



NOTE:
ABSOLUTELY NO PORTION OF THE LEASE PARCEL OR THE FENCED COMPOUND SHALL BE LOCATED OVER ANY FIBER OPTIC CABLES, EXISTING GROUNDING SYSTEMS OR EXISTING UTILITIES.

52 EIGHTY, LLC
5860 CLARION STREET, SUITE 101
CUMMING, GA 30040
PHONE: (404) 382-5280

Site Development Services

NOT TO SCALE

SCALE VERIFICATION
0 1" BAR IS ONE INCH ON ORIGINAL DRAWING.
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALE ACCORDINGLY.

REVISIONS		
NO.	DESCRIPTION	DATE

DATE:	5-23-14
DRAWN:	JAE
CHECKED:	GAM
DESIGNED:	JAE
JOB NUMBER:	319-127-36
CAD FILE:	/ENG/5280/TMO VA62677 CDS.DWG

1717 S. BOULDER AVE.
SUITE 300
TULSA, OK 74119
PH: (918) 587-4630
www.btgrp.com

VIRGINIA CERTIFICATE OF AUTHORIZATION # 0407000147

CHAD E. TUTTLE
L.C. No. 039105

8/8/14

PROFESSIONAL ENGINEER

CHAD TUTTLE
PROFESSIONAL ENGINEER
REGISTRATION No.: 0402 039105

JOB INFORMATION

SR: VA62677
SITE ID: VA-903
SITE NAME: BEYER

SHEET TITLE

LEGEND, ABBREVIATIONS & GENERAL NOTES

SHEET NUMBER

C1.00

GENERAL CONSTRUCTION NOTES

1. **ORDER OF CONSTRUCTION** - EROSION CONTROL STRUCTURES INDICATED ON THE ATTACHED PLANS SHALL BE ERECTED PRIOR TO THE EXECUTION OF ANY SITE WORK. DRAINAGE STRUCTURES AND SURFACE WATER MANAGEMENT IMPROVEMENTS, IF ANY, SHALL BE CONSTRUCTED DIRECTLY FOLLOWING SITE DEMOLITION AND PREPARATION TASKS.
2. **SEDIMENTATION CONTROL** - SEDIMENTATION CONTROL SHALL BE ACCOMPLISHED DURING CONSTRUCTION THROUGH THE USE OF SILT FENCING PLACED AS SHOWN ON THE ATTACHED PLAN. THE CONTROL DEVICES SHALL BE SET AT THE ONSET OF SITE GRADING TO CONTROL SEDIMENTATION FLOW AND TO PREVENT SILTING OF BOTH ON-SITE AND OFF-SITE AREAS.
3. **EROSION CONTROL** - EROSION CONTROL SHALL BE ACCOMPLISHED THROUGH THE USE OF DOT CLASS "A" PLAIN RIP RAP WITH FILTER FABRIC, SOD OR STRAW MULCH WHICH SHALL BE APPLIED TO ALL AREAS DISTURBED DURING THE CONSTRUCTION PROCESS. EROSION CONTROL STRUCTURES INDICATED ON THE ATTACHED PLANS SHALL BE ERECTED PRIOR TO THE EXECUTION OF ANY SITE WORK. EROSION CONTROL SHALL INCLUDE TEMPORARY AND PERMANENT EROSION CONTROL FEATURES MEETING THE REQUIREMENTS OF THE DOT CONSTRUCTION SPECIFICATIONS.
4. **EXISTING IMPROVEMENTS** - THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING IMPROVEMENTS AND UTILITIES PRIOR TO BID PREPARATION AND THE COMMENCEMENT OF CONSTRUCTION.
5. **CODES AND STANDARDS** - CONSTRUCTION SHALL CONFORM TO THE CODES AND STANDARDS REFERENCED BELOW INCLUDING THE DOT STANDARD SPECIFICATIONS FOR ROAD AND STRUCTURE CONSTRUCTION.
FLUVANNA COUNTY LAND DEVELOPMENT CODE AND TOWER ORDINANCE.
6. **DISTURBED AREAS** - ALL AREAS DISTURBED DURING THE CONSTRUCTION PROCESS SHALL BE STRAW MULCHED FOLLOWING FINAL GRADING. AREAS WITH SLOPES GREATER THAN 4(H):1(V) SHALL BE SEEDED AND STRAW MULCHED. FOR AREAS WITH SLOPES GREATER THAN 3(H):1(V), EROSION CONTROL BLANKETS MEETING THE REQUIREMENTS OF THE DOT SHALL BE UTILIZED.
7. **SEED, SOD AND MULCH** - SEED, SOD AND STRAW MULCH SHALL CONFORM TO THE DOT CONSTRUCTION SPECIFICATIONS. WATER SHALL BE POTABLE FOR GRASSING AND SODDING AND SHALL BE PLACED IN ACCORDANCE WITH THE DOT CONSTRUCTION SPECIFICATION.
8. **RIP RAP** - RIP RAP USED ON THIS PROJECT SHALL MET THE REQUIREMENTS FOR DOT CLASS "A" PLAIN RIP RAP UNLESS OTHERWISE SPECIFIED ELSEWHERE IN THIS PLAN SET. THE RIP RAP SYSTEM SHALL INCLUDE THE PLACEMENT OF FILTER FABRIC. ALL MATERIALS AND INSTALLATION SHALL CONFORM TO THE DOT CONSTRUCTION SPECIFICATIONS.
9. **CLEARING AND GRUBBING** - CLEARING AND GRUBBING SHALL BE PERFORMED WITHIN THE CONSTRUCTION LIMITS AS NOTED ON THE PLANS IN ACCORDANCE WITH THE DOT CONSTRUCTION SPECIFICATIONS. THE CONTRACTOR SHALL EXPECT TO STRIP TO GENERAL DEPTHS OF 6" TO 12". DEEPER STRIPPING MAY BE NECESSARY IN AREAS OF MAJOR ROOT SYSTEMS. WHEREVER PAVEMENT OR BASE COURSE EXISTS WITHIN THE CONSTRUCTION LIMITS, THE SURFACE AND/OR BASES COURSES SHALL BE BROKEN UP FOR THE FULL EXISTING WIDTH AND DEPTH, REMOVED, AND DEPOSITED OFF-SITE.
10. **DEMOLITION** - DEMOLITION DEBRIS FROM EXISTING STRUCTURES, IF ANY, SHALL BE REMOVED AND DEPOSITED OFF-SITE AT AN APPROVED LOCATION.
11. **FILL PLACEMENT** - SOIL MATERIALS FOR FILLING SHALL CONFORM TO AASHTO SOIL GROUPS A-2, A-3 OR A-4 AND SHALL BE PLACED IN TEN (10) INCH LOOSE LIFTS TO THE GRADES SHOWN ON THE PLANS. EACH LIFT SHALL BE COMPACTED TO 100% OF THAT OBTAINED BY COMPACTING A SAMPLE OF MATERIAL IN ACCORDANCE WITH AASHTO T99. BACK FILL SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DOT CONSTRUCTION SPECIFICATIONS.
12. **SUBGRADE WORK** - THE CONTRACTOR SHALL CLEAR AND STRIP THE AREA TO BE IMPROVED AND EXCAVATE TO THE TOP OF THE SUBGRADE. THE TOP OF THE SUBGRADE SHALL BE PROOF ROLLED IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE TO LOCATE AND IDENTIFY SOFT SPOTS. SOIL MATERIALS IN SOFT AREAS SHALL BE REMOVED AND THESE AREAS SHALL BE BACKFILLED AS DIRECTED BY THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL DISPOSE OF THE EXCAVATED SUBGRADE MATERIALS, IF UNSUITABLE FOR FILL, OFF SITE.
13. **STABILIZED SUBGRADE** - SUBGRADE SHALL BE STABILIZED WITH AGGREGATE STABILIZATION CONFORMING TO THE DOT REQUIREMENTS. STABILIZER AGGREGATE SHALL BE IN ACCORDANCE WITH THE DOT. COMPACT THE ENTIRE DEPTH AND WIDTH OF THE STABILIZED SUBGRADE TO A DENSITY EQUAL TO AT LEAST 100% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T99.
14. **BASE COURSE** - MATERIAL FOR THE AGGREGATE BASE COURSE (ABC) SHALL BE DOT APPROVED GRANITE CRUSHER RUN; CRUSHED LIMESTONE; OR LOCALLY AVAILABLE MATERIAL APPROVED BY THE ENGINEER OF RECORD. THE AGGREGATE BASE COURSE SHALL BE COMPACTED TO AT LEAST 100% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T99. **BASE COURSE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE DOT CONSTRUCTION SPECIFICATIONS, INCLUDING LEVEL SURFACES; UNIFORM THICKNESSES; AND STRAIGHT, CLEAN FINISHED EDGES.**
15. **FIELD DENSITIES** - ALL FILL, STABILIZED SUBGRADE, AND THE ABC SHALL BE TESTED FOR FIELD DENSITY. ONE TEST SHALL BE TAKEN EVERY 1,500 SQUARE FEET OR PORTION THEREOF. TESTING SHALL BE PROVIDED IN EACH LIFT OF FILL AT LOCATIONS DESIGNATED BY THE OWNER'S REPRESENTATIVE. A MINIMUM OF TWO COMPACTION TESTS SHALL BE PERFORMED ON THE STABILIZED SUBGRADE AT LOCATIONS DESIGNATED BY THE OWNER'S REPRESENTATIVE.
16. **LAB TESTING** - ALL TESTING SHALL BE PERFORMED BY A QUALIFIED TESTING LAB UNDER THE DIRECTION OF A REGISTERED ENGINEER. TEST RESULTS SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR REVIEW. THE CONTRACTOR SHALL BEAR ALL TESTING EXPENSES.
17. **INSPECTION** - THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED FOR INSPECTION SCHEDULING BEFORE COMMENCING PERTINENT STAGES OF CONSTRUCTION INCLUDING SUBGRADE PROOF ROLLING, STABILIZED SUBGRADE PREPARATION, BASE COURSE PLACEMENT, AND OTHER STAGES REQUIRED FOR APPROVAL. REQUESTS FOR INSPECTION SHALL BE MADE AT LEAST 48 HOURS BEFORE DESIRED INSPECTION TIME.
18. **CAST IN PLACE CONCRETE** - UNLESS OTHERWISE NOTED, ALL CAST IN PLACE CONCRETE SHALL BE A NORMAL WEIGHT (140 PCF), 3 INCH TO 5 INCH SLUMP, 4000 PSI-28 DAY MINIMUM ULTIMATE COMPRESSIVE STRENGTH MIX. ALL CAST IN PLACE CONCRETE PROPORTIONS, MIXING, PLACING, CURING, FORMING, CONSTRUCTION JOINTS AND OTHER CONCRETE WORK SHALL COMPLY WITH THE CURRENT PROVISIONS OF ACI 318 AND ACI 301. CAST IN PLACE CONCRETE SHALL BE FINISHED WITH A STEEL TROWEL FINISH.
19. **REINFORCING** - REINFORCING STEEL FOR CAST IN PLACE CONCRETE SHALL BE ASTM A615 GRADE 60 OR GRADE 40 WWF. ALL REINFORCING STEEL SHALL COMPLY WITH THE CURRENT PROVISIONS OF ACI 318 AND ACI 301 AND THE CRSI DESIGN HANDBOOK.
20. **BUILDING PERMITS** - ALL BUILDING PERMIT COSTS SHALL BE PASSED THROUGH FROM THE CONTRACTOR TO THE OWNER.
21. **POWER COMPANY FEES** - ALL POWER COMPANY FEES SHALL BE PASSED THROUGH FROM THE CONTRACTOR TO THE OWNER.

WORK WITHIN THE RIGHT-OF-WAY

NOTE: THE METHOD AND MANNER OF PERFORMING THE WORK AND THE QUALITIES OF MATERIAL FOR CONSTRUCTION WITHIN THE RIGHT OF WAY SHALL CONFORM TO THE REQUIREMENTS SPECIFIED BY THE PUBLIC WORKS DEPARTMENT AND THE DEPARTMENT OF TRANSPORTATION (DOT). NO WORK SHALL BE DONE NOR MATERIALS USED IN THE CITY, COUNTY AND STATE RIGHT OF WAY, WITHOUT INSPECTION BY THE PUBLIC WORKS DEPARTMENT AND THE DOT RESPECTIVELY, AND THE CONTRACTOR/DEVELOPER SHALL FURNISH EACH DEPARTMENT EVERY REASONABLE FACILITY FOR ASCERTAINING WHETHER THE WORK PERFORMED AND MATERIALS USED ARE IN ACCORDANCE WITH THE REQUIREMENTS AND INTENT OF THE PLANS AND SPECIFICATIONS.



NOTE:
ABSOLUTELY NO PORTION OF THE LEASE PARCEL OR THE FENCED COMPOUND SHALL BE LOCATED OVER ANY FIBER OPTIC CABLES, EXISTING GROUNDING SYSTEMS OR EXISTING UTILITIES.



52 EIGHTY, LLC
5860 CLARION STREET, SUITE 101
CUMMING, GA 30040
PHONE: (404) 382-5280



Site Development Services

NOT TO SCALE

SCALE VERIFICATION

0 1"

BAR IS ONE INCH ON ORIGINAL DRAWING.

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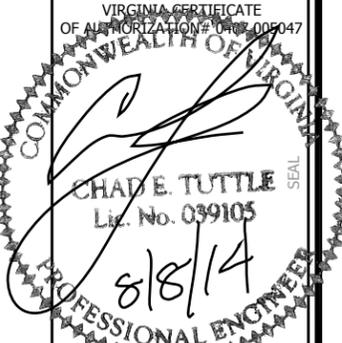
REVISIONS		
NO.	DESCRIPTION	DATE

DATE:	5-23-14
DRAWN:	JAE
CHECKED:	GAM
DESIGNED:	JAE
JOB NUMBER:	319-127-36
CAD FILE: /ENG/5280/TMO VA62677 CD5.DWG	



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VIRGINIA CERTIFICATE OF AUTHORIZATION # 0402 039105



CHAD E. TUTTLE
Lic. No. 039105
8/8/14

CHAD TUTTLE
PROFESSIONAL ENGINEER
REGISTRATION
No.: 0402 039105

JOB INFORMATION

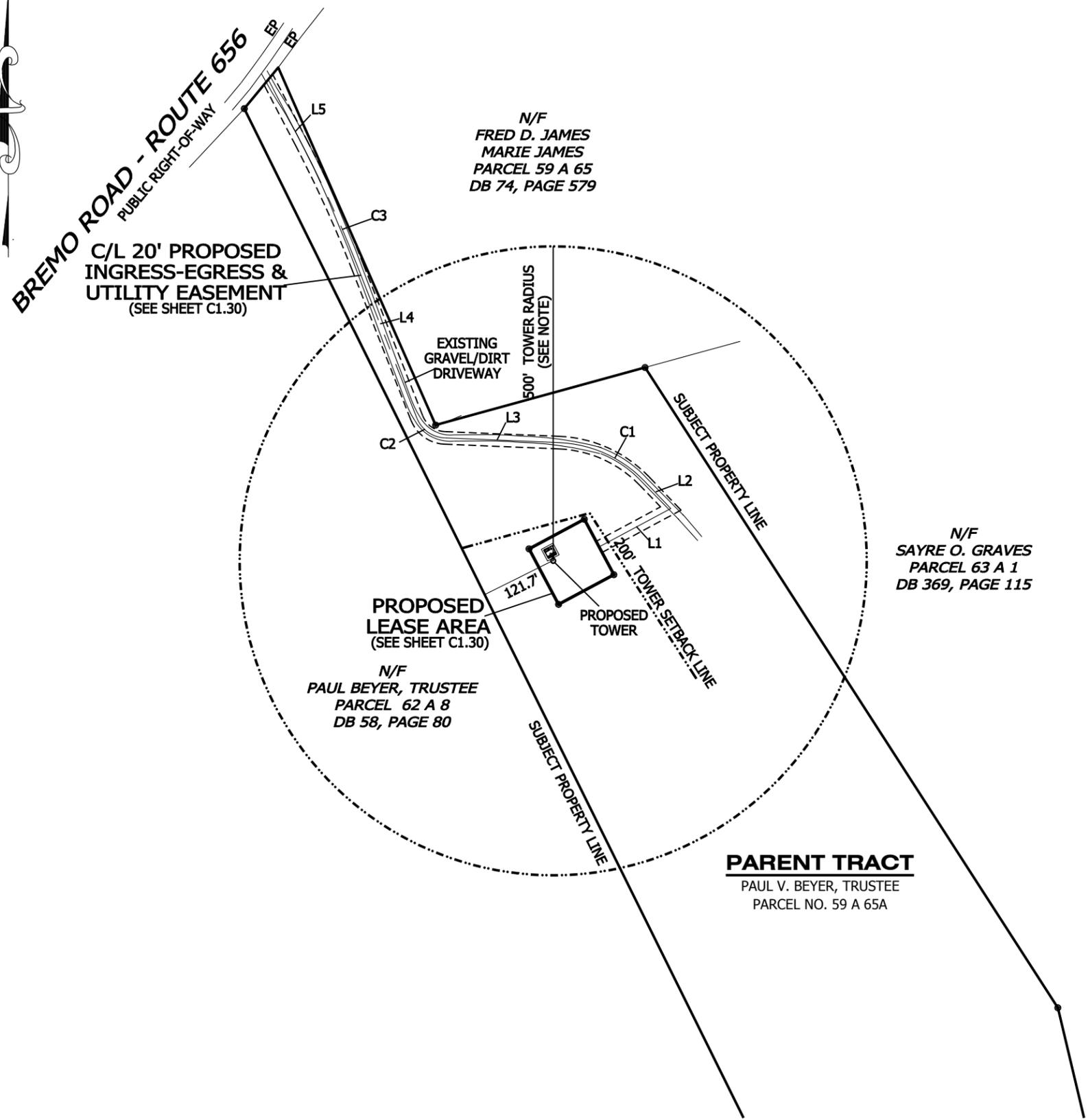
SR: VA62677
SITE ID: VA-903
SITE NAME: BEYER

SHEET TITLE

GENERAL NOTES

SHEET NUMBER

C1.10



N/F
FRED D. JAMES
MARIE JAMES
PARCEL 59 A 65
DB 74, PAGE 579

N/F
SAYRE O. GRAVES
PARCEL 63 A 1
DB 369, PAGE 115

N/F
PAUL BEYER, TRUSTEE
PARCEL 62 A 8
DB 58, PAGE 80

PARENT TRACT
PAUL V. BEYER, TRUSTEE
PARCEL NO. 59 A 65A

LINE	BEARING	DISTANCE
L1	N61°52'53"E	129.61'
L2	N43°56'25"W	60.84'
L3	N87°40'26"W	182.51'
L4	N21°26'47"W	259.60'
L5	N27°33'30"W	115.56'

LINE	RADIUS	ARC	CHD. BRG.	CHD.
C1	200.00'	152.66'	N65°48'25"W	148.98'
C2	50.00'	57.79'	N54°33'36"W	54.63'
C3	2000.00'	213.35'	N24°30'08"W	213.25'

NOTES:

- BOUNDARY INFORMATION AND EXISTING FEATURES SHOWN HEREON WERE FURNISHED BY THE CLIENT AND BASED ON A SURVEY PERFORMED BY POINT TO POINT LAND SURVEYORS, DATED MAY 20, 2014.
- ELEVATIONS ARE NAVD 88.
- BEARINGS ARE VA GRID NORTH (SOUTH ZONE) (NAD 83)
- NO PORTION OF THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD AREA.
- THERE ARE NO RESIDENTIAL STRUCTURES WITHIN THE 500' TOWER RADIUS AS SHOWN HEREON.

LEGEND

- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- IPS IRON PIN SET
- IPF IRON PIN FOUND
- CMF CONCRETE MONUMENT FOUND
- PP UTILITY POLE
- LP LIGHT POLE
- FP FLAG POLE
- SSMH SANITARY SEWER MANHOLE
- SDMH STORM DRAIN MANHOLE
- INV INVERT
- FH FIRE HYDRANT
- EP EDGE OF PAVEMENT
- TC TOP OF CURB
- BC BACK OF CURB
- TW TOP OF WALL
- BW BOTTOM OF WALL
- OU OVERHEAD UTILITY
- UE UNDERGROUND UTILITY
- CMP CORRUGATED METAL PIPE
- RCP REINFORCED CONCRETE PIPE
- PVC POLYVINYL CHLORIDE PIPE
- GW GUY WIRE ANCHOR
- TR TRANSFORMER
- JB JUNCTION BOX
- SWCB SINGLE WING CATCH BASIN
- DWCB DOUBLE WING CATCH BASIN
- CLF CHAIN LINK FENCE
- WV WATER VALVE
- WM WATER METER
- CO SEWER CLEAN-OUT
- GV GAS VALVE
- N/F NOW OR FORMERLY
- IB ICE BRIDGE
- IBP ICE BRIDGE POLE



52 EIGHTY, LLC
5860 CLARION STREET, SUITE 101
CUMMING, GA 30040
PHONE: (404) 382-5280



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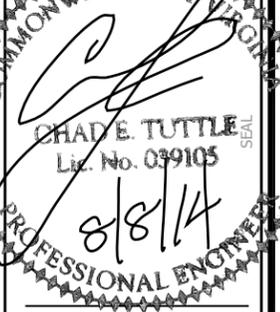
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VIRGINIA CERTIFICATE OF AUTHORIZATION # 0402 039105



CHAD TUTTLE
PROFESSIONAL ENGINEER
REGISTRATION
No.: 0402 039105

JOB INFORMATION
SR: VA62677
SITE ID: VA-903
SITE NAME: BEYER

SHEET TITLE

BOUNDARY INFORMATION & EXISTING FEATURES

SHEET NUMBER
C1.20



NOTE:
ABSOLUTELY NO PORTION OF THE LEASE PARCEL OR THE FENCED COMPOUND SHALL BE LOCATED OVER ANY FIBER OPTIC CABLES, EXISTING GROUNDING SYSTEMS OR EXISTING UTILITIES.



52 EIGHTY, LLC
5860 CLARION STREET, SUITE 101
CUMMING, GA 30040
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Site Development Services

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DATE:	5-23-14
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VIRGINIA CERTIFICATE OF AUTHORIZATION # 0407005047

CHAD E. TUTTLE
Lic. No. 039105
8/8/14
PROFESSIONAL ENGINEER

CHAD TUTTLE
PROFESSIONAL ENGINEER
REGISTRATION
No.: 0402 039105

JOB INFORMATION
SR: VA62677
SITE ID: VA-903
SITE NAME: BEYER

SHEET TITLE

BOUNDARY INFORMATION & EXISTING FEATURES

SHEET NUMBER
C1.30

NOTES:

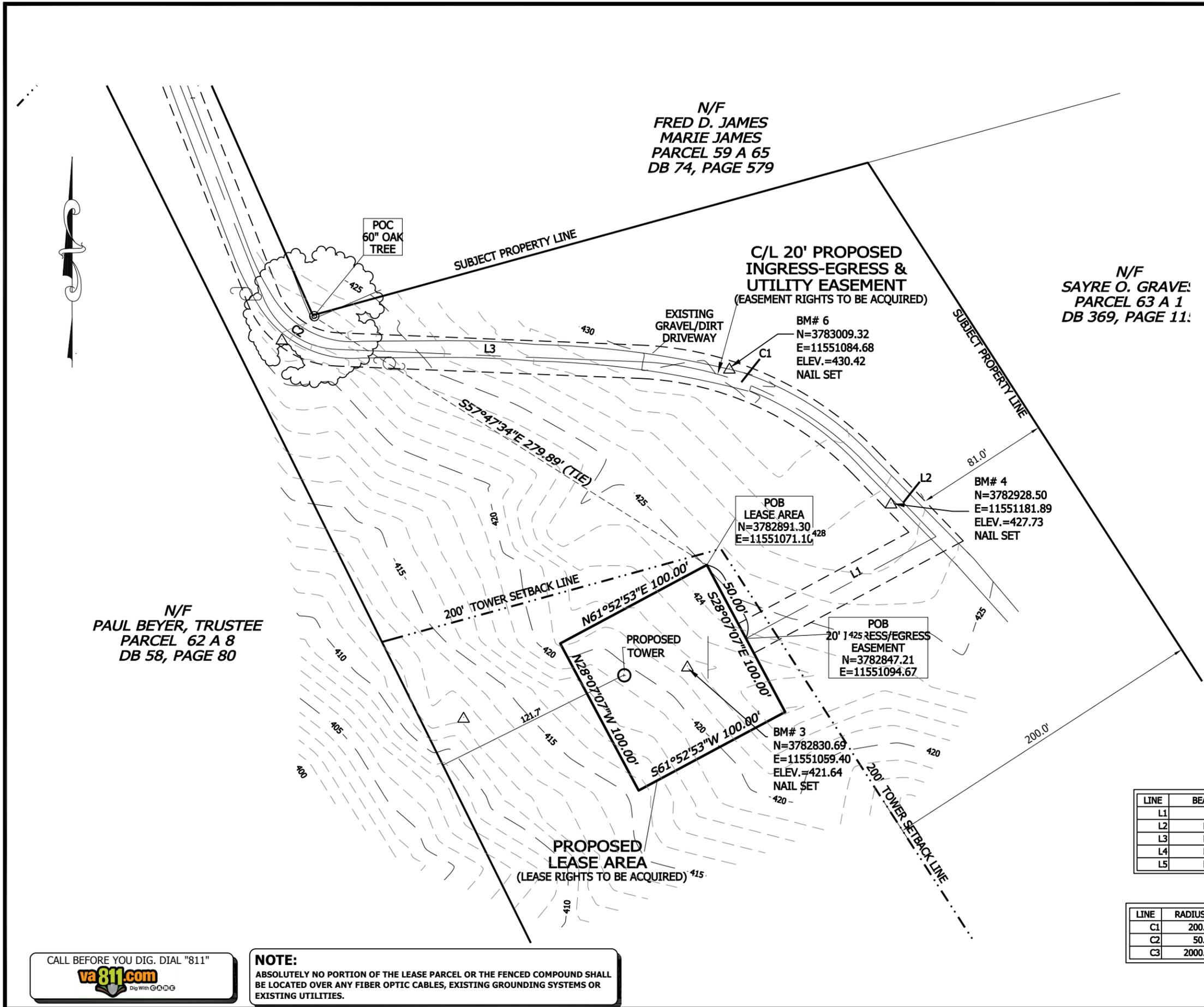
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- ELEVATIONS ARE NAVD 88.
- BEARINGS ARE VA GRID NORTH (SOUTH ZONE) (NAD 83)
- NO PORTION OF THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD AREA.
- THERE ARE NO RESIDENTIAL STRUCTURES WITHIN THE 500' TOWER RADIUS AS SHOWN HEREON.

LEGEND

- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- IPS IRON PIN SET
- IPF IRON PIN FOUND
- CMF CONCRETE MONUMENT FOUND
- PP UTILITY POLE
- LP LIGHT POLE
- FP FLAG POLE
- SSMH SANITARY SEWER MANHOLE
- SDMH STORM DRAIN MANHOLE
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- GW GUY WIRE ANCHOR
- TR TRANSFORMER
- JB JUNCTION BOX
- SWCB SINGLE WING CATCH BASIN
- DWCB DOUBLE WING CATCH BASIN
- CLF CHAIN LINK FENCE
- WV WATER VALVE
- WM WATER METER
- CO SEWER CLEAN-OUT
- GV GAS VALVE
- N/F NOW OR FORMERLY
- IB ICE BRIDGE
- IBP ICE BRIDGE POLE

LINE	BEARING	DISTANCE
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L2	N43°56'25"W	60.84'
L3	N87°40'26"W	182.51'
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L5	N27°33'30"W	115.56'

LINE	RADIUS	ARC	CHD. BRG.	CHD.
C1	200.00'	152.66'	N65°48'25"W	148.98'
C2	50.00'	57.79'	N54°33'36"W	54.63'
C3	2000.00'	213.35'	N24°30'08"W	213.25'



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NOTE:
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LEGAL DESCRIPTIONS

PROPOSED LEASE AREA
52 EIGHTY
"VA62677"

All that tract or parcel of land lying and being located in Fork Union Magisterial District, Fluvanna County in the Commonwealth of Virginia and being more particularly described as follows:

Commencing for the same at a 60" Oak tree situated on the property line between Parcel number 59 A 65, currently owned by Fred and Marie James and Parcel number 59 A 65A, currently owned by Paul V. Beyer, trustee; thence leaving said place of commencement and running, with bearings referred to Virginia Grid North, South Zone, NAD83, South 57°47'34" East 279.89 feet to the True Point of Beginning; having a Virginia Grid North, South Zone NAD83 coordinate of North 3,782,891.30, East 11,551,071.10; thence leaving said place of beginning and running,

1. South 28°07'07" East, 100.00 feet to a point; thence
2. South 61°52'53" West, 100.00 feet to a point; thence
3. North 28°07'07" West, 100.00 feet to a point; thence
4. North 61°52'53" East, 100.00 feet to the place of beginning.

Said tract contains 0.2296 Acres (10,000 square feet) more or less, as shown in a survey prepared for 52 Eighty by POINT TO POINT LAND SURVEYORS, INC. dated May 20, 2104.

PROPOSED 20' INGRESS-EGRESS
& UTILITY EASEMENT
52 EIGHTY
"VA62677"

All that tract or parcel of land lying and being located in Fork Union Magisterial District, Fluvanna County in the Commonwealth of Virginia and being more particularly described by the following centerline data:

Commencing for the same at a 60" Oak tree situated on the property line between Parcel number 59 A 65, currently owned by Fred and Marie James and Parcel number 59 A 65A, currently owned by Paul V. Beyer, trustee; thence leaving said place of commencement and running, with bearings referred to Virginia Grid North, South Zone, NAD83, South 57°47'34" East 279.89 feet to a point; thence South 28°07'07" East 50.00 feet to the True Point of Beginning; having a Virginia Grid North, South Zone NAD83 coordinate of North 3,782,847.21, East 11,551,094.67; thence leaving said place of beginning and running,

1. North 61°52'53" East, 129.61 feet to a point; thence
2. North 43°56'25" West, 60.84 feet to a point; thence
3. 152.66 feet along a tangent curve to the left, having a radius of 200.00 feet and being scribed by a chord bearing North 65°48'25" West, 148.98 feet to a point; thence,
4. North 87°40'26" West, 182.51 feet to a point, thence,
5. 57.79 feet along a tangent curve to the right, having a radius of 50.00 feet and being scribed by a chord bearing North 54°33'36" West, 54.63 feet to a point; thence,
6. North 21°26'47" West, 259.60 feet to a point, thence,
7. 213.35 feet along a tangent curve to the left, having a radius of 2000.00 feet and being scribed by a chord bearing North 24°30'08" West, 213.25 feet to a point; thence,
8. North 27°33'30" West, 115.56 feet to an ending point.

As shown in a survey prepared for 52 Eighty by POINT TO POINT LAND SURVEYORS, INC. dated May 20, 2104.

52 EIGHTY

52 EIGHTY, LLC
5860 CLARION STREET, SUITE 101
CUMMING, GA 30040
PHONE: (404) 382-5280

WIRELESS VISION L.L.C.

Site Development Services

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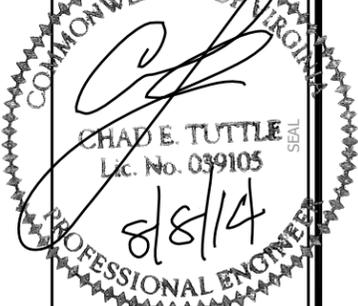
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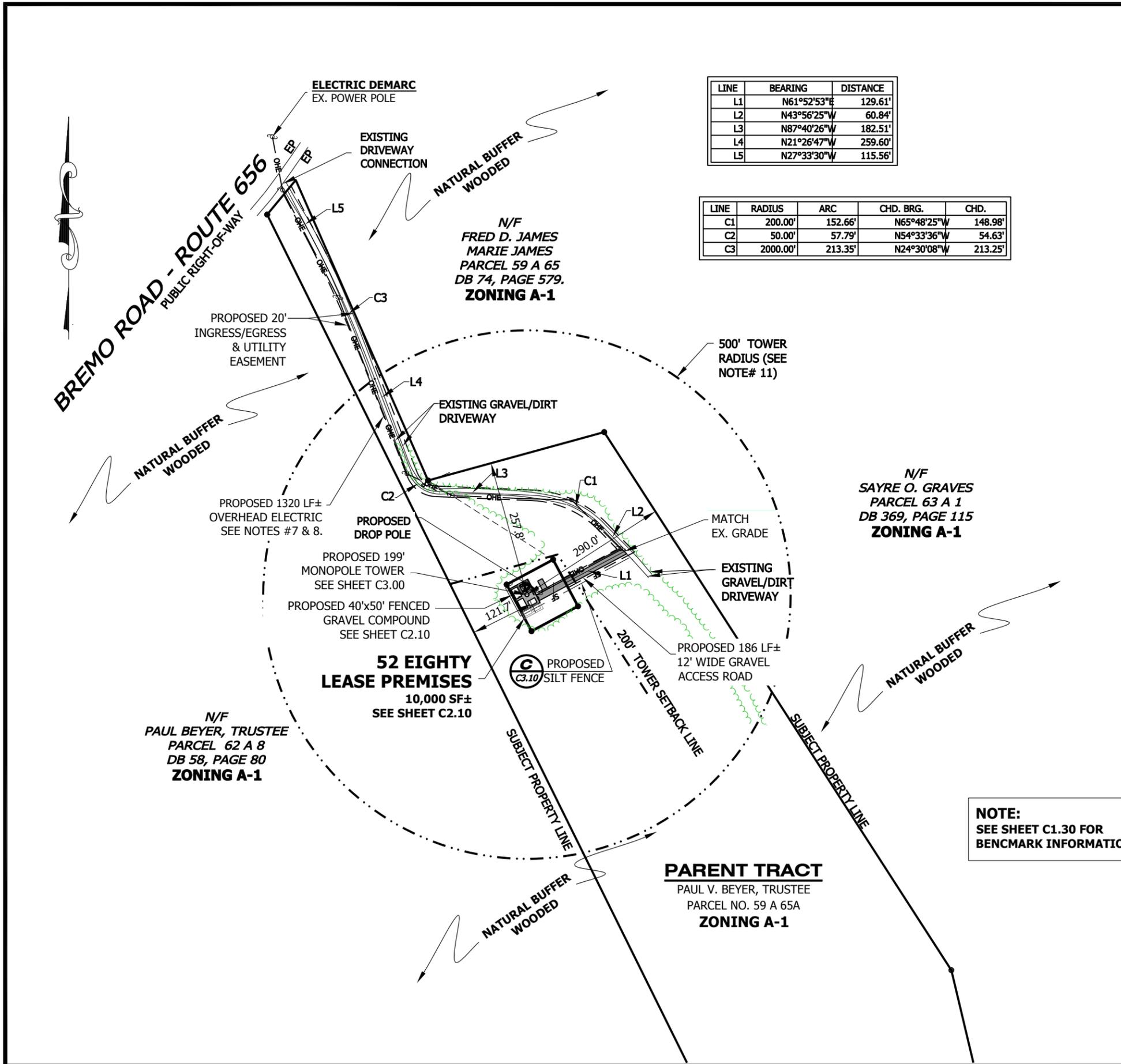
JOB INFORMATION
SR: VA62677
SITE ID: VA-903
SITE NAME: BEYER

SHEET TITLE
LEGAL DESCRIPTIONS

SHEET NUMBER
C1.40

NOTE:
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LINE	BEARING	DISTANCE
L1	N61°52'53"E	129.61'
L2	N43°56'25"W	60.84'
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L4	N21°26'47"W	259.60'
L5	N27°33'30"W	115.56'

LINE	RADIUS	ARC	CHD. BRG.	CHD.
C1	200.00'	152.66'	N65°48'25"W	148.98'
C2	50.00'	57.79'	N54°33'36"W	54.63'
C3	2000.00'	213.35'	N24°30'08"W	213.25'

NOTES:

- SEE LEGEND, ABBREVIATIONS AND GENERAL NOTES ON SHEET T1.00, C1.00 & C1.10.
- TOWER LATITUDE, LONGITUDE AND ELEVATION WERE FURNISHED BY CLIENT.
- 199' MONOPOLE TOWER.
CENTER OF TOWER:
NAD 83

LATITUDE: N 37°42'42.61"
LONGITUDE: W 78°15'52.45"
ELEVATION: 419.7' NAVD 88
- THE PERPENDICULAR DISTANCES FROM THE CENTER OF THE PROPOSED TOWER TO THE PARENT TRACT BOUNDARY LINES ARE BASED ON SURVEY DATA PROVIDED BY THE CLIENT:

NORTH: 257.8'±
EAST: 290.0'±
WEST: 121.7'±
- THE CONTRACTOR SHALL FIELD-VERIFY THE LOCATION OF ALL EXISTING ABOVE GROUND AND UNDERGROUND IMPROVEMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY NECESSARY RELOCATION OR REPAIR OF UNDERGROUND IMPROVEMENTS DUE TO DAMAGE CAUSED DURING CONSTRUCTION.
- ALL SITE WORK SHALL BE CAREFULLY COORDINATED BY THE CONTRACTOR WITH LOCAL GAS, ELECTRIC, TELEPHONE AND ANY OTHER UTILITY COMPANY HAVING JURISDICTION OVER THIS PROJECT.
- OVERHEAD UTILITIES ARE ENCOURAGED TO MINIMIZE CONSTRUCTION COST. THE PLACEMENT OF NEW POWER POLES SHALL BE COORDINATED WITH SERVICE PROVIDER PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- TELCO SERVICE WILL BE PROVIDED BY A MICROWAVE BACKHAUL NETWORK.
- WHEN UNDERGROUND ELECTRIC SERVICE IN 2-4" SCH 40 PVC CONDUIT. INSTALL IN ACCORDANCE WITH OSHA AND ALL APPLICABLE CODES.
- THERE ARE NO RESIDENTIAL STRUCTURES WITHIN THE 500' TOWER RADIUS AS SHOWN HEREON.

SITE DATA:			
DESCRIPTION	SF	AC	%
LEASE PREMISES	10,000	0.230	
EASEMENT	4,748	0.109	
TOTAL PROJECT AREA	14,748	0.339	100.0
IMPERVIOUS AREA	830	0.019	5.63
GRAVEL SURFACE	4,601	0.106	31.19
OPEN AREA	9,317	0.214	63.18

NOTE:
SEE SHEET C1.30 FOR BENCHMARK INFORMATION



NOTE:
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52 EIGHTY
52 EIGHTY, LLC
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PHONE: (404) 382-5280

WIRELESS VISION L.L.C.
Site Development Services
SCALE: 1" = 200'

SCALE VERIFICATION
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REVISIONS		
NO.	DESCRIPTION	DATE

DATE: 5-23-14
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DESIGNED: JAE
JOB NUMBER: 319-127-36
CAD FILE: /ENR/5280/TMO VA62677 CD'S.DWG

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VIRGINIA CERTIFICATE OF AUTHORIZATION # 0407005747

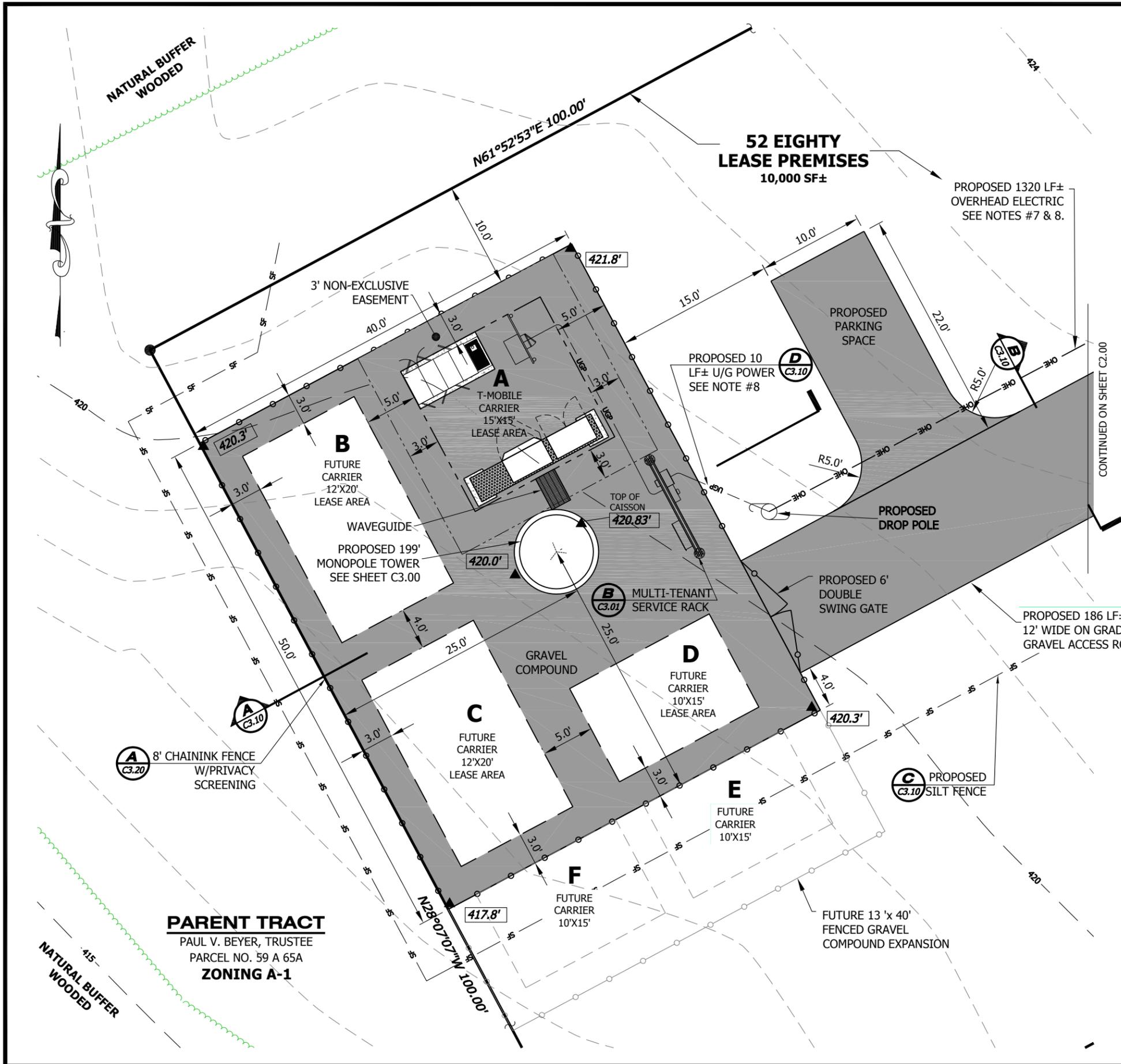
CHAD E. TUTTLE
Lic. No. 039105
8/10/14
PROFESSIONAL ENGINEER

CHAD TUTTLE
PROFESSIONAL ENGINEER
REGISTRATION No.: 0402 039105

JOB INFORMATION
SR: VA62677
SITE ID: VA-903
SITE NAME: BEYER

SHEET TITLE
MASTER SITE PLAN

SHEET NUMBER
C2.00



- NOTES:**
1. SEE LEGEND, ABBREVIATIONS & GENERAL NOTES ON SHEETS T1.00, C1.00 & C1.10.
 2. ELEVATION DATA SHOWN HEREON IS BASED ON AN NAVD 88. SEE SHEET C2.00 FOR BENCHMARK INFORMATION,
 3. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL EXISTING ABOVE GROUND AND BELOW GROUND IMPROVEMENTS.
 4. TOWER AND CONCRETE CAISSON TO BE DESIGNED BY OTHERS. TOP OF CONCRETE CAISSON TO BE 10" AFG.
 5. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY SERVICE PROVIDERS PRIOR TO PROJECT BID.
 6. ALL SITE WORK SHALL BE CAREFULLY COORDINATED BY THE CONTRACTOR WITH LOCAL GAS, ELECTRIC, TELEPHONE AND ANY OTHER UTILITY COMPANY HAVING JURISDICTION OVER THIS PROJECT.
 7. OVERHEAD UTILITIES ARE ENCOURAGED TO MINIMIZE CONSTRUCTION COST. THE PLACEMENT OF NEW POWER POLES SHALL BE COORDINATED WITH SERVICE PROVIDER PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 8. ELECTRIC SERVICE IN 2-4" SCH 40 PVC CONDUIT. INSTALL IN ACCORDANCE WITH OSHA AND ALL APPLICABLE CODES.

LEGEND:
 ▲ 10.2' INDICATES PROPOSED SPOT ELEVATION

NOTE:
 SEE SHEET C1.30 FOR BENCHMARK INFORMATION

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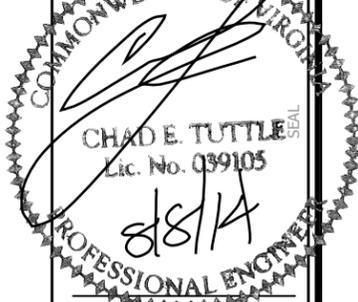
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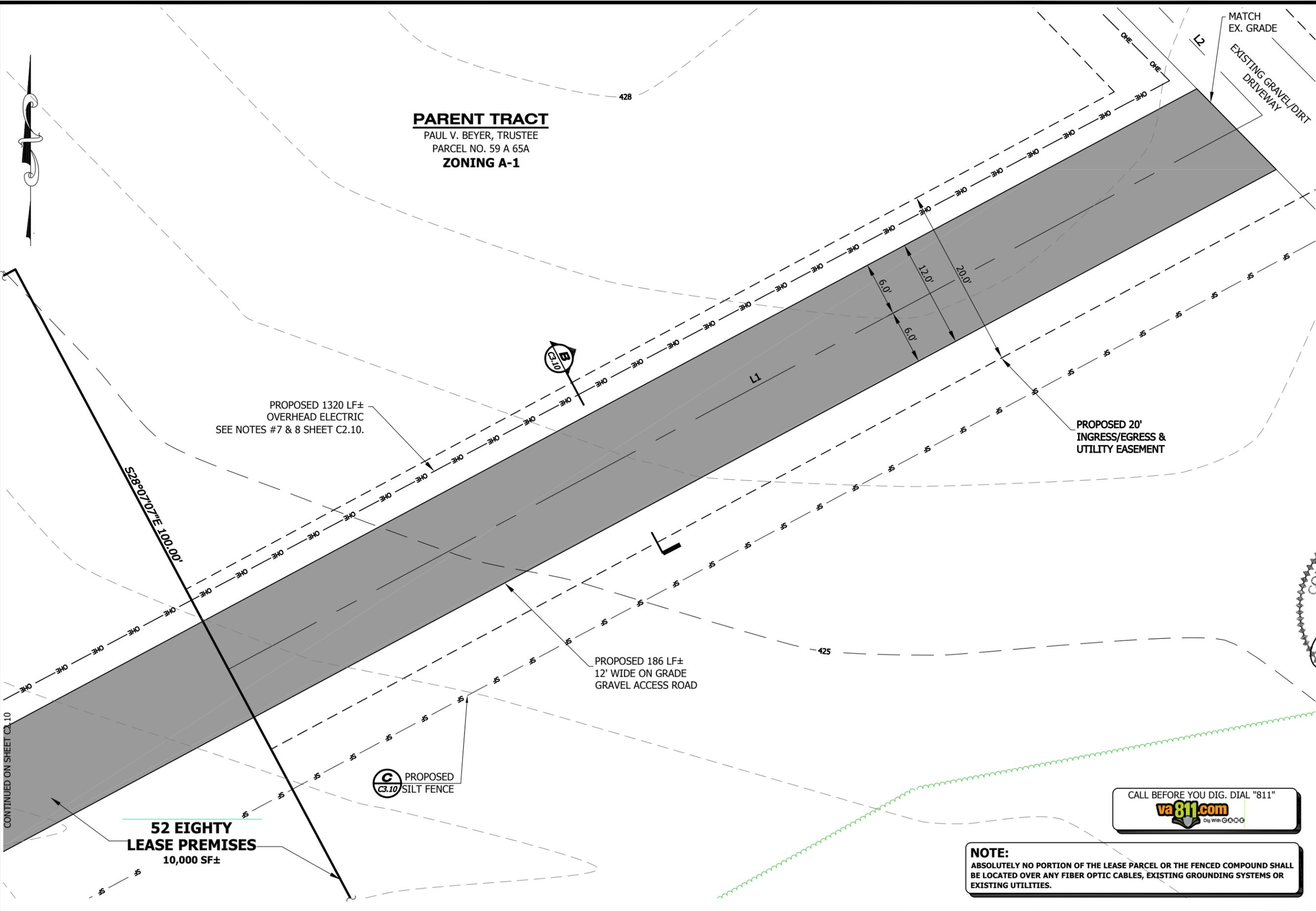
CHAD TUTTLE
 PROFESSIONAL ENGINEER
 REGISTRATION No.: 0402 039105

JOB INFORMATION
 SR: VA62677
 SITE ID: VA-903
 SITE NAME: BEYER

SHEET TITLE

PROPOSED IMPROVEMENTS

SHEET NUMBER
C2.10



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WIRELESS VISION L.L.C.
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VIRGINIA CERTIFICATE OF AUTHORIZATION # 0407005077

CHAD TUTTLE
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CHAD TUTTLE
 PROFESSIONAL ENGINEER
 REGISTRATION No.: 0402 039105

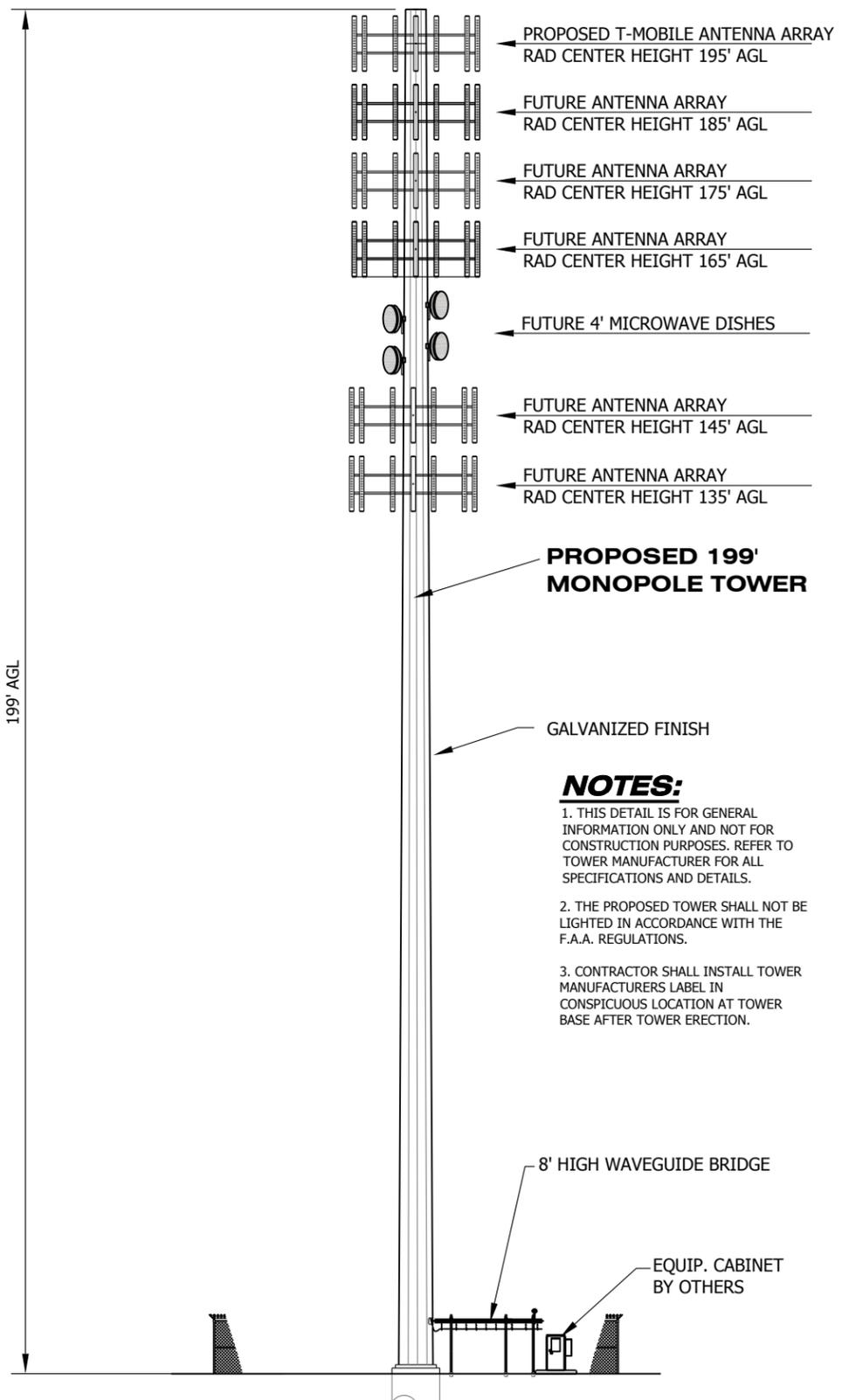
JOB INFORMATION
SR: VA62677
SITE ID: VA-903
SITE NAME: BEYER

SHEET TITLE
PROPOSED IMPROVEMENTS

SHEET NUMBER
C2.20

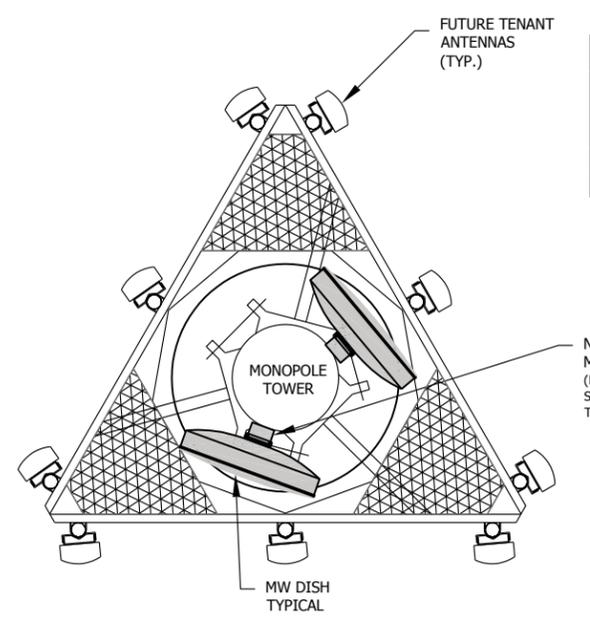
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NOTE:
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NOTES:
 1. THIS DETAIL IS FOR GENERAL INFORMATION ONLY AND NOT FOR CONSTRUCTION PURPOSES. REFER TO TOWER MANUFACTURER FOR ALL SPECIFICATIONS AND DETAILS.
 2. THE PROPOSED TOWER SHALL NOT BE LIGHTED IN ACCORDANCE WITH THE F.A.A. REGULATIONS.
 3. CONTRACTOR SHALL INSTALL TOWER MANUFACTURERS LABEL IN CONSPICUOUS LOCATION AT TOWER BASE AFTER TOWER ERECTION.

MONOPOLE TOWER ELEVATION VIEW N.T.S. **A**



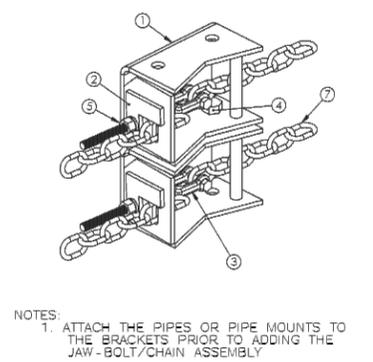
ANTENNA & CABLE SCHEDULE							
	AZIMUTH	HEIGHT AGL	ANTENNA TYPE	MFG & ANTENNA MODEL NO.	QTY.	FEEDER TYPE	TOTAL FEEDER LENGTH # OF FEEDER(S)
4' MW DISH	TBD	TBD	MW	ANDREW VHLPX4-11	4	TBD	TBD

NOTE:
 FOR ANTENNA ORIENTATION AND NUMBER OF ANTENNAS SEE SHEET A-1

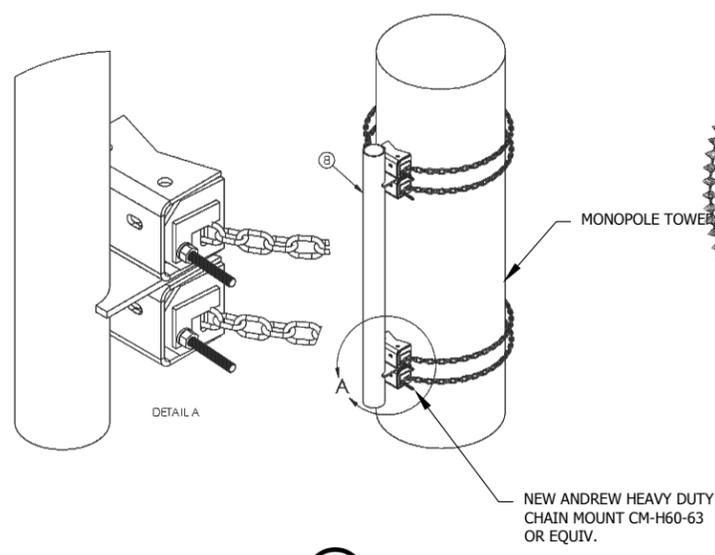
ANTENNA LAYOUT N.T.S. **B**

ITEM	PART NO.	DESCRIPTION	QTY	WEIGHT
1	CM.01	CHAIN MOUNT ANCHOR	4	5.25
2	CM.03	CHAIN LOCK	4	0.27
3	CM.04	1/2" RIGHT HAND THREAD JAW	4	0.55
4	G8-0516A	5/8" X 1-3/4" GALV BOLT KIT (A325)	4	0.25
5	GWL-04	1/2" GALV LOCK WASHER	4	0.01
6	GN-04	1/2" GALV HEX NUT (C2)	4	0.04
7	G4-0-XXX	G-40 CHAIN (SEE TABLE)	4	
8	IMT-XXX	PIPE MOUNT		

PART NUMBER	WEIGHT	PIPE MOUNT	QTY	CHAIN	CHAIN LENGTH
CM-H30-B	52.12	NONE	0	G4-0-96	96"
CM-H30-S3	116.62	MT-395	1	G4-0-96	96"
CM-H90-B	75.12	NONE	0	G4-0-192	192"
CM-H90-S3	140.62	MT-395	1	G4-0-192	192"



NOTES:
 1. ATTACH THE PIPES OR PIPE MOUNTS TO THE BRACKETS PRIOR TO ADDING THE JAW-BOLT/CHAIN ASSEMBLY



HEAVY DUTY CHAIN MOUNT N.T.S. **C**

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WIRELESS VISION L.L.C.
 Site Development Services
NOT TO SCALE

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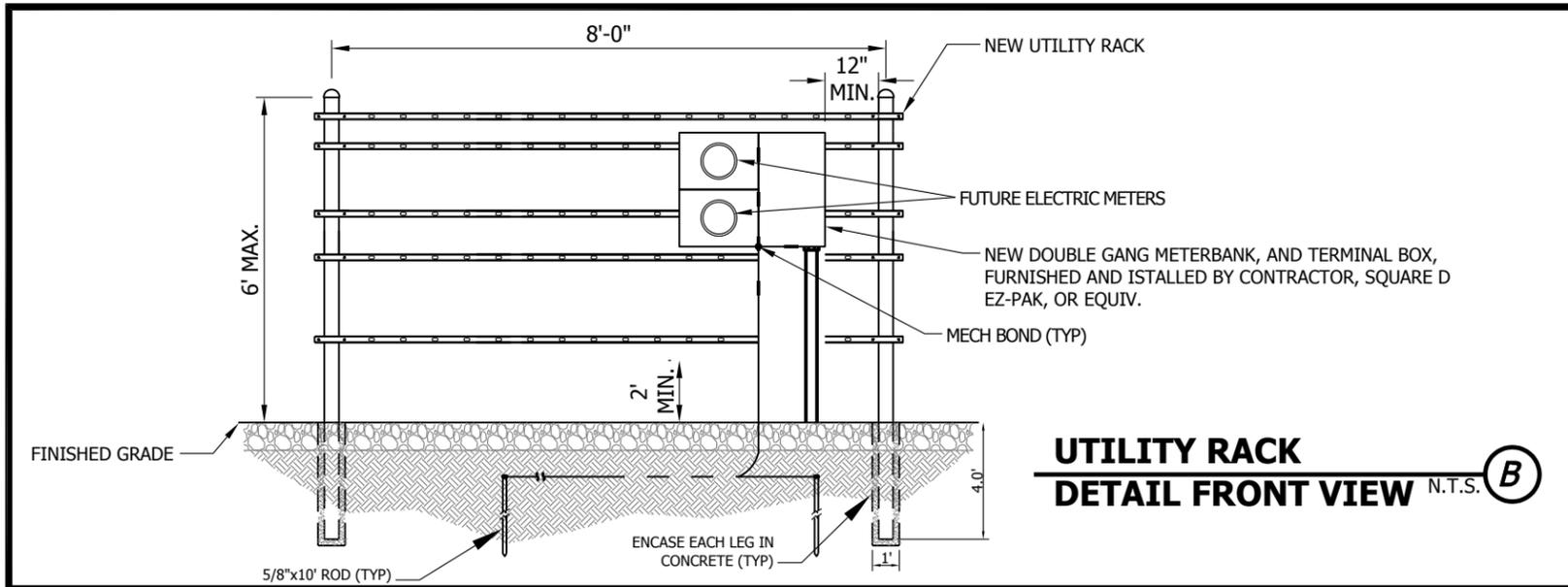
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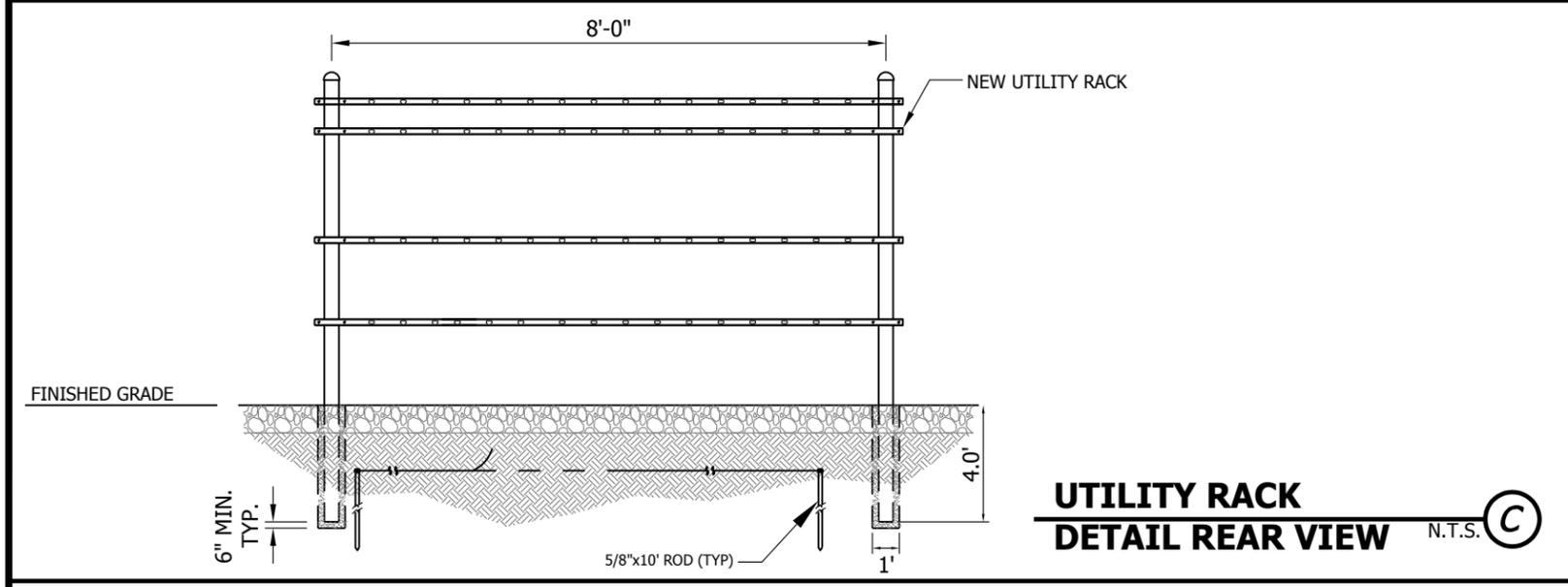
CHAD E. TUTTLE
 Lic. No. 039105
 8/8/14
CHAD TUTTLE
 PROFESSIONAL ENGINEER
 REGISTRATION No.: 0402 039105

JOB INFORMATION
SR: VA62677
SITE ID: VA-903
SITE NAME: BEYER

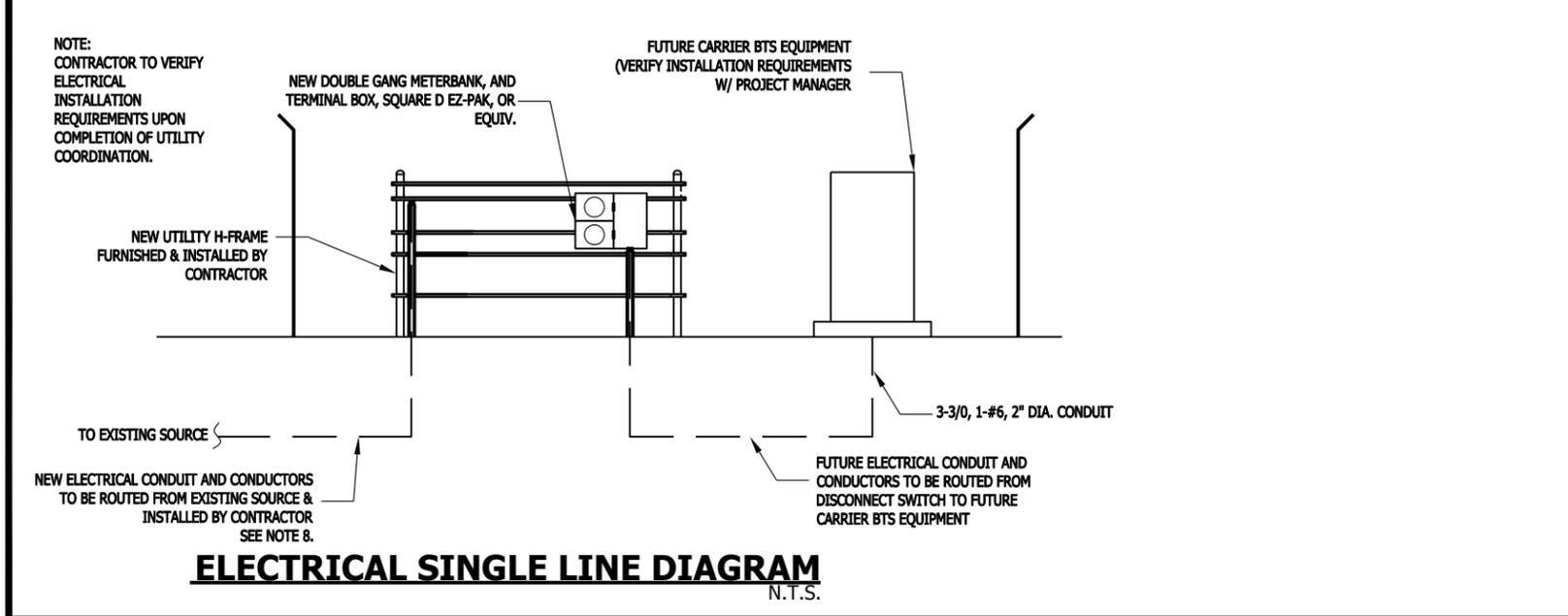
SHEET TITLE
TOWER ELEVATION & ANTENNA DETAILS
 SHEET NUMBER
C3.00



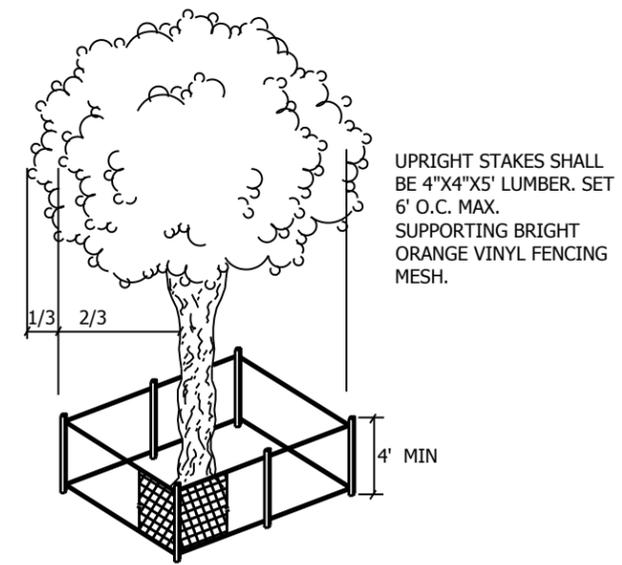
**UTILITY RACK
DETAIL FRONT VIEW** N.T.S. (B)



**UTILITY RACK
DETAIL REAR VIEW** N.T.S. (C)



ELECTRICAL SINGLE LINE DIAGRAM N.T.S.



TREE BARRICADE DETAIL (D)

CONSTRUCTION NOTES:

- (1) TREE BARRICADE SHOULD BE INSTALLED PRIOR TO ANY SITE CONSTRUCTION (CLEARING, GRADING, ETC.) AND SHALL REMAIN UNTIL CONSTRUCTION IS COMPLETE. NO STORING OF FILL DIRT OR BUILDING MATERIALS IS ALLOWED WITHIN THE BARRICADES.
- (2) BARRIERS TO REMAIN IN PLACE UNTIL PROJECT COMPLETION, INCLUDING LANDSCAPING.
- (3) ALL ROOTS LARGER THAN 1" ENCOUNTERED DURING SITE EXCAVATION SHALL BE CUT CLEANLY AND RECOVERED WITH SOIL.

SITE UTILITIES NOTES:

- 1. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY FOR FINAL AND EXACT WORK/MATERIALS REQUIREMENTS AND CONSTRUCT TO UTILITY COMPANY PLANS AND SPECIFICATIONS ONLY. CONTRACTOR SHALL FURNISH AND INSTALL ALL CONDUIT, PULL WIRES, CABLES, PULL BOXES, CONCRETE ENCASEMENT OF CONDUIT (IF REQUIRED), TRANSFORMER PAD, BARRIERS, POLE RISERS, TRENCHING, BACKFILL, PAY ALL UTILITY COMPANY FEES AND INCLUDE ALL REQUIREMENTS IN SCOPE OF WORK.
- 2. ELECTRICAL CONTRACTOR SHALL VERIFY EXACT ROUTE OF ELECTRICAL CONDUITS.
- 3. INSTALL (2) 5/8"x10' CW GROUND RODS (MIN. 10' O.C.)
- 4. CONNECT METER ENCLOSURE AND RACK TO GROUND RODS WITH #2 BARE COPPER.
- 5. BOND TELCO BOX TO GROUND WITH MIN. #2 BARE COPPER.
- 6. MODULAR METER PACKAGE SHALL HAVE A MINIMUM IAC RATING OF 42 KA AT 240V.
- 7. ALL HARDWARE TO BE "HOT DIPPED" GALVANIZED STEEL OR STAINLESS STEEL.
- 8. CONTRACTOR SHALL COORDINATE ELECTRIC SERVICE WITH POWER COMPANY. PROVIDE POWER COMPANY APPROVED CONDUCTORS AS REQUIRED TO PROVIDE 600 AMP SERVICE TO THE PROPOSED 52 EIGHTY FACILITY.



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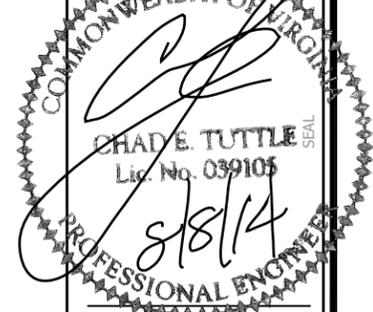
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VIRGINIA STATE BOARD OF PROFESSIONAL ENGINEERS
OF AUTHORIZATION# 0402039105



CHAD TUTTLE
PROFESSIONAL ENGINEER
REGISTRATION
No.: 0402 039105

JOB INFORMATION
SR: VA62677
SITE ID: VA-903
SITE NAME: BEYER

SHEET TITLE

**ENGINEERING
DETAILS**

SHEET NUMBER
C3.01

52 EIGHTY
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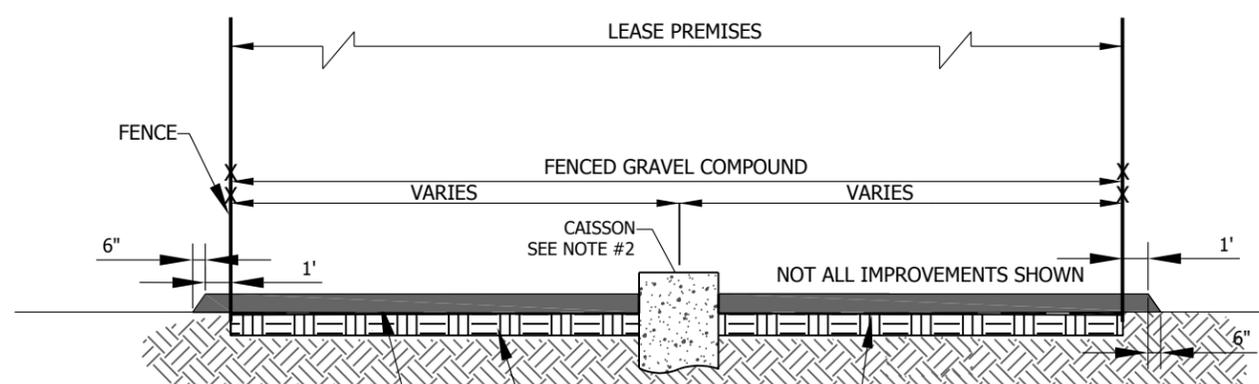
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 CHAD E. TUTTLE
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 8/8/14
 CHAD E. TUTTLE
 PROFESSIONAL ENGINEER
 REGISTRATION No.: 0402 039105

JOB INFORMATION
SR: VA62677
SITE ID: VA-903
SITE NAME: BEYER

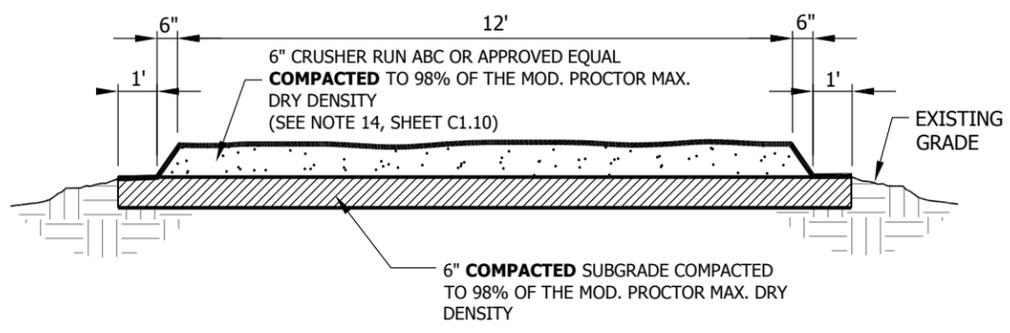
SHEET TITLE
ENGINEERING DETAILS
 SHEET NUMBER
C3.10



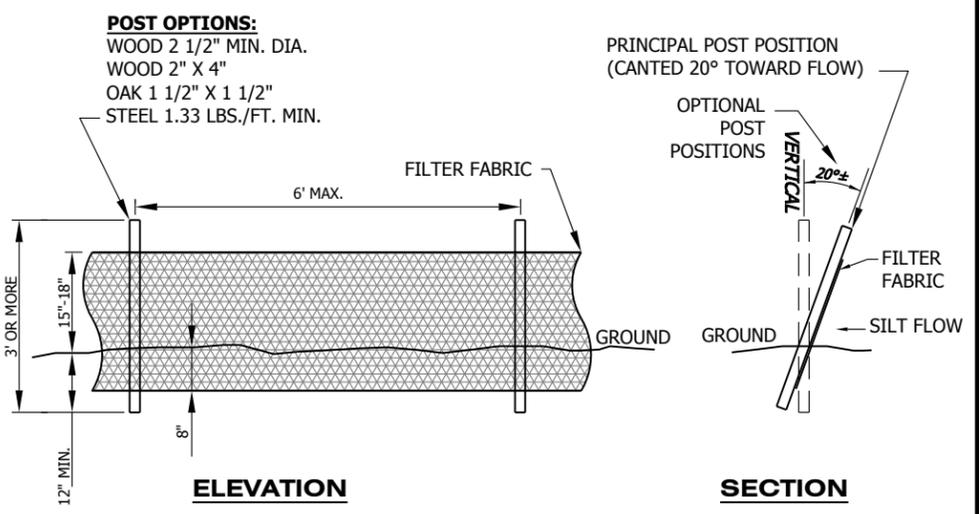
NOTES:
 1. MIRAFI 500X WOVEN POLYPROPYLENE GEOTEXTILE FABRIC SHALL BE PLACED UNDER ALL GRAVEL SURFACES.
 2. REFERENCE TOWER FOUNDATION DRAWINGS FOR CONSTRUCTION OF PROPOSED TOWER CAISSON.
 3. **SOIL POISON** - ALL FINISH SUBGRADE SURFACES LAYING BENEATH THE COMPOUND GRAVEL SURFACE SHALL RECEIVE A LEGAL FULL STRENGTH APPLICATION OF PRAMITOL 5PS SOIL TREATMENT HERBICIDE. THE CONTRACTOR SHALL PROVIDE PRODUCT APPLICATION IN ACCORDANCE WITH ALL OF THE MANUFACTURER'S SPECIFICATIONS. APPLICATION SHALL OCCUR ON BARE SOIL, AFTER THE INSTALLATION OF THE LIGHTNING PROTECTION SYSTEM, AND IMMEDIATELY PRIOR TO THE CONSTRUCTION OF THE BASE COURSE. THIS PRODUCT SHALL BE HANDLED IN STRICT ACCORDANCE WITH THE ENVIRONMENTAL SAFETY PRACTICES NOTE 3. AS LISTED ON SHEET C1.00.

GRAVEL COMPOUND SECTION
 N.T.S. **A**

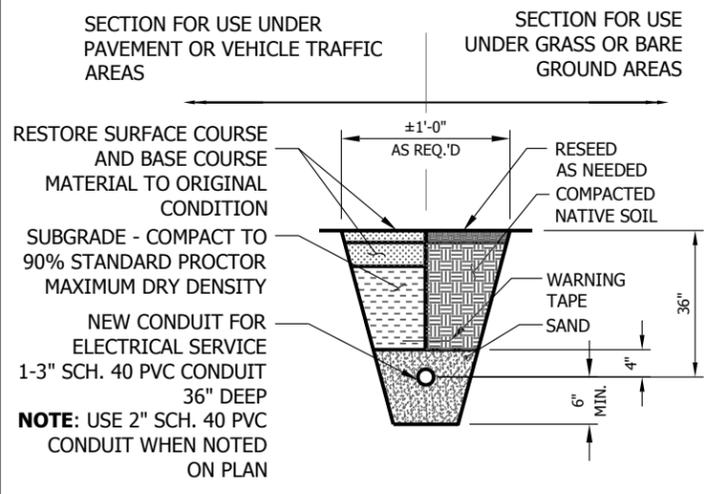
NOTES:
 1. EXCAVATED MATERIAL SHALL BE REMOVED AND DEPOSITED OFF-SITE AT AN APPROVED LOCATION.



"ON GRADE" GRAVEL ROAD SECTION
 N.T.S. **B**



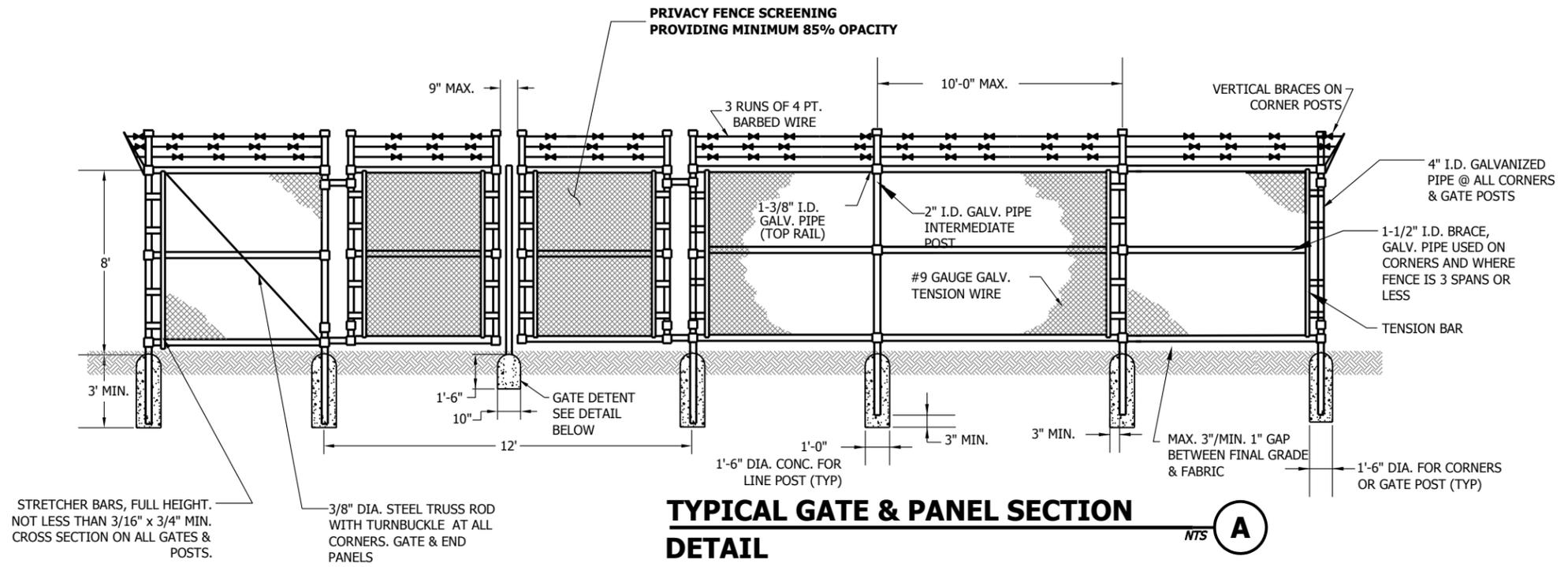
SILT FENCE DETAIL
 N.T.S. **C**



UTILITY TRENCH DETAIL
 N.T.S. **D**

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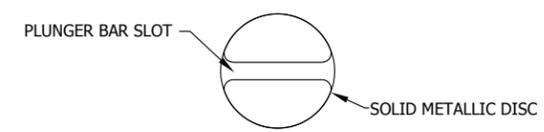
TYPICAL GATE & PANEL SECTION DETAIL NTS **A**

1. SCOPE:
1.1 THIS SECTION COVERS THE REQUIREMENTS FOR THE MATERIALS AND THE CONSTRUCTION OF SITE FENCING, ACCESS ROAD GATES AND CATTLE GUARDS. SEE SITE PLAN AND DRAWINGS FOR DETAILS.
2. SPECIAL REQUIREMENTS
2.1 ALL WIRE, FABRIC, FITTINGS, HARDWARE AND STEEL MEMBERS USED FOR SITE AREA FENCING, AND ACCESS ROAD GATES SHALL BE HOT DIPPED GALVANIZED OR OTHER APPROVED NON-CORROSIVE MATERIAL.
2.2 ALL NON-CORROSIVE MATERIAL SHALL BE APPROVED BY THE PROJECT MANAGER.
2.3 ANY DAMAGE TO GALVANIZING OR NON-CORROSIVE COATING DURING CONSTRUCTION SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S RECOMMENDED METHODS.
3. FENCE POSTS
3.1 LOCATION OF CORNER POSTS SHALL BE DETERMINED FROM STAKES AND PROPERTY PINS INSTALLED BY THE REGISTERED LAND SURVEYOR. IF THE STAKES ARE NOT PRESENT OR DO NOT CONFORM TO THE SITE PLAN, CONSULT WITH THE PROJECT MANAGER.
3.2 CORNERS AND GATE POST FOR SITE SHALL BE 4" (INSIDE DIA.) GALVANIZED PIPE. LINE POST SHALL BE 2" (INSIDE DIA.) GALVANIZED PIPE.
3.3 CORNER POSTS SHALL BE SET WITHIN ONE INCH (1") OF DIMENSIONS INDICATED ON THE SITE PLAN.
3.4 FENCE POSTS SHALL BE VERTICALLY PLUMB IN ALL PLANES WITHIN 1/2 INCH (1/2").
3.5 CORNER POST FOUNDATIONS SHALL BE A MINIMUM THREE FEET (3') DEEP OR SIX INCHES (6") BELOW THE FROST LINE, WHICHEVER IS GREATER, WITH MINIMUM THREE INCH (3") CLEARANCE BETWEEN BOTTOM OF POST AND BOTTOM OF THE HOLE.
3.6 CORNER POST FOUNDATION FOR LINE POSTS SHALL BE 12 INCHES (12") IN DIAMETER. CORNER POST FOUNDATION FOR GATE AND CORNER POSTS SHALL BE 18 INCHES (18") IN DIAMETER.
3.7 CORNER POSTS AND GATE POSTS SPACING SHALL BE EQUAL WITH A TWELVE FOOT (12') MAXIMUM SPACING. GATE POST SPACING AND SPECIFIC LOCATIONS SHALL BE IN ACCORDANCE WITH SITE PLAN AND SHALL BE VERIFIED WITH PROJECT MANAGER.
3.8 ALL POSTS EXCEPT GATE POSTS SHALL BE CAPPED WITH A COMBINATION CAP AND BARB WIRE SUPPORTING ARM. GATE POSTS SHALL BE TWELVE INCHES (12") HIGHER THAN CORNER OR LINE POSTS TO PROVIDE FOR TERMINATION OF BARBED WIRE. GATE POSTS SHALL BE CAPPED WITH STANDARD CAP.
3.9 ALL CORNER, GATE AND END PANELS SHALL HAVE MINIMUM 3/8" DIAMETER DIAGONAL TRUSS RODS WITH TURNBUCKLES. HORIZONTAL BRACE RODS, 1-1/2" INSIDE DIMENSION PIPE, SHALL BE INSTALLED BETWEEN POSTS.
3.10 A TOP RAIL (1-3/8" I.D.) GALVANIZED PIPE SHALL BE INSTALLED BETWEEN POSTS.
3.11 ALL FOUR CORNERS POSTS AND BOTH GATE POSTS SHALL BE CONNECTED TO THE SITE GROUNDING SYSTEM (REFER TO GROUNDING SYSTEM STANDARD).
4. FABRIC
4.1 FENCE FABRIC SHALL BE EIGHT FOOT (8') HIGH, UNLESS OTHERWISE SPECIFIED, #9 GAUGE, GALVANIZED CHAIN LINK FABRIC WITH TWISTED TOP SELVAGE AND KNUCKLED BOTTOM SELVAGE.
4.2 FABRIC SHALL BE TENSIONED PER MANUFACTURER'S RECOMMENDATIONS TO PRESENT A NEAT APPEARANCE. A MAXIMUM THREE INCH (3") GAP SHALL BE PERMITTED BETWEEN FABRIC AND FINAL GRADE.
4.3 FABRIC SHALL BE SECURED AT CORNER AND GATE POSTS USING STRETCHER BARS AND TENSION BAND CLIPS.
4.4 FABRIC SHALL BE SECURED TO THE TOP RAIL AND BRACE RODS USING TIE CLIPS.

4.5 THREE (3) RUNS OF 4-POINT GALVANIZED BARBED WIRE SHALL BE INSTALLED ALONG TOP OF FENCE. BARBED WIRE SHALL BE TENSIONED PER MANUFACTURER'S RECOMMENDATIONS TO PRESENT A NEAT APPEARANCE.

5. GATE
5.1 LOCATION OF GATE SHALL CONFORM TO THE SITE PLAN. GATE SIZE SHALL BE A MINIMUM TWELVE FEET (12') ACROSS.
5.2 ALL JOINTS BETWEEN TUBULAR GATE MEMBERS SHALL BE WELDED OR HEAVY FITTINGS PROVIDING RIGID AND WATERTIGHT CONNECTIONS.
5.3 GATE HINGES SHALL PROVIDE FOR 180 DEGREE RADIUS GATE SWING. ALL HINGE NUTS SHALL BE ON THE INSIDE AND DOUBLE-NUT TO DETER UNAUTHORIZED ENTRY.
5.4 PLUNGER BAR-TYPE GATE LATCH SHALL BE INSTALLED ON DOUBLE GATES AND SHALL FUNCTION PROPERLY. PLUNGER BAR LENGTH SHALL BE THE SAME HEIGHT AS THE GATE. A NON-CLOGGING GATE DETENTION ADAPTABLE TO THE PLUNGER BAR SHALL BE INSTALLED SET IN CONCRETE; SHALL HAVE A SLOTTED SOLID METALLIC DISC TOP; SET IN CONCRETE; SHALL FUNCTION PROPERLY. SEE GATE DETENT DETAIL BELOW.
5.5 GATE STOPS SHALL BE INSTALLED AND SHALL HOLD GATE IN "OPEN" POSITION.
5.6 BARBED WIRE GUARD SHALL BE INSTALLED ON TOP OF GATES. ADEQUATE CLEARANCE SHALL BE MAINTAINED TO ALLOW GATE OPERATION.
5.7 GATE SHALL BE INSTALLED PLUMB AND SHALL OPEN AND CLOSE FREELY.

NOTE: IN MOST CASES, FINAL GRADE IS APPLIED PRIOR TO FENCE INSTALLATION. THEREFORE; ALL SPOILS REMOVED TO INSTALL THE FENCE POSTS AND FENCE ACCESSORIES SHALL BE PLACED ON PLASTIC OR OTHER MEANS TO PREVENT DEBRIS FROM BLEMISHING SITE AESTHETICS. REMOVAL OF MATERIAL SHALL BE THE RESPONSIBILITY OF THE FENCE CONTRACTOR INCLUDING ANY EXCESS FENCE MATERIAL. ALL GRAVEL SURFACES SHALL BE MAINTAINED LEVEL WITH STRAIGHT CLEAN EDGES. (SEE NOTE 14 SHEET C1.10)



GATE DETENT DETAIL PLAN VIEW

CALL BEFORE YOU DIG. DIAL "811"
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NOTE:
ABSOLUTELY NO PORTION OF THE LEASE PARCEL OR THE FENCED COMPOUND SHALL BE LOCATED OVER ANY FIBER OPTIC CABLES, EXISTING GROUNDING SYSTEMS OR EXISTING UTILITIES.

52 EIGHTY
 52 EIGHTY, LLC
 5860 CLARION STREET, SUITE 101
 CUMMING, GA 30040
 PHONE: (404) 382-5280

WIRELESS VISION L.L.C.
 Site Development Services
NOT TO SCALE

SCALE VERIFICATION
 0 1"
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REVISIONS		
NO.	DESCRIPTION	DATE

DATE: 5-23-14
 DRAWN: JAE
 CHECKED: GAM
 DESIGNED: JAE
 JOB NUMBER: 319-127-36
 CAD FILE: /ENG/5280/TMO VA62677 CD5.DWG

B+T GRP
 1717 S. BOULDER AVE.
 SUITE 300
 TULSA, OK 74119
 PH: (918) 587-4630
 www.btgrp.com

VIRGINIA CERTIFICATE OF AUTHORIZATION # 040790599

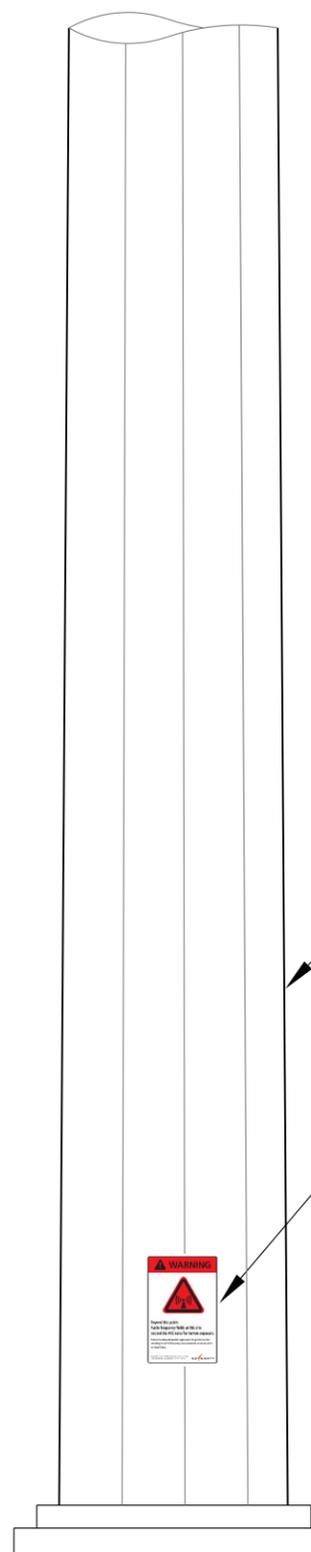
CHAD TUTTLE
 Lic No. 039105
 8/8/14

CHAD TUTTLE
 PROFESSIONAL ENGINEER
 REGISTRATION No.: 0402 039105

JOB INFORMATION
SR: VA62677
SITE ID: VA-903
SITE NAME: BEYER

SHEET TITLE
FENCE DETAILS

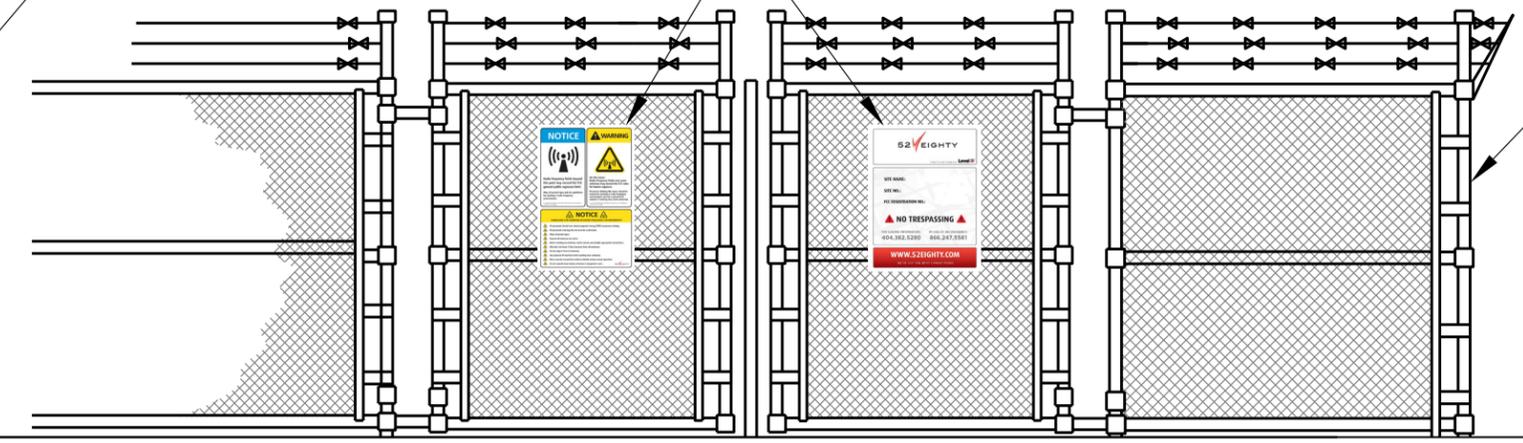
SHEET NUMBER
C3.20



3 DECAL SIGNS SPACED 120° APART AROUND TOWER BASE.

POSITION SIGNS ON GATE AS SHOWN

FENCE



WARNING

**Beyond this point:
Radio frequency fields at this site
exceed the FCC rules for human exposure.**

Failure to obey all posted signs and site guidelines for working in radio frequency environments could result in serious injury.

In accordance with Federal Communications Commission rules on radio frequency emissions 47 CFR 1.1307(b). **52 EIGHTY**

NOTICE

WARNING

Radio frequency fields beyond this point may exceed the FCC general public exposure limit. Obey all posted signs and site guidelines for working in radio frequency environments.

On this tower: Radio frequency fields near some antennas may exceed the FCC rules for human exposure. Personnel climbing this tower should be trained for working in radio frequency environments and use a personal RF monitor if working near active antennas.

NOTICE

GUIDELINES FOR WORKING IN RADIO FREQUENCY ENVIRONMENTS

- ⚠ All personnel should have electromagnetic energy (EME) awareness training.
- ⚠ All personnel entering this site must be authorized.
- ⚠ Obey all posted signs.
- ⚠ Assume all antennas are active.
- ⚠ Before working on antennas, notify owners and disable appropriate transmitters.
- ⚠ Maintain minimum 3 feet clearance from all antennas.
- ⚠ Do not stop in front of antennas.
- ⚠ Use personal RF monitors while working near antennas.
- ⚠ Never operate transmitters without shields during normal operation.
- ⚠ Do not operate base station antennas in equipment room.

52 EIGHTY

FIBER TO THE TOWER BY **Level(3)**

SITE NAME:

BEYER

SITE NO.:

VA-903

FCC REGISTRATION NO.:

NO TRESPASSING

FOR LEASING INFORMATION:
404.382.5280

IN CASE OF AN EMERGENCY:
866.247.5581

WWW.52EIGHTY.COM

WE'VE GOT THE BEST CONNECTIONS.

NOTES:
1. SIGNS PROVIDED BY 52 EIGHTY.

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va811.com

Dig With

NOTE:
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WIRELESS VISION L.L.C.

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B+T GRP

1717 S. BOULDER AVE.
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TULSA, OK 74119
PH: (918) 587-4630
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VIRGINIA CERTIFICATE
OF AUTHORIZATION # 040700547

COMMONWEALTH OF VIRGINIA

PROFESSIONAL ENGINEER

CHAD E. TUTTLE
Lic. No. 089105

8/8/14

CHAD TUTTLE
PROFESSIONAL ENGINEER
REGISTRATION
No.: 0402 039105

JOB INFORMATION	
SR: VA62677	
SITE ID: VA-903	
SITE NAME: BEYER	

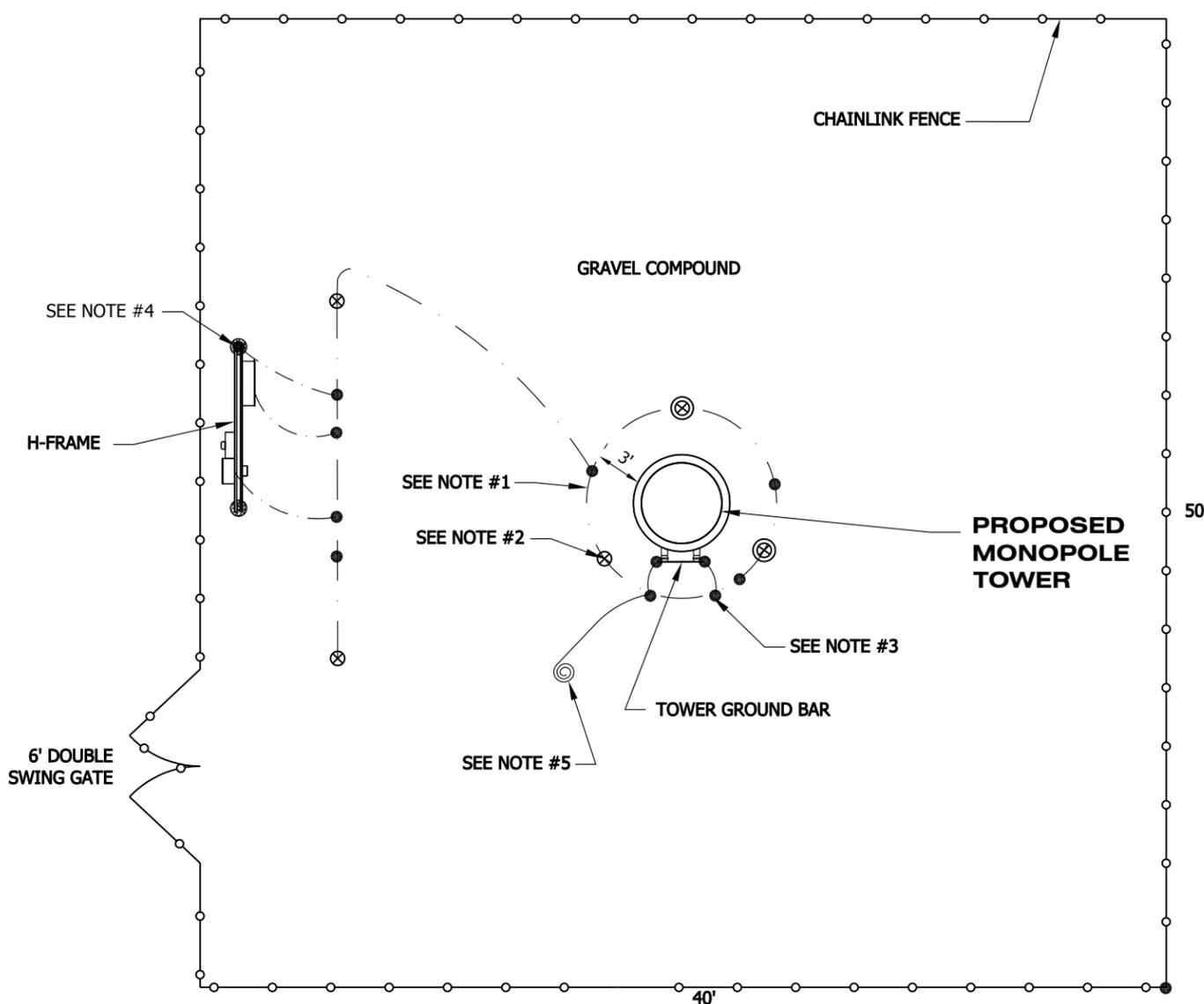
SHEET TITLE

**SIGN
DETAILS**

SHEET NUMBER

C3.30

29



GROUNDING NOTES:

1. ALL GROUNDING WORK, MATERIALS AND INSTALLATION SHALL COMPLY WITH LATEST EDITION OF THE NEC ARTICLE 250, AND SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CODE SPECIFICATIONS.
2. USE #2 AWG SOLID BARE TINNED COPPER CONDUCTOR WIRE FOR ABOVE GRADE GROUNDING AND FOR THE BELOW GRADE GROUNDING AS INDICATED ON THE DRAWINGS.
3. ROUTE GROUNDING CONDUCTORS ALONG THE SHORTEST AND STRAIGHTEST PATH POSSIBLE, EXCEPT AS OTHERWISE INDICATED. GROUNDING LEADS SHOULD NEVER BE BENT AT RIGHT ANGLES. ALWAYS ACCOMPLISH CORNERS AND BENDS WITH A MINIMUM 12" RADIUS.
4. THE GROUND ELECTRODE SYSTEM CONSISTS OF DRIVEN THREADED GROUND RODS 5/8" DIA. X 10' UNIFORMLY SPACED AT APPROXIMATELY 20' INTERVALS SPACED AROUND THE TOWER FOUNDATION. THE GROUND RODS SHALL BE 5/8" DIAMETER COPPER CLAD STEEL. THE RODS SHALL BE INTERCONNECTED WITH AWG #2 BARE SOLID CONDUCTOR BURIED A MINIMUM 36" BELOW THE SURFACE OF THE SOIL AND TWO FEET FROM THE FOUNDATION, UNLESS NOTED OTHERWISE. IN AREAS SUBJECT TO FREEZING, THE EXTERIOR GROUND RING SHALL BE AT LEAST 6" BELOW THE FROST LINE.
5. THE BACK FILL MATERIAL SHALL BE FREE OF STONES AND THOROUGHLY COMPACTED IN LAYERS NOT EXCEEDING 12" IN DEPTH.
6. WHEN EARTH RESISTANCE TESTS INDICATE THAT THE SOIL IS ABOVE THE MINIMUM ALLOWABLE RESISTANCE, THE CONTRACTOR SHALL ESTIMATE THE TYPE, NUMBER, AND CONFIGURATION OF THE EARTH ELECTRODES NECESSARY TO ACHIEVE THE REQUIRED SYSTEM RESISTANCE. THE CONTRACTOR SHALL ALSO CONSIDER SITE SPECIFIC APPROACHES FOR IMPROVING EARTH RESISTANCE INCLUDING THE METHODS LISTED BELOW:
 - 1.) LENGTHEN THE EARTH ELECTRODE.
 - 2.) USE MULTIPLE THREADED, COUPLED RODS.
 - 3.) **ONLY UPON PRIOR OWNER APPROVAL**, TREAT THE SOIL.
 - 4.) **ONLY UPON PRIOR APPROVAL**, USE CHEMICAL RODS.
7. THE CONTRACTOR MUST TEST THE COMPLETED GROUND SYSTEM AND CERTIFY IN WRITING THAT THE NEW GROUNDING SYSTEM RESISTANCE IS EQUAL TO OR LESS THAN FIVE (5) OHMS. THE CONTRACTOR MUST INCLUDE IN THE BID SUFFICIENT MATERIALS TO ACHIEVE GROUNDING RESISTANCE EQUAL TO OR LESS THAN FIVE (5) OHMS.
8. THE CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION FOR THE GROUNDING SYSTEM SO AS NOT TO DISTURB EXISTING UNDERGROUND IMPROVEMENTS SUCH AS UTILITY SERVICE LINES, AND EXISTING GROUNDING SYSTEMS. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS OF UNDERGROUND ELECTRIC AND TELEPHONE SERVICE CONDUITS.
9. ALL EXTERNAL GROUND CONNECTIONS SHALL BE EXOTHERMICALLY WELDED. ALL EXOTHERMIC WELDS TO THE BURIED GROUND RING SHALL BE PARALLEL TYPE, EXCEPT FOR THE GROUND RODS, WHICH ARE TO BE TEE EXOTHERMIC WELDS. REPAIR ALL GALVANIZED SURFACES THAT HAVE BEEN DAMAGED BY EXOTHERMIC WELDING. USE SPRAY GALVANIZER SUCH AS HOLUB LECTROSOL #15-501.
10. ALL METALLIC COMPONENTS ON THE SITE MUST BE CONNECTED TO THE GROUND RING. THIS INCLUDES CONDUITS USED TO DELIVER TELCO AND POWER UTILITY LINES TO THE SITE.
11. RUN ALL GROUNDING CONDUCTORS IN AN ORGANIZED MANNER, UTILIZE C-TAPPING PER 52 EIGHTY SPECIFICATIONS WHERE POSSIBLE TO REDUCE THE NUMBER OF GROUND WIRES. AVOID THE CROSSING OF CONDUCTORS WHENEVER POSSIBLE.
12. INSTALL ALL GROUNDING CONDUCTORS IN A DOWNWARD SLOPE TO ACHIEVE MAXIMUM LIGHTNING PROTECTION.
13. ALL GROUNDING CONDUCTORS FROM THE TOWER ARE TO BE ROUTED THROUGH 3/4" SCHEDULE 40 PVC. PVC SHALL EXTEND FROM THE EXOTHERMIC WELD TO A MINIMUM 24" BELOW GRADE.



52 EIGHTY, LLC
5860 CLARION STREET, SUITE 101
CUMMING, GA 30040
PHONE: (404) 382-5280



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NO.	DESCRIPTION	DATE

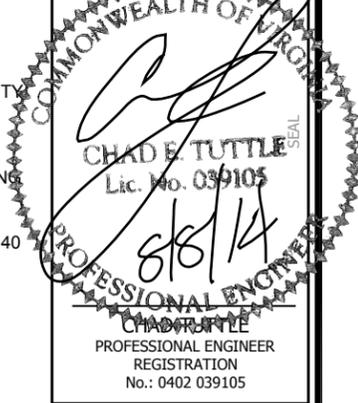
DATE:	5-23-14
DRAWN:	JAE
CHECKED:	GAM
DESIGNED:	JAE
JOB NUMBER:	319-127-36

CAD FILE: /ENG/5280/TMO VA62677 CD5.DWG



1717 S. BOULDER AVE.
SUITE 300
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PH: (918) 587-4630
www.btgrp.com

VIRGINIA CERTIFICATE OF AUTHORIZATION NO. 005047

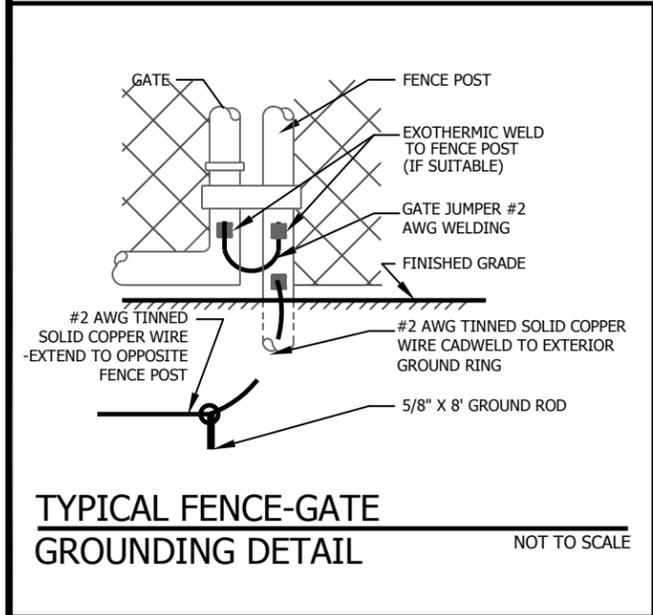


JOB INFORMATION
SR: VA62677
SITE ID: VA-903
SITE NAME: BEYER

SHEET TITLE

GROUNDING PLAN

SHEET NUMBER
E1.00



TYPICAL FENCE-GATE GROUNDING DETAIL NOT TO SCALE

NOTES:

1. #2 SOLID TINNED COPPER WIRE.
2. 5/8" x 10' COPPER CLAD STEEL RODS.
3. ALL CONNECTIONS TO BE CADWELDED.
4. CONNECT GROUND SYSTEM TO H-FRAME POST.
5. GROUND WIRE COIL FOR BTS GROUND, TYP. MASTER GROUND BAR.

LEGEND:

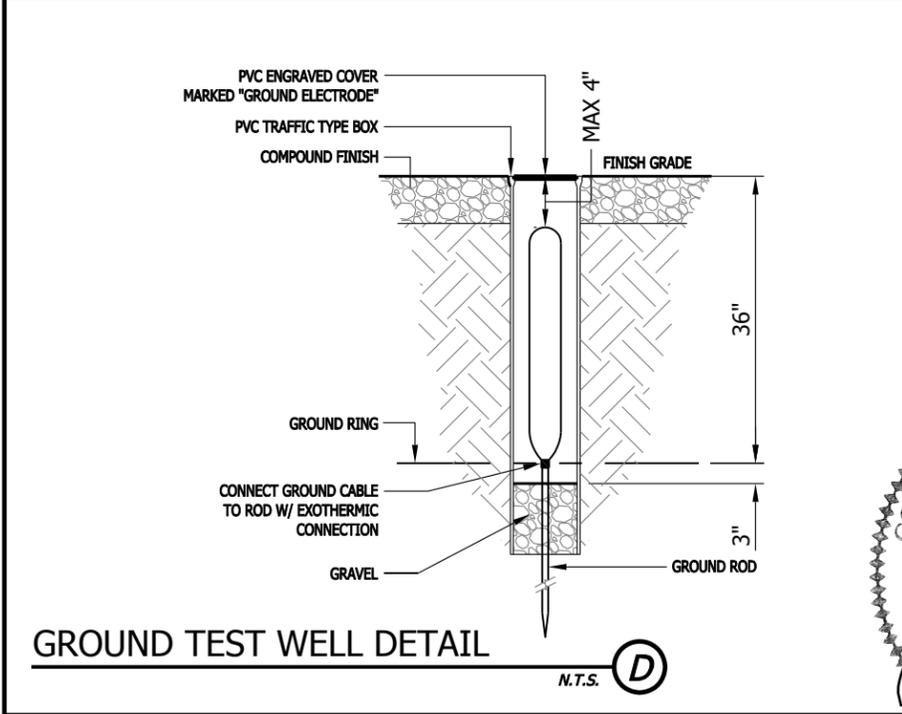
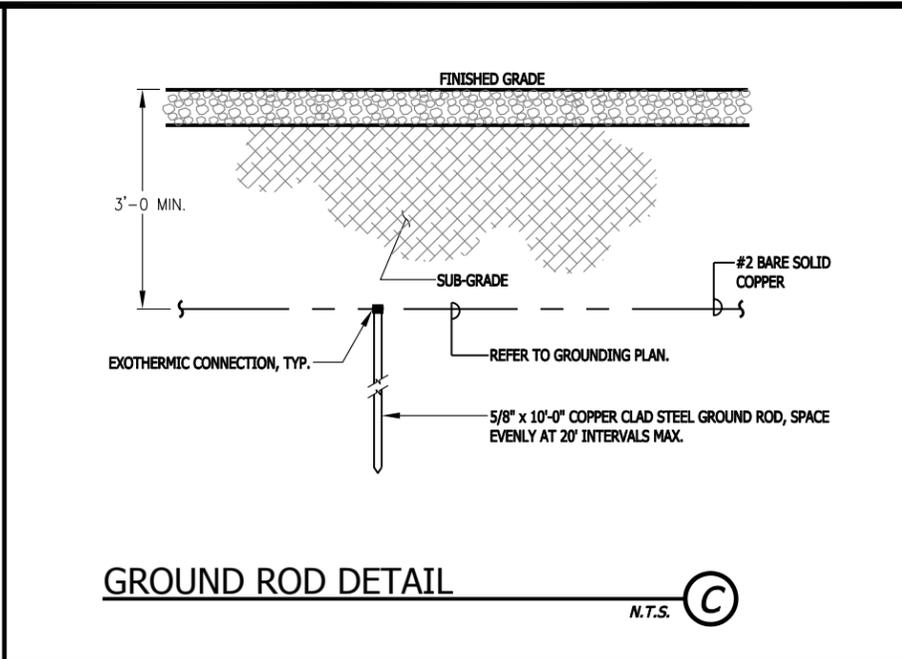
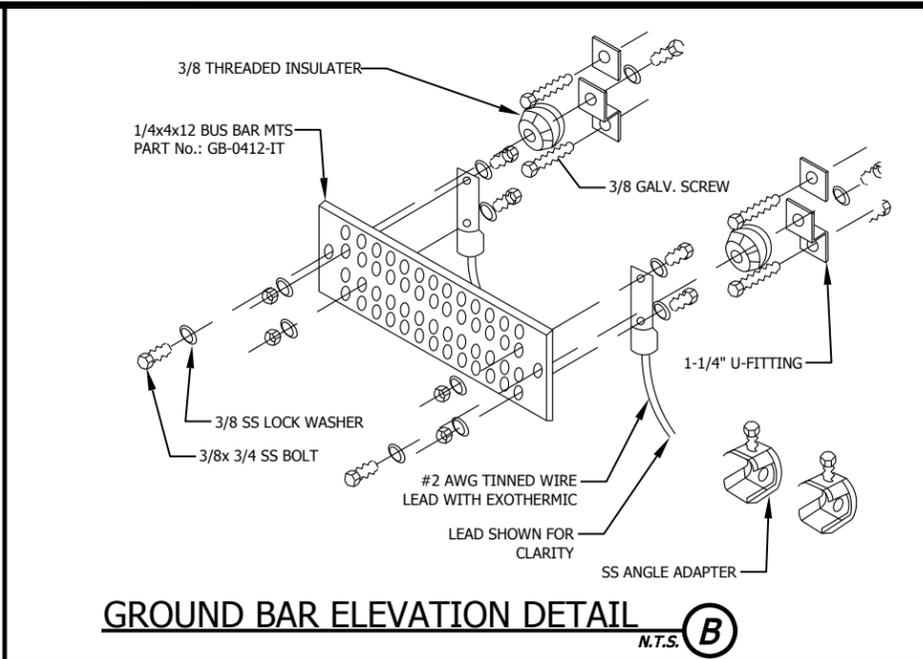
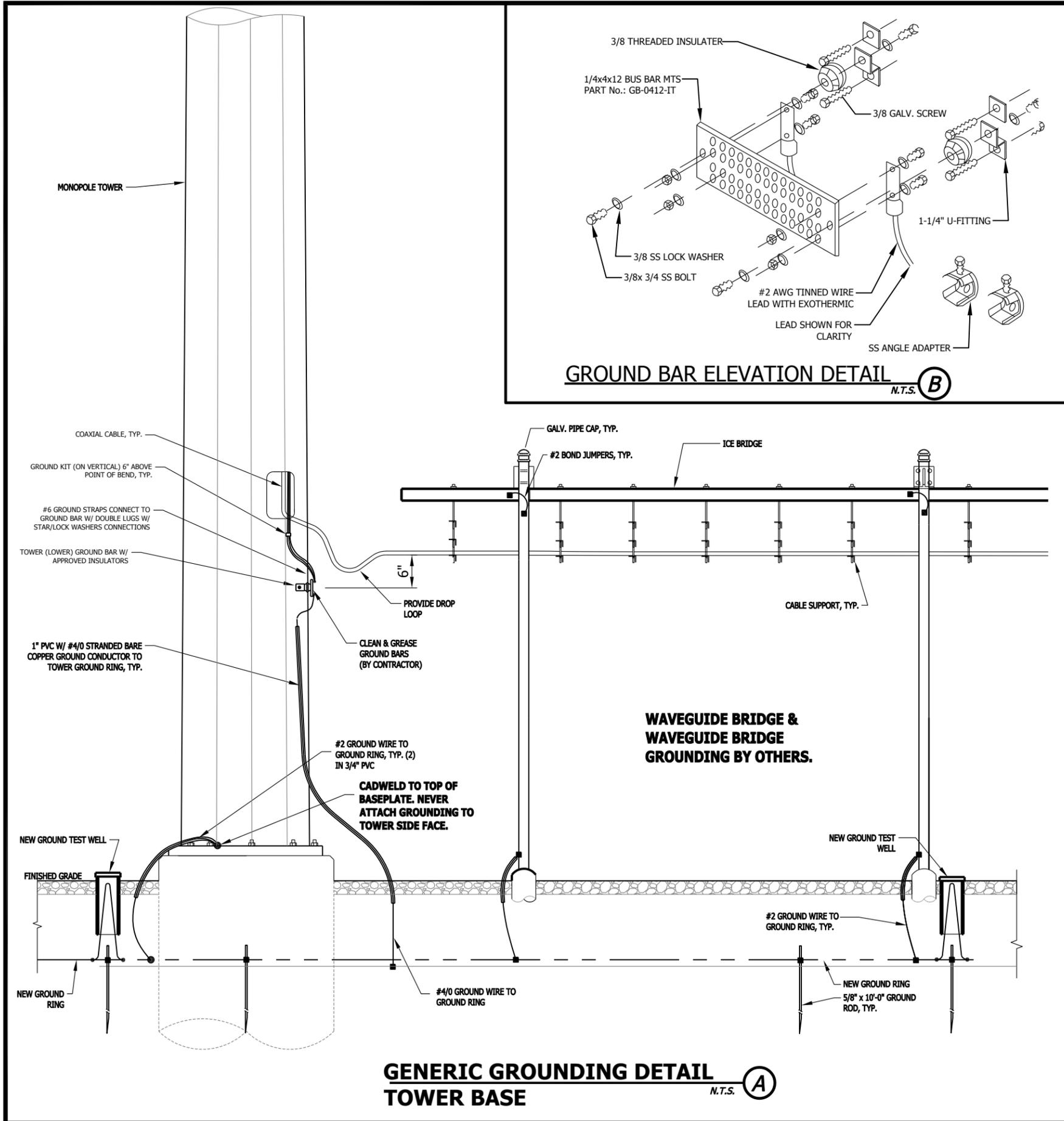
- ⊗ 5/8" x 10' COPPER CLAD STEEL GROUND ROD WITH INSPECTION SLEEVE
- ⊗ 5/8" x 10' COPPER CLAD STEEL GROUND ROD
- EXOTHERMIC WELD
- #2 SOLID TINNED COPPER WIRE

TOWER GROUNDING SCHEMATIC

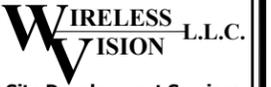
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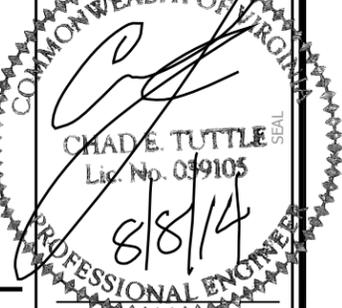
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VIRGINIA CERTIFICATE OF AUTHORIZATION # 0408005947



CHAD TUTTLE
PROFESSIONAL ENGINEER
REGISTRATION No.: 0402 039105

JOB INFORMATION
SR: VA62677
SITE ID: VA-903
SITE NAME: BEYER

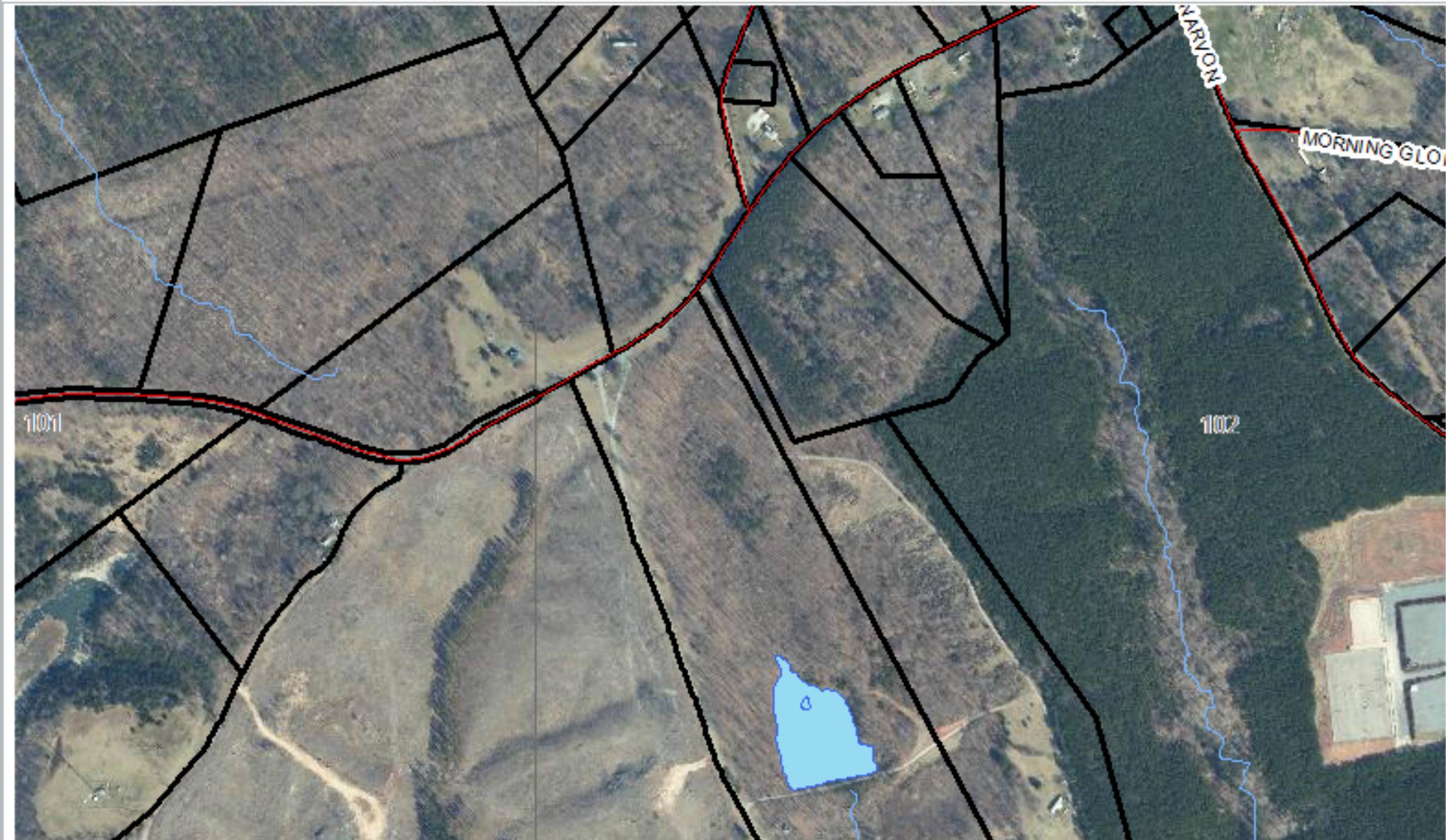
SHEET TITLE

GROUNDING DETAILS

SHEET NUMBER
E1.10



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Scale: 1:9027.977411

Date: 08/20/2014

Printed By:

Under Virginia State Law, these real estate assessment records are public information. Display of this property information on the internet is specifically authorized by the Code of Virginia §58.1-3122.2(as amended).

Existing Antenna Locations

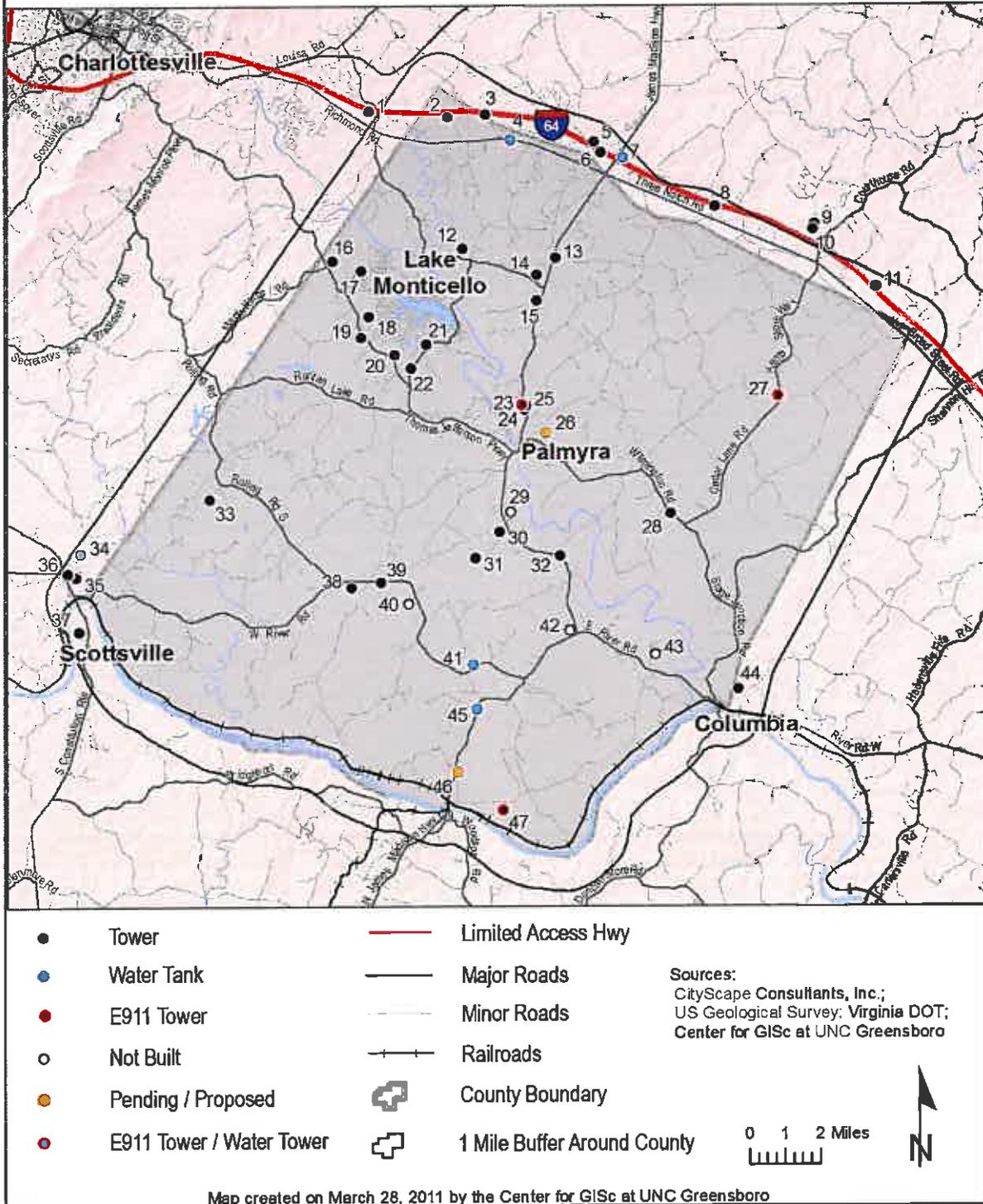


Figure 41: Existing Wireless Telecommunications Inventory

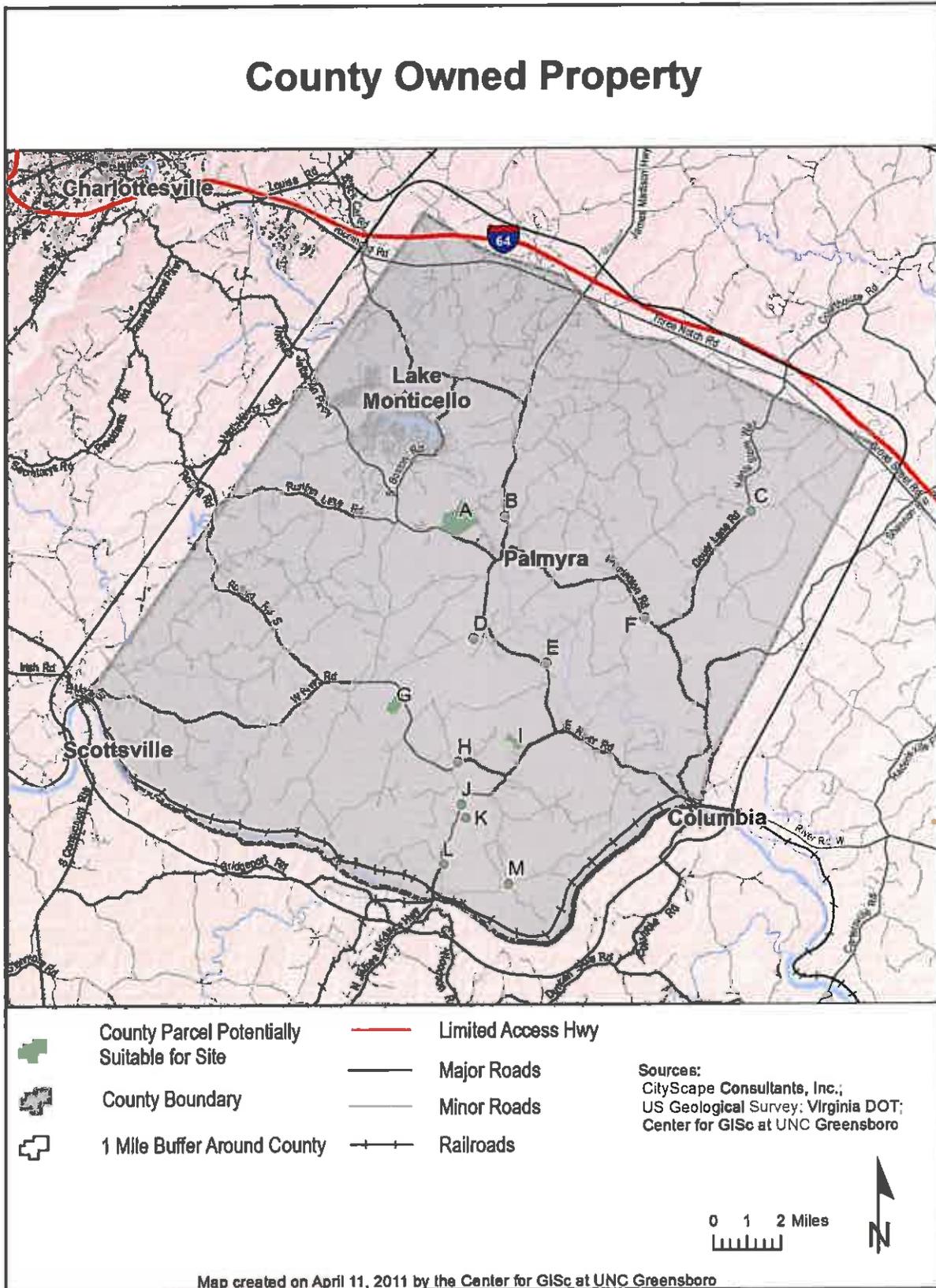
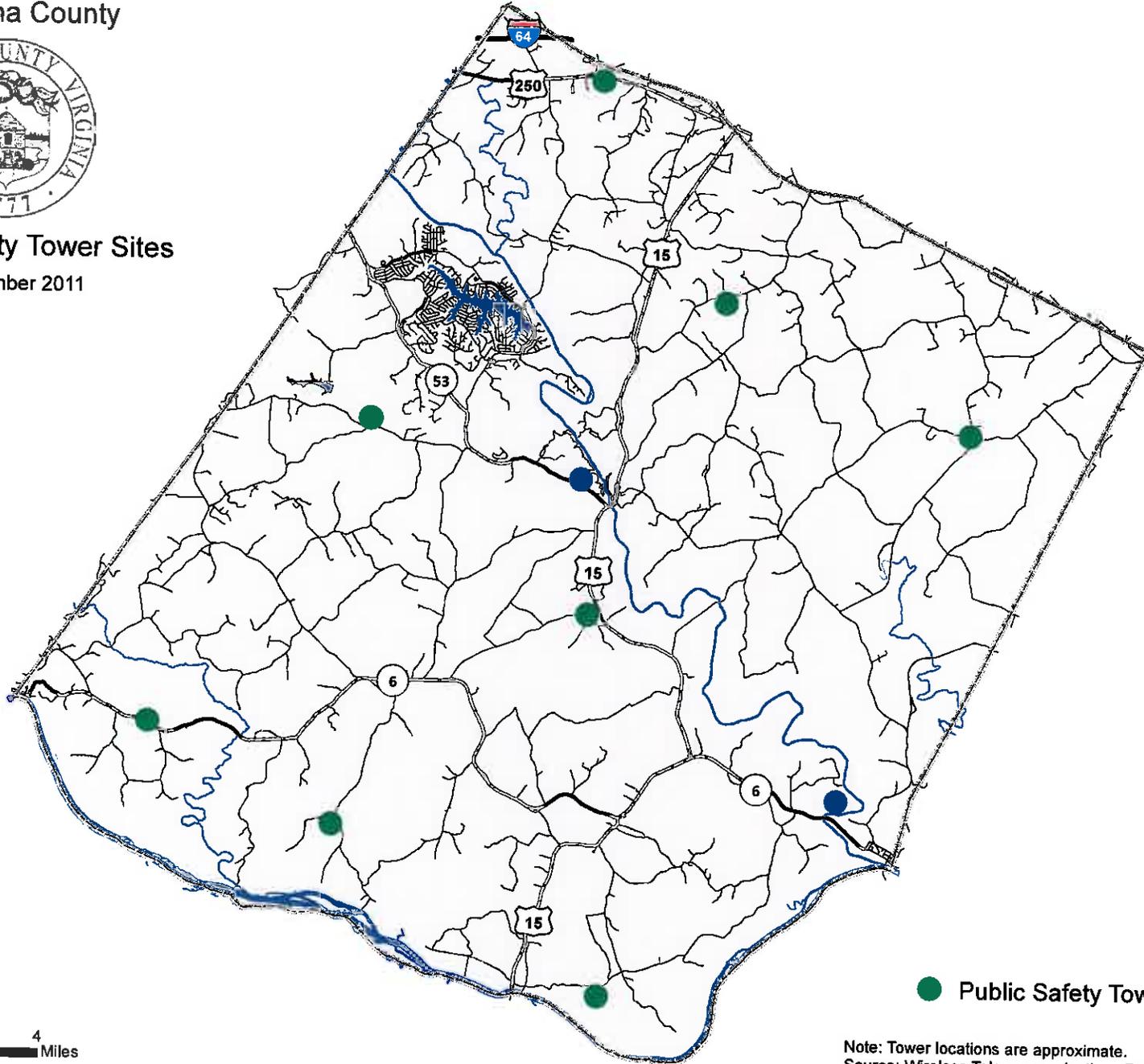


Figure 42: County-owned lands

Fluvanna County

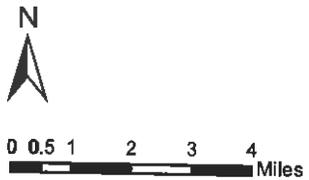


Public Safety Tower Sites December 2011



● Public Safety Tower Sites

Note: Tower locations are approximate.
Source: Wireless Telecommunications Facilities Master Plan





COUNTY OF FLUVANNA

"Responsive & Responsible Government"

P.O. Box 540 Palmyra, VA 22963 (434) 591-1910 FAX (434) 591-1911 www.co.fluvanna.va.us

July 23, 2014

Dale G. Finocchi, 52-Eighty Partners, LLC
2028 Walker Avenue
Greensboro, NC 27403

Delivered via email

Re: TRC comments SUP 14:06 (52-Eighty Partners, LLC) Construct 195' telecomm monopole, Tax Map: 53-A-56

901

Dear Applicant:

The following comments are the result of the Technical Review Committee meeting.

- 1. The E & S inspector asked how much area will need to be cleared?
- 2. Planning staff stated that the consultant's report was forthcoming and their comments would be part of the staff report; To date we have from the consultant:
 - 1) You are the Applicant identified as 52-Eighty; will you be the tower owner, or T-Mobile or another party? The County has a compliance statement of FCC rules which can be certified by the carrier or the tower owner. The statement is in your letter, but that is only acceptable if 52 is the owner, otherwise the compliance statements must come from T-Mobile
 - 2) You indicate 195 foot RAD, your search ring is 0.5 miles; could someone explain the diameter of the ring when space between sites is as substantial?

Additionally- a site development plan will be required that includes screening the ground equipment.

- 3. VDOT stated to Install Low Volume Commercial Entrances (12 ft. minimum wide, 25 ft. minimum entrance radii, minimum 15" diameter 24 ft. long entrance culverts and gravel entrance surface) at connection of proposed cell tower access roads to existing State Roads. If gates are installed to control access to the site, position them at least 30 ft. off the edge of pavement of the State Road to allow for vehicles entering the site to safely pull out of the State Road and open and close the gate. Flag/Mark the location of the proposed entrances that will serve the cell tower sites. After the entrance locations are marked, VDOT will check the locations for sight distance.

Please provide any other materials or documentation that is to be included in the Planning Commission packet by **Friday, August 8, 2014**. Submitting revisions by this deadline will place your request on the **August 27, 2014** Planning Commission agenda.

If you have any questions or need additional information, please contact me at 434-591-1910.

Sincerely,

A handwritten signature in black ink, appearing to read "Steve Tugwell". The signature is written in a cursive style with a large, sweeping initial "S".

Steve Tugwell
Senior Planner
Dept. of Planning & Community Development

Cc: Paul V. Beyer, Et. Al., 2358 Bremo Road, Fork Union, VA 23055

State of Virginia
Telecommunications Site Review
New Support Structure

CityScape

Consultants, Inc.

7050 W. Palmetto Park Road #15-652
 Boca Raton, FL 33433-3483
 Phone: 877-438-2851 • Fax: 877-220-4593

August 6, 2014

Mr. Steven Tugwell
 Senior Planner, Planning & Zoning
 Fluvanna County
 132 Main Street
 Palmyra, Virginia 22963

RE: T-Mobile Wireless Application – Site: VA62677A
52-Eighty, LLC Site VA-903 - Beyer

Dear Mr. Tugwell,

At your request, on behalf of Fluvanna County, Virginia (“County”), CityScape Consultants, Inc. (“CityScape”) in its capacity as telecommunications consultant for the County, has considered the merits of an application submitted by 52-Eighty, LLC (“Owner”) on behalf of T-Mobile Wireless (“Applicant”), to construct a new one hundred ninety-nine (199) foot monopole type tower which is proposed to accommodate up to six (6) personal wireless service providers and at least one (1) microwave dish, see *figure 1*. There is insufficient room for a top mounted lightning rod, which cannot be installed without exceeding the FAA height limits. T-Mobile has been aggressive recently in developing new telecommunications facilities nationwide and this is one (1) of three (3) proposed new facilities in Fluvanna County. The initial submittal did not include sufficient documentation for the County to proceed with processing of the application. The primary concern was the lack of a justification statement from a qualified personal wireless service provider and once T-Mobile provided the required documentation, see *figure 2*, the application process began and the remaining deficiencies, which will be discussed later, can be met within the time frame required in the County Ordinance. The application contained minor discrepancies in other areas, which will also be addressed herein. The proposed new support structure will be owned by 52-Eighty, LLC and will be located on property owned by Paul V. Beyer, Trustee with an address of either 2358, 2858 or 2268 Bremono Road, Fluvanna County, Virginia, see *figure 3*.

The proposed new facility will expedite T-Mobile’s ability to bring new Third Generation (3G) and Fourth Generation (4G) electronic communication capabilities. Currently T-Mobile has limited facilities within Central Virginia. All wireless communications systems depend on the concept of frequency resource reuse to achieve greater capacities. With some technologies, the individual channel frequencies are reused every few cells, but not too closely, since interference would result. In many other systems, power from one base station interferes with other base stations, impacting network capacity. Therefore, it is undesirable for wireless phones to communicate with more than a few base stations simultaneously. The current wireless development stage is toward high speed wireless broadband implementation and all service providers are advancing this same technology. Fluvanna County maintains a hierarchy and all applicants shall confirm a proposed facility cannot effectively be located on County property.

T-Mobile Wireless Application VA62677A
 52-Eighty, LLC - Site Name VA-903 Beyer
 Fluvanna County, Virginia
 August 6, 2014
 Page 2



Consultants, Inc.

**Telecommunications Site Review
 Virginia New Structure**

The Applicant must submit a search ring showing the site location will meet the requirements to justify the need for a new facility; confirm the facility will not meet network objectives if shifted to County property; and demonstrate the proposed location meets the specific service area, see *figure 4*. For the subject site VA62677A, there were 3 possible Fluvanna County candidates; 1.2 miles, 0.6 miles. The closest County property is 0.4 miles and within the Search Ring. Further investigation found the property was too small and too close to an existing dwelling therefore eliminated from consideration. There is an existing Virginia Power Company tower at the edge of the Ring, see *figure 5*. The Applicant was requested to provide supplemental information. Following the request the Owner promptly provided a statement from Virginia Power who states they do not allow collocations for security reasons. Therefore the Virginia Power property was eliminated. Currently 'Beyer' and most of the northwest sector of the County does not have sufficient service from T-Mobile and the projected service improvement utilizing the Beyer Site is depicted in *figure 6*.

The Applicant has proposed to top mount their antennas for an approximate signal radiation center of one hundred ninety-five (195) feet, see *figure 7*, which will provide a reasonable coverage area over the rolling hills topography, and furthermore will provide a reasonable service level to hand-off subscribers between the adjacent T-Mobile facilities; therefore meeting the requirements for network development in the region, see *figure 8*.

The Owner supplied a letter of compliance with all FCC standards regarding human exposure to Radio Frequency energy, and the Applicants will comply with all aspects of FCC rules regarding interference, see *figure 9*. CityScape is aware that this facility will operate in both the 800-megahertz and 1900-megahertz spectrum and could be an interference concern to Public Safety operations. For the reasons listed below and depending on elimination of the Virginia Power Company Tower, it will be the opinion of the undersigned that:

- The proposed facility is required because of generally accepted and adequately demonstrated technological reasons and is essential in order for T-Mobile to alleviate a signal coverage issue to provide new wireless communications service; and
- T-Mobile's submissions indicate there is a substantial service void in the general area surrounding the subject site and that the addition of new service at a height of 195 feet will help relieve these concerns. Therefore the proposed location will sufficiently accomplish satisfactory service, and there are no reasonable alternative technologies to accommodate the Applicant's needs without the construction of a new facility; and,
- The proposed new site is supported by the Fluvanna County Telecommunications Master Plan

All designs and plans for the proposed new facilities were developed according to accepted practices of RF propagation engineering and the persons completing all work are sufficiently qualified within their disciplines. CityScape anticipates this plan, if built as designed, should be sufficient to allow an improvement of regular cellular service to T-Mobile subscribers, in addition the proposed changes will increase the ability for citizens to utilize higher speed internet.

T-Mobile Wireless Application VA62677A
 52-Eighty, LLC - Site Name VA-903 Beyer
 Fluvanna County, Virginia
 August 6, 2014
 Page 3



Telecommunications Site Review
 Virginia New Structure

The submitted application contained the below deficiencies at the time of the CityScape review:

1. **There were no balloon tests.** Balloon tests provide the surrounding citizens with the best ability to understand any impact caused by the proposed new facility; and,
2. **Compliance with County provisions regarding Breakpoint Technology.** The Applicant provided a general letter from a Registered Virginia Engineer; see *figure 10*, stating that Breakpoint Technology will be used, but not in accordance with the requirements specified in the ordinance. The exact computation must be provided by a Registered Engineer; and,
3. **Inconsistent Street Addresses.** The Owner and Applicant provided three different street addresses. The T-Mobile letter is the qualifying document and confirmation is required that the location is the same as was accepted by T-Mobile; and,
4. **Equipment Ground Compound.** There are inconsistencies in the submitted Construction Drawings regarding the specific monopole location, the electrical riser and the access gate on the property. Pages C1-20, C1.30, C2.00, C2.10 do not agree with E1.00, see *figure 11*.

Based on review, discussions with the Applicant and supplemental documentation, CityScape confirms a new support structure is required not only for proposed new T-Mobile equipment, but will be needed for additional wireless carriers in the near future. Therefore, CityScape recommends the application; with the tower height of one hundred ninety nine (199) feet is approved with the following conditions:

1. The Owner shall provide the correct street address and T-Mobile shall confirm compliance; and,
2. The Owner shall provide new and correctly formulated Breakpoint Technology documentation; and,
3. The Owner submit corrected ground compound drawings; and,
4. The Owner shall clarify no lightning rod will be installed; and,
5. The Owner submit satisfactory National Environmental Policy Act (NEPA) and State Historic Preservation Office (SHPO) documentation; and,
6. The Applicant shall certify all access ports will be sufficiently sealed to prevent infiltration or habitation by any type of wildlife; and,

Respectfully submitted,

Richard L. Edwards
 FCC Licensed
 PCIA Certified
 CityScape Consultants, Inc.

T-Mobile Wireless Application VA62677A
 52-Eighty, LLC - Site Name VA-903 Beyer
 Fluvanna County, Virginia
 August 6, 2014
 Page 4



Telecommunications Site Review
 Virginia New Structure

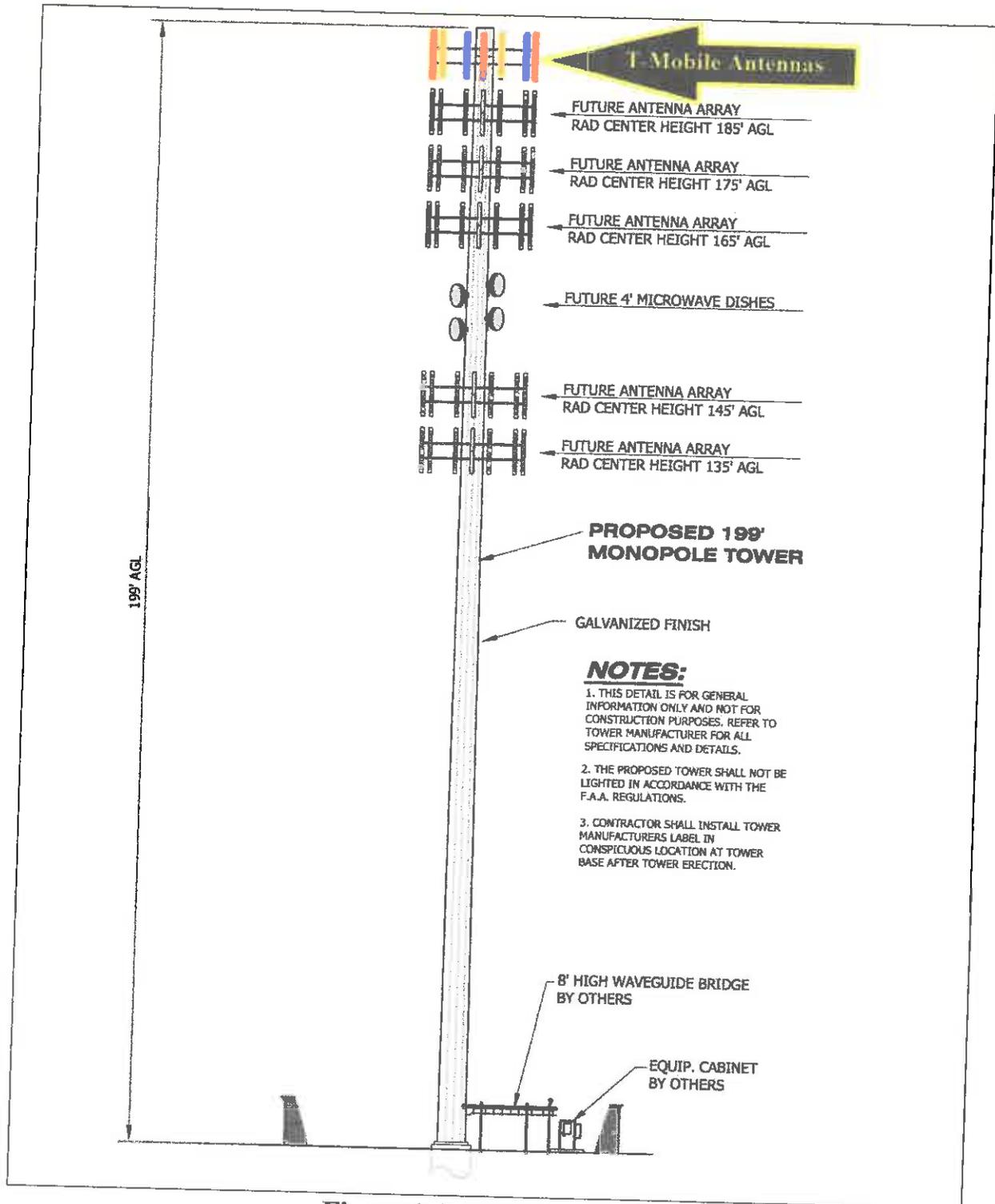


Figure 1. Tower Elevation

T-Mobile Wireless Application VA62677A
52-Eighty, LLC - Site Name VA-903 Beyer
Fluvanna County, Virginia
August 6, 2014
Page 5



Telecommunications Site Review
Virginia New Structure

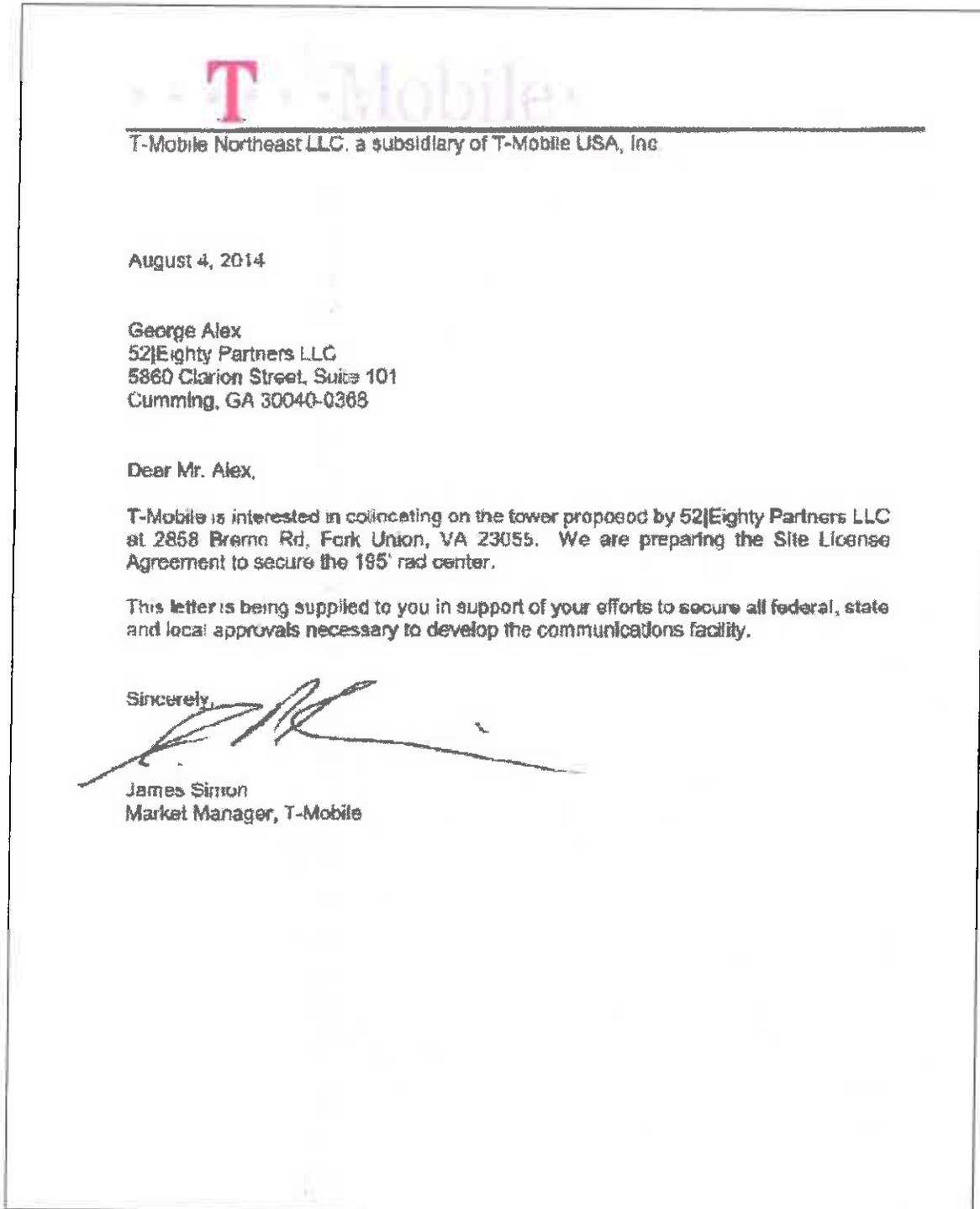


Figure 2. T-Mobile Authorization

T-Mobile Wireless Application VA62677A
52-Eighty, LLC - Site Name VA-903 Beyer
Fluvanna County, Virginia
August 6, 2014
Page 6



Telecommunications Site Review
Virginia New Structure



Figure 3. Site Location

T-Mobile Wireless Application VA62677A
52-Eighty, LLC - Site Name VA-903 Beyer
Fluvanna County, Virginia
August 6, 2014
Page 7



Telecommunications Site Review
Virginia New Structure

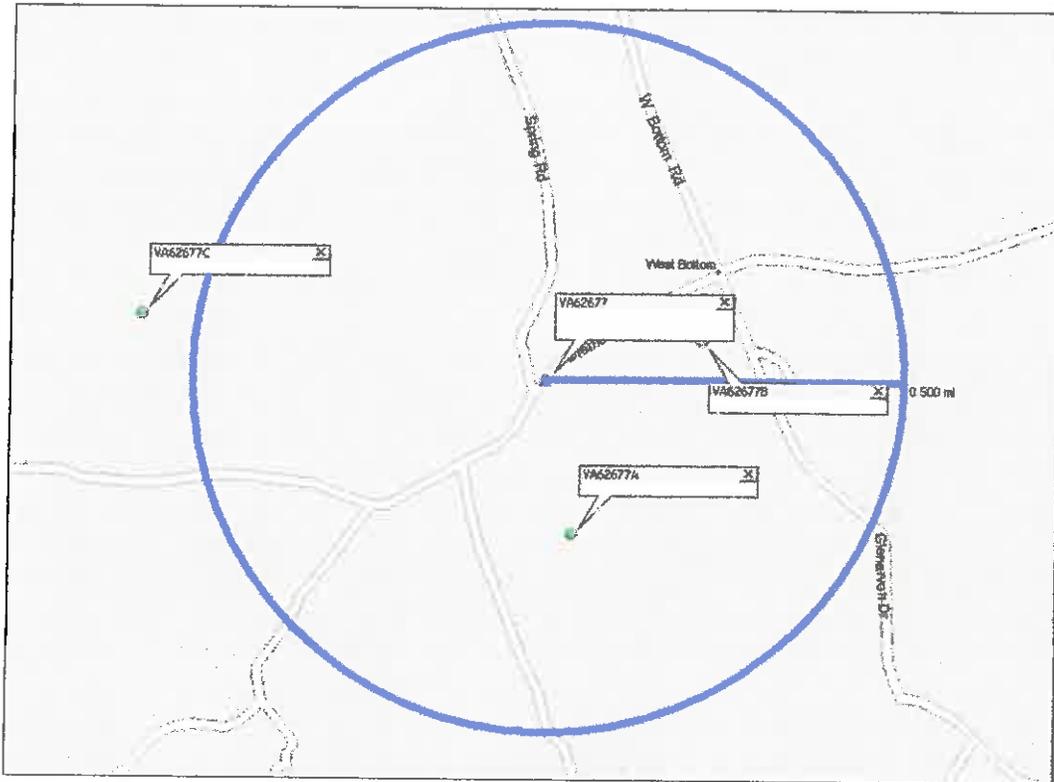


Figure 4. Site Search Ring



Figure 5. Adjacent Tower and County Property

T-Mobile Wireless Application VA62677A
52-Eighty, LLC - Site Name VA-903 Beyer
Fluvanna County, Virginia
August 6, 2014
Page 8



Telecommunications Site Review
Virginia New Structure

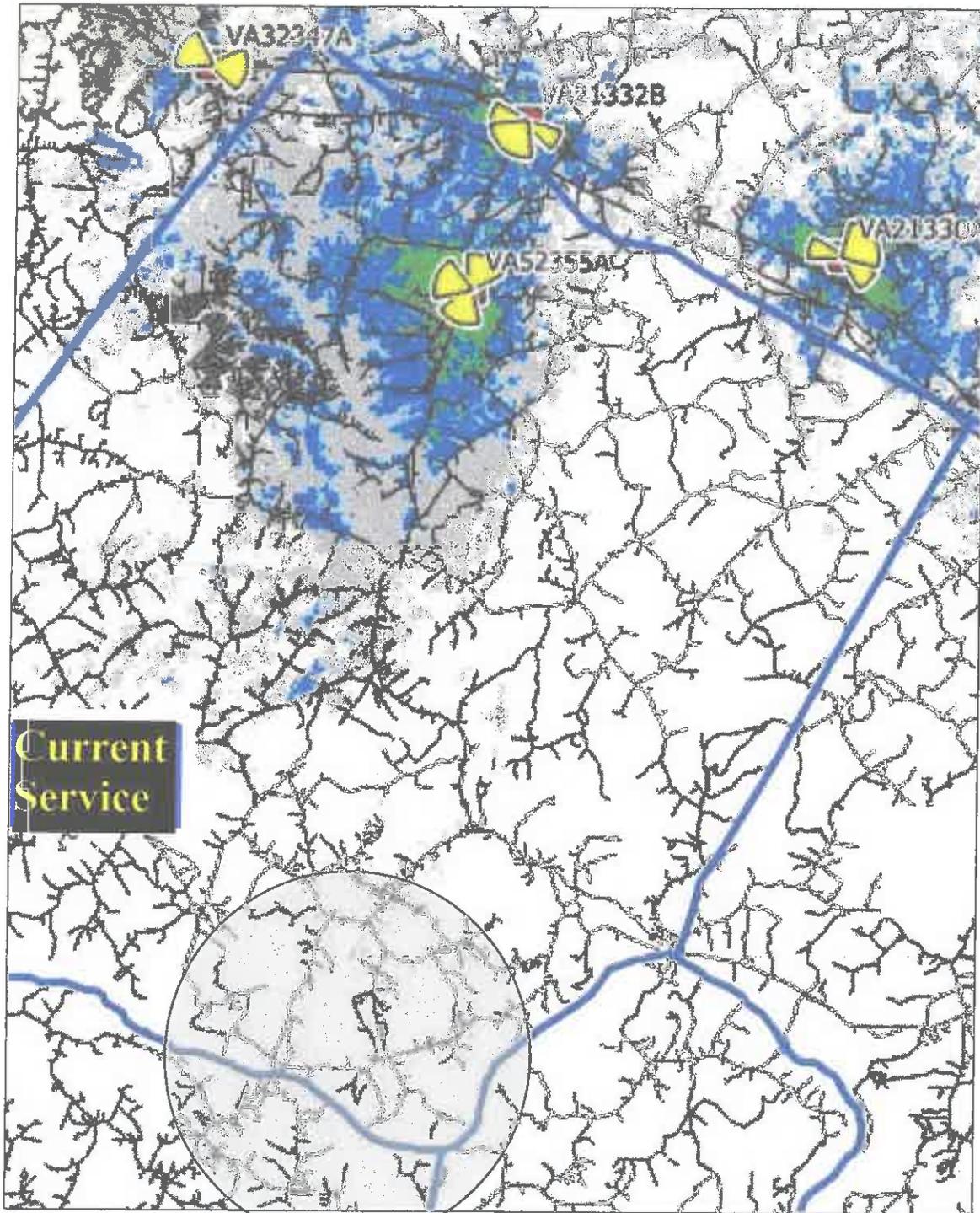


Figure 6. Current Service
(Grey Indicates Target)

T-Mobile Wireless Application VA62677A
52-Eighty, LLC - Site Name VA-903 Beyer
Fluvanna County, Virginia
August 6, 2014
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Telecommunications Site Review
Virginia New Structure

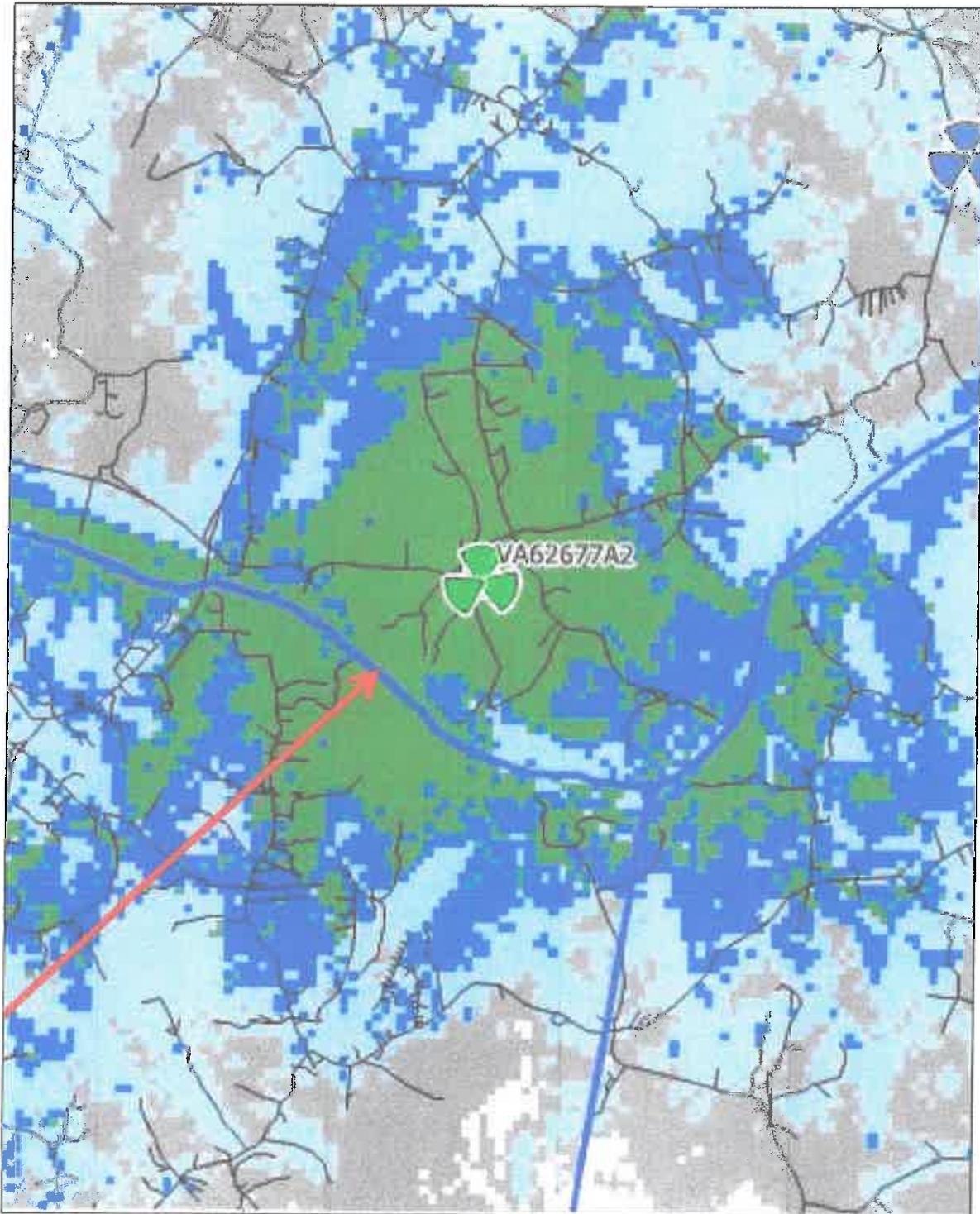


Figure 7. Projected New Service

T-Mobile Wireless Application VA62677A
52-Eighty, LLC - Site Name VA-903 Beyer
Fluvanna County, Virginia
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Telecommunications Site Review
Virginia New Structure

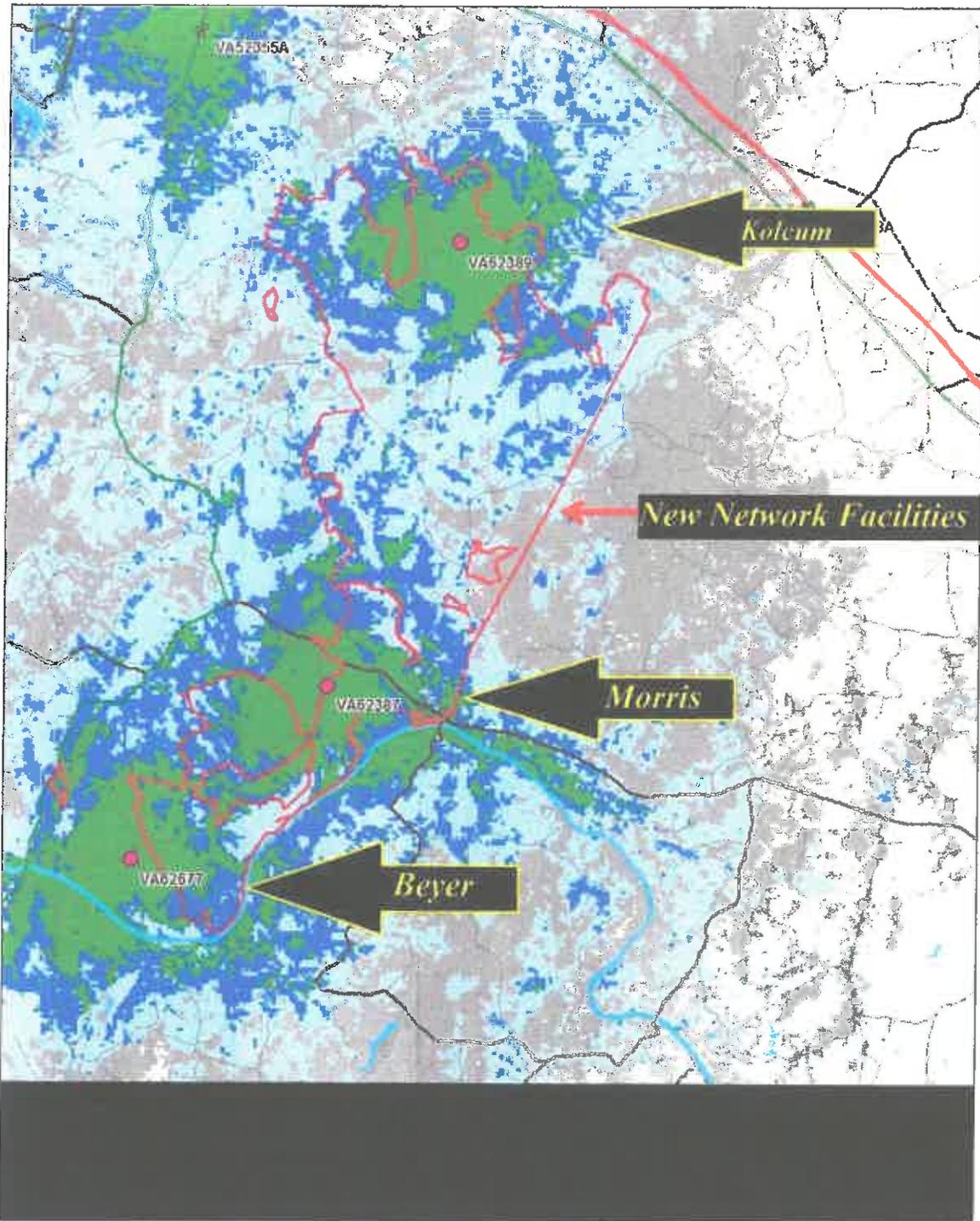


Figure 8. Projected Network Service in Northwest Fluvanna County

T-Mobile Wireless Application VA62677A
 52-Eighty, LLC - Site Name VA-903 Beyer
 Fluvanna County, Virginia
 August 6, 2014
 Page 11



Telecommunications Site Review
 Virginia New Structure

July 3, 2014

Steve Tugwell
 Senior Planner
 Fluvanna County Virginia
 132 Main Street
 PO BOX 540
 Palmyra, VA 22963

RE Application for 3 TASF's located at
 3226 Venable Road, Kent's Store, VA 23084
 7791 Brems Road, Fork Union, VA 23055
 2266 Brems Road, Fork Union, VA 23055 Beyer

Dear Mr. Tugwell:

Enclosed are the documents required for the submittal per the SUP Application, Communications Facility Application Checklist, and Fluvanna County Zoning Code.

...Edited for content...

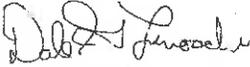
The proposed towers will be designed to withstand wind speeds and forces as required by State and local building regulations as well as those standards defined by the American National Standards Association (ANSA) specifications. The Company carries extensive liability insurance and typically agrees as part of our leases to assume responsibility for certain damages or injuries resulting from our operations.

As a part of all 52-Eighty, LLC tower construction projects, 52-Eighty Partners, LLC will ensure that FCC licensed users of the structure will file for certifications required by the Federal Communications Commission (FCC) that attest to the fact that the proposed communication facility complies with all current FCC rules and regulations for non-ionizing electromagnetic radiation (NIER) regarding human exposure levels. Page C3 30 of the development plans indicates the location that required signage would be placed on the gate of the facility and on the base of the tower.

The effect of wireless (cellular/digital/pcs) radio frequencies on AM and FM signals, TV transmissions, and other commonly used portions of the radio spectrum is considered negligible by the industry's regulatory agencies. 52-Eighty Partners, LLC will ensure that all FCC licensed providers will adhere to all applicable FCC rules regarding radio-frequency interference. Should there be any question, concern, or complaint that any interference is occurring 52-Eighty Partners, LLC will ensure the suspected interfering party procure a co-location interference analysis report from a qualified firm and take whatever corrective action is required to maintain FCC compliance.

Please feel free to contact me anytime by phone or email as indicated below.

Sincerely,



Dale Finocchi
 Sr Director of Development
 52-Eighty Partners, LLC
 P: 404-382-5285
 C: 336-681-6166
 F: 866-659-4989

52 Eighty, LLC | 5860 Clarion Street, Suite 101 | Cumming, GA 30041
 P: 404.382.5285 | C: 336.681.6166 | F: 866.659.4989

Figure 9. Human Exposure and Interference Compliance Statements

T-Mobile Wireless Application VA62677A
 52-Eighty, LLC - Site Name VA-903 Beyer
 Fluvanna County, Virginia
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CityScape

Consultants, Inc.

Telecommunications Site Review
 Virginia New Structure

Sabre Industries™
 Towers and Poles

May 30, 2014

Mr. Jim Loukatos
 52 Eighty LLC
 5860 Clarion Street, Suite 101
 Cumming, GA

RE: Proposed 199' Monopole for **VA62677** VA (Sabre Proposal #15-0918-CJP)

Dear Mr. Loukatos,

Upon receipt of order, we propose to design and supply the above referenced monopole for a Basic Wind Speed of 90 mph with no ice and 30 mph with 3/4" ice, Structure Class II, Exposure Category C, and Topographic Category 1, in accordance with the Telecommunications Industry Association Standard ANSI/TIA-222-G, "Structural Standard for Antenna Supporting Structures and Antennas".

When designed according to this standard, the wind pressures and steel strength capacities include several safety factors, resulting in an overall minimum safety factor of 25%. Therefore, it is highly unlikely that the monopole will fail structurally in a wind event where the design wind speed is exceeded within the range of the built-in safety factors.

Should the wind speed increase beyond the capacity of the built-in safety factors, to the point of failure of one or more structural elements, the most likely location of the failure would be within the flanged connection at the bottom of the top section. Assuming that the wind pressure profile is similar to that used to design the monopole, the monopole will yield at the location of the highest combined stress ratio within the flanged connection. This is likely to result in the portion of the monopole above "folding over" onto the portion below, essentially collapsing upon itself. **Please note that this letter only applies to the above referenced monopole designed and manufactured by Sabre Towers & Poles.** In the unlikely event of total separation, this, in turn, would result in collapse of that section to the ground within a radius less than or equal to 100 feet.

Sincerely,

Robert E. Beacom, P.E.
 Design Engineer II



Sabre Towers and Poles • 2101 Murrie Street • PO Box 658 • Sabre City, VA 54102-0658
 P. 712-358-8680 F. 712-279-0814 W. www.SabreTowersandPoles.com

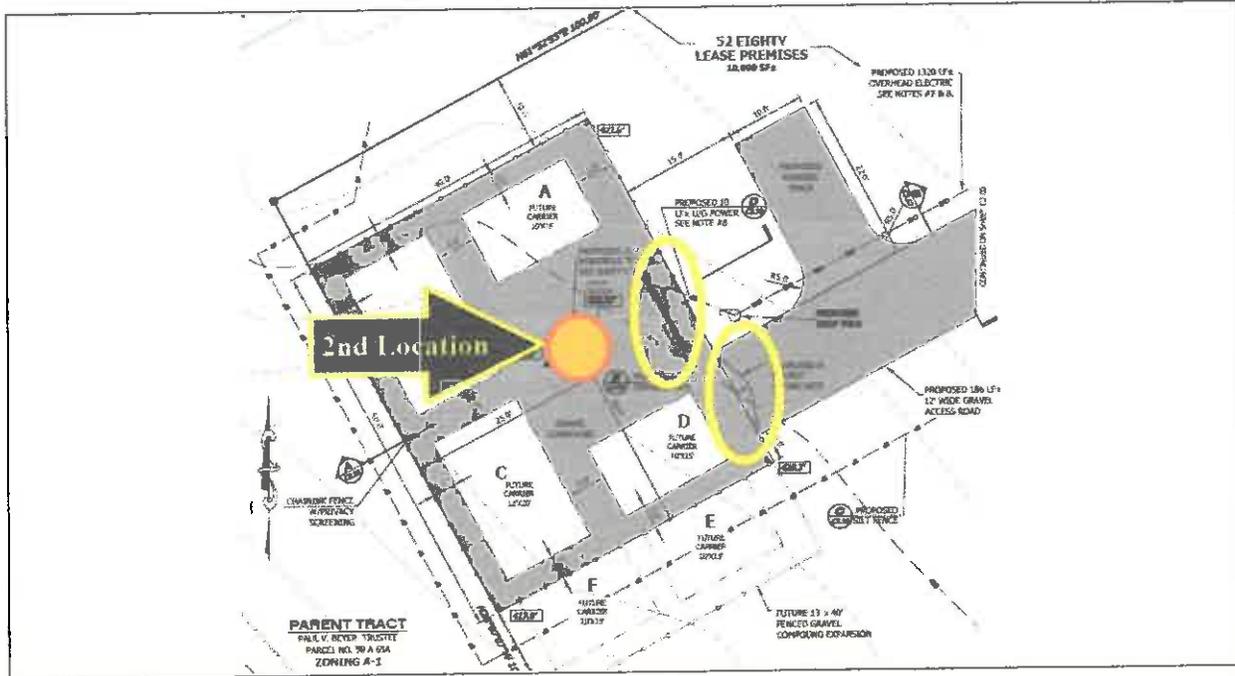
Figure 10. Generic Breakpoint Technology Letter

T-Mobile Wireless Application VA62677A
52-Eighty, LLC - Site Name VA-903 Beyer
Fluvanna County, Virginia
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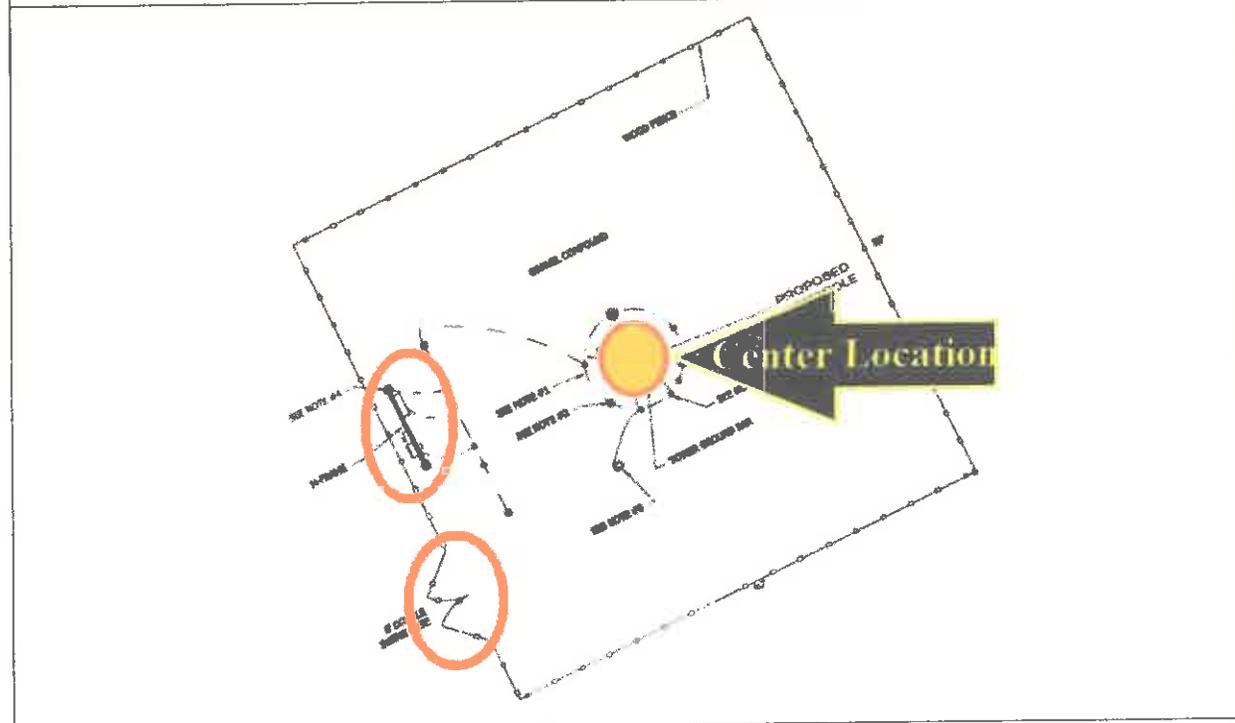


Consultants, Inc.

Telecommunications Site Review
Virginia New Structure



Page C2.10



Page E1.00

Figure 11. Ground Compound Inconsistencies



COUNTY OF FLUVANNA

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P.O. Box 540 Palmyra, VA 22963 (434) 591-1910 FAX (434) 591-1911 www.co.fluvanna.va.us

STAFF REPORT

To: Fluvanna County Planning Commission

Case Number: SUP 14:06

Tax Map: 53-A-56

From: Steve Tugwell

District: Fork Union

Date: August 27, 2014

General Information: This request is to be heard by the Planning Commission on Wednesday, August 27, 2014 at 7:00 pm in the Circuit Courtroom of the Fluvanna County Courts Building.

Applicant: 52-Eighty Partners, LLC

Requested Action: A request for a Special Use Permit (SUP) to allow for a 199-foot wireless telecommunications tower with respect to 97.5 acres of Tax Map 53, Section A, Parcel 56 (Attachment A).

Existing Zoning: A-1, Agricultural, General

Planning Area: Rural Preservation

Zoning Ordinance: Article 27: *Regulation of Telecommunications Facilities*

Location: The affected property is located approximately ½ mile southwest of East River Road (Route 6) on the west side of Bremono Road (Route 656). (Attachment B)

Existing Land Use: The property consist mostly open- expanses, wooded areas, and a single-family dwelling.

Adjacent Land Use: The surrounding area is largely rural, with a few scattered residences nearby.

Zoning History: No previous zoning activities

Analysis

The applicant has requested a Special Use Permit (SUP) to allow the construction of a 199-foot monopole-type telecommunications tower on Tax Map 53, Section A, Parcel 56. The tower will be constructed within a 10,000 square foot (100' x 100') compound that will also house the necessary accessory structures, and will be accessed by a 20-foot ingress/egress utility easement.

Two (2) general guidelines are used when evaluating a request for a Special Use Permit (SUP), as set forth in the Fluvanna County Zoning Ordinance (Sec. 22-17-4D).

First, the proposed use should not tend to change the character and established pattern of the area or community.

Character of Surrounding Area

The proposed tower is located in the southeastern portion of the county ½ mile southwest of Route 6 (East River Road). The surrounding area is largely wooded and retains its rural, scenic character. A few scattered homes are located along existing roadways, interspersed amongst forests and open fields. Many of the surrounding parcels are quite large, with several spanning more than 40 acres.

Due to local topography and the existing vegetation, the tower is not easily visible from State Route 656, but may be directly visible from a dwelling located at 812 Gale Hill Road, and few other nearby residences. The proposed tower compound is would be located a little more than 200 feet from the Bremo Road right-of-way, the tower's base and accompanying structures will not be visible (if the vegetation remains as-is).

Conformance with the Wireless Telecommunications Facilities Master Plan

According to the Wireless Telecommunications Facilities Master Plan, the closest tower is in Goochland County approximately 2.42 miles away, the next is at Carysbrook which is 4.2 miles away, and last is the Virginia Power tower over 5 miles. According to Cityscape, the closest available County-owned property is over 2 miles away, which eliminates it from consideration. The Wireless Telecommunications Facilities Master Plan does not designate this site as a proposed emergency service location (Attachment C).

Second, the proposed use should be compatible with the uses permitted by-right in that zoning district and shall not adversely affect the use/or value of neighboring property.

Zoning

The subject property and all adjoining parcels are zoned A-1 (Agricultural, General). The A-1 zoning district is intended to accommodate limited residential development, as well as small-scale commercial and industrial uses that are directly related to agriculture, forestry, and other traditionally rural uses. Non-concealed freestanding telecommunications antennas require a special use permit within A-1 districts.

If this request were approved, the applicant will be required to submit a site development plan for review, in accordance with Article 23: *Site Development Plans* of the Fluvanna County Zoning Ordinance.

Relationship to Neighboring Properties

According to the applicant's site plan, the proposed tower will be 562 feet away from the nearest residence. Existing vegetation effectively screens the tower compound from State Route 656 (Bremo Road) and adjoining properties. Based on the balloon test, the tower itself would not be easily visible from adjacent parcels, but may be directly visible to 812 Gale Hill Road, which is approximately 700 feet to the north.

Comprehensive Plan

According to the Comprehensive Plan, the subject property is designated as "Rural Preservation." Rural preservation areas are intended to be the least developed areas of the County. These areas should be used primarily for agriculture and forestry, with very limited residential development (less than one unit per five acres). Viewsheds from roads and existing developments should be preserved (page 61).

The *Infrastructure* chapter of the Comprehensive Plan includes several recommendations regarding the siting and design of telecommunications facilities (page 110):

- Minimize the impacts of wireless communications facilities on surrounding areas;
- Encourage the location and co-location of wireless communication equipment on existing structures;
- Accommodate the growing need and demand for wireless communication services;
- Encourage coordination between communication providers;
- Establish consistent and balanced legal language governing wireless communications facilities that take into consideration the Comprehensive Plan and communications master plan; and
- Maintain compliance with applicable laws, including but not limited to the 1996 Telecommunications Act.

The *Community Design* chapter of the Comprehensive Plan also addresses the design and siting of telecommunications facilities. The plan encourages developers to use innovative design techniques to minimize the visual impact of new facilities. The co-location of wireless communication equipment on existing structures is encouraged, to improve the local communications network with minimal impact to the surrounding landscape (page 73). (Attachments D, E)

Neighborhood Meeting

The neighborhood meeting was held on July 9, 2014. With the exception of the applicant, there were two (2) other people there to speak with regard to this application.

Technical Review Committee

The Technical Review Committee (TRC) meeting was held on July 10, 2014. The following comments were made:

1. The E & S inspector asked how much area will need to be cleared?
2. Planning staff stated that the consultant's report was forthcoming and their comments would be part of the staff report; To date we have from the consultant:
 - 1) You are the Applicant identified as 52-Eighty; will you be the tower owner, or T-Mobile or another party? The County has a compliance statement of FCC rules which can be certified by the carrier or the tower owner. The statement is in your letter, but that is only acceptable if 52 is the owner, otherwise the compliance statements must come from T-Mobile
 - 2) You indicate 195 foot RAD, your search ring is 0.5 miles; could someone explain the diameter of the ring when space between sites is as substantial?

Additionally- a site development plan will be required that includes screening the ground equipment.

3. VDOT stated to Install Low Volume Commercial Entrances (12 ft. minimum wide, 25 ft. minimum entrance radii, minimum 15" diameter 24 ft. long entrance culverts and gravel entrance surface) at connection of proposed cell tower access roads to existing State Roads. If gates are installed to control access to the site, position them at least 30 ft. off the edge of pavement of the State Road to allow for vehicles entering the site to safely pull out of the State Road and open and close the gate. Flag/Mark the location of the proposed entrances that will serve the cell tower sites. After the entrance locations are marked, VDOT will check the locations for sight distance. (Attachment F)

Consultant's Recommendation

CityScape Consultants, Inc. has reviewed this request (Attachment G). The consultants stated that:

1. The proposed facility is required because of generally accepted and adequately demonstrated technological reasons and is essential in order for T-Mobile to alleviate a signal coverage issue to provide new wireless communications service;
2. T-Mobile's submissions indicate there is a substantial service void in the general area surrounding the subject site and that the addition of new service at a height of 195 feet will help relieve these concerns. Therefore, the proposed location will sufficiently accomplish

satisfactory service, and there are no reasonable alternative technologies to accommodate the Applicant's needs without the construction of a new facility; and

3. The proposed site is supported by the *Wireless Telecommunications Facilities Master Plan*.

Cityscape Consultants, Inc. recommends that the application be approved with the following conditions:

1. The owner shall certify the street address listed in their FCC compliance letter, figure 9, as 7791 Brema Road is actually 7605 Brema Road; and,
2. The owner shall submit corrected ground compound drawings; and,
3. The owner shall clarify no lightning rod will be installed; and,
4. The owner shall submit satisfactory National Environmental Policy Act (NEPA) and State Historic Preservation Office (SHPO) documentation; and,
5. The applicant shall certify all access ports will be sufficiently sealed to prevent infiltration or habitation by any type of wildlife.

Conclusion

This request for a special use permit for a 199 ft. monopole telecommunication facility appears to be in substantial conformance with the intent of the Comprehensive Plan's recognition that telecommunications are a critical part of the role of infrastructure throughout the county, and the criteria set forth in the Zoning Ordinance. In reviewing this request, the Planning Commission should consider how the proposed tower:

- Conforms with the *Wireless Telecommunications Facilities Master Plan*;
- Improves telecommunications infrastructure within Fluvanna County; and
- Impacts the rural character, and associated tourism potential, of the surrounding area.

If approved, staff recommends that the following conditions in addition to the above conditions from Cityscape Consultants, Inc.

1. The owner shall certify the street address listed in their FCC compliance letter, figure 9, as 7791 Brema Road is actually 7605 Brema Road; and,
2. The owner shall submit corrected ground compound drawings; and,
3. The owner shall clarify no lightning rod will be installed; and,
4. The owner shall submit satisfactory National Environmental Policy Act (NRPA) and State Historic Preservation Office (SHPO) documentation; and,
5. The tower, including antennae, will not be higher than 199 feet and will not be lit;
6. The tower shall be in the same location as shown in the application;
7. The Applicant confirms the new support structure will be capable of supporting a total of six (6) antenna arrays, in compliance with EIA/TIA 222-G;
8. The proposed new tower shall accommodate no less than six (6) different wireless services providers' antenna arrays, all of the same general design;

9. The Applicant shall expand the ground compound to accommodate up to six (6) different wireless service providers' ground-mounted electronic equipment;
10. The tower shall be available for co-location by other telecommunications companies, with Fluvanna County having the right of first refusal prior to the approval of each proposed co-location;
11. The Applicant shall obtain all necessary County permits prior to any work on the site;
12. All access ports shall be sufficiently sealed to prevent infiltration or habitation by any type of wildlife; and
13. The facility shall be protected from access from unauthorized personnel both during construction and during all periods of operation;
14. All feed lines shall be installed within the shell of the monopole and no lines will be exposed except at the antennas;
15. If the structures should no longer be needed, the applicant shall remove them, and restore the grounds to the prior condition;
16. Violation of any condition of this permit shall be grounds for revocation of this permit;
17. The Board of Supervisors, or their representatives, has the right to inspect the property for compliance with these conditions at any time;
18. The facility shall be constructed and receive final inspection from the Fluvanna County Department of Building Inspections within eighteen (18) months of the date of approval of the special use permit.

Suggested Motion

I move that the Planning Commission recommend **approval/denial** of SUP 14:06, a special use permit request to allow the construction of a 199-foot monopole telecommunications tower with respect to 97.5 acres of Tax Map 53, Section A, Parcel 56 (if approved) subject to the eighteen (18) conditions listed in the staff report.

Attachments

- A - Application, compliance letter, and APO letter
- B - Aerial Vicinity Map
- C - Map of Existing Wireless Telecommunications Inventory
- D - Map of County-owned property
- E - Map of Public Safety Tower Sites
- F - Technical Review Committee (TRC) Comments
- G - Consultant's Report

Copy

Owner: Barry Morris, 7791 Bremono Road, Fork Union, VA 23055
Applicant: Dale G. Finocchi, 2028 Walker Avenue, Greensboro, NC 27403
Consultant: CityScape Consultants, 7050 W. Palmetto Park Road, # 15-652, Boca Raton, FL 33433
File

Received

JUL 01 2014

Planning Dept.



COMMONWEALTH OF VIRGINIA
COUNTY OF FLUVANNA

Application for Special Use Permit (SUP)

Owner of Record: Barry & Carter Morris

E911 Address: 7605/7791 Bremono Rd, Fork Union, VA 23055

Phone: 434-842-3880 Fax: _____

Email: coachm@cstone.net

Applicant of Record: 52-Eighty Partners, LLC

E911 Address: 5860 Clarion Street Ste 101, Cumming, GA 30040

Phone: 404-382-5285 Fax: 866-659-4989

Email: dfinocchi@52eighty.com

Representative: Dale G. Finocchi

E911 Address: 2028 Walker Ave. Greensboro, NC 27403

Phone: 336-681-6166 Fax: 866-659-4989

Email: dfinocchi@52eighty.com

Note: If applicant is anyone other than the owner of record, written authorization by the owner designating the applicant as the authorized agent for all matters concerning the request shall be filed with this application.

Is property in Agricultural Forestal District? No Yes

If Yes, what district: _____

Tax Map and Parcel(s): 53-A-56

Deed Book Reference: DB 383 PG 803

Acreage: 97.5 Zoning: A-1

Deed Restrictions? No Yes (Attach copy)

Request for a SUP in order to: Telecommunication Antenna Support Facility

Proposed use of Property: Agricultural/TASF

*Two copies of a plan must be submitted, showing size and location of the lot, dimensions and location of the proposed building, structure or proposed use, and the dimensions and location of the existing structures on the lot.

By signing this application, the undersigned owner/applicant authorizes entry onto the property by County Employees, the Planning Commission, and the board of Supervisors during the normal discharge of their duties in regard to this request and acknowledges that county employees will make regular inspections of the site.

Date: 6-30-14 Signature of Owner/Applicant: [Signature]

Subscribed and sworn to before me this 30 day of June, 2014

Notary Public: [Signature] Register # _____

My commission expires: July 10 2017

Certification: Date: _____

Zoning Administrator: _____

All plats must be folded prior to submission to the Planning Department for review. Rolled plats will not be accepted.

OFFICE USE ONLY	
Date Received: <u>7.1.14</u>	Pre-Application Meeting: <u>6.20.14</u> PH Sign Deposit Received: <u>yes \$90 ch# 1383</u> Application #: SUP <u>14-06</u>
\$800.00 fee plus mailing costs paid: _____ Mailing Costs: \$20.00 Adjacent Property Owner(APO) after 1st 15, Certified Mail	
Amendment of Condition: \$400.00 fee plus mailing costs paid: _____	
Telecommunications Tower \$1,500.00 fee plus mailing costs paid: _____ \$5,500 w/Consultant Review paid: <u>ch# 1383</u>	
Election District: <u>Fork Union</u>	Planning Area: <u>Rural Preservation</u>
Public Hearings	
Planning Commission	Board of Supervisors
Advertisement Dates: <u>8-14-14; 8-21-14</u>	Advertisement Dates: <u>9-4-14; 9-11-14</u>
APO Notification: <u>8-13-14</u>	APO Notification: <u>9-3-14</u>
Date of Hearing: <u>8-27-14</u>	Date of Hearing: <u>9-17-14</u>
Decision: _____	Decision: _____

Describe briefly the **improvements** proposed. State whether new buildings are to be constructed, existing buildings are to be used, or additions made to existing buildings.

The development of a 199-foot Telecommunication antenna support facility (Non-Concealed Monopole), antennas, and associated ground equipment. The lease area consists of a 100x100 leased space with a developed fenced area of 50x40. The access road will travel from the existing driveway to the proposed compound and utilize the existing driveway for access to the County Road.

NECESSITY OF USE: Describe the reason for the requested change.

The proposed tower is part of T-Mobile's expansion into rural Fluvanna County as specified by the FCC's Mobility Fund project to bring 3G and 4G technologies to under-served census tracts. The Project in-compasses the FCC's mandate to cover 176.3 road miles within census tract 51065020200. The specific details of the location and how the site propagates signal and interconnects with other T-Mobile sites is descriptively and graphically described in several attachments.

PROTECTION OF ADJOINING PROPERTY: Describe the effects of the proposed use on adjacent property and the surrounding neighborhood. What protection will be offered adjoining property owners?

The proposed project meets and exceeds all setback and separation requirements specified in the Fluvanna County Code. Specifically the code requires any TASF to be a minimum of 500-feet from any on-site or off-site residential structure. The closet off-site structure is approx. 1,171-feet away, while the closet on-site structure is approximately 1,200-feet away. The Code requires the Tower be situated a minimum of its height from any property line unless an engineered fall zone letter is provided. The closet property line is to the west and owned by Mr. Beyer and is 121.7-feet away, which is within the 100-foot fall radii described in the Fall letter signed and sealed by a Virginia Certified Engineer. The other property lines exceed the 199 requirement and are 257 and 290 feet respectively.

ENHANCEMENT OF COUNTY: Why does the applicant believe that this requested change would be advantageous to the County of Fluvanna? (Please substantiate with facts.)

The proposed TASF will provide access to cellular phone service and wireless Internet services in an area with little to no service. This area, primarily portions of census tract 51065020200 was identified by the FCC as being under served. In addition to bringing wireless access to the area the County Emergency Management Department has indicated a need and desire to locate antennas in this area. The tower will also provide needed infrastructure for other wireless carriers who may desire to also expand their services in this area.

PLAN: Furnish plot plan showing boundaries and dimensions of property, width of abutting right-of-ways, location and size of buildings on the site, roadways, walks, off-street parking and loading space, landscaping, etc. Architect's sketches showing elevations of proposed buildings and complete plans are desirable and may be required with the application. Remarks:

Detailed Survey and Zoning drawings showing all required information is attached in document titled: Final Development Plans

Fluvanna County Virginia Communications Facility Application Checklist

Date Submitted: May 30, 2014

APPLICANT'S NAME: <u>52-Eighty Partners, LLC</u> (Site Name: <u>VA-901 Morris TMO VA62387</u>)		
Phone: <u>404-382-5285</u>	FAX: <u>866-659-4989</u>	E-mail: <u>dfinocchi@52eighty.com</u>
PROPERTY OWNER: <u>Barry Morris</u>		
APPLICANT'S CONTACT: <u>Dale Finocchi</u>		
Address <u>5860 Clarion St Suite 101 Cumming, GA 30040</u>		
Phone: <u>336-681-6166</u>	FAX: <u>866-659-4989</u>	E-mail: <u>dfinocchi@52eighty.com</u>
Lessor/Licenser Contact Information:		
Name: <u>52-Eighty, LLC</u>		
Address: <u>5860 Clarion St Suite 101 Cumming, GA 30040</u>		
Phone: <u>404-382-5280</u>	FAX: <u>866-659-4989</u>	E-mail: <u>info@52eighty.com</u>

Commercial Wireless Provider T-Mobile and Fluvanna County (Tax ID 53 A 56)

New Structure: Yes [] No [] Co-location: Yes [] No [] Water Tower: Yes [] No []

Replace Existing Structure: Yes [] No [] Replacement (upgrade) of existing antennas Yes [] No []

Stealth Attached Facility: Yes [] No [] New Stealth Antenna Support Structure: Yes [] No []

FACILITY INFORMATION:

Site Address: 7605 Bremo Road, Fork Union, VA 23055

Latitude (NAD83): N 37-45-36.05 Longitude (NAD83): W 78-12-04.85

Ground Elevation (AMSL) (ft): 345.8 Total Height of Tower: (AGL) (ft) 199

RAD Center (ft): 195

TAX Parcel Identification Number: 53-A-56

Present Zoning of Property: A-1

Land Use and Description of Property: Large parcel of land mixed forest and family farm.

FCC Antenna Structure Registration Number (ASR) (if applicable): _____

The following must be enclosed with this application:

1. A map (electronic preferable) of the same search ring submitted and used by the applicant's site locator;
2. A map (electronic preferable) indicating applicant's existing RF signal propagation;
3. A map (electronic preferable) indicating applicant's proposed new RF signal propagation;
4. A statement (electronic preferable) from a qualified individual that the applicant will comply with all FCC rules regarding human exposure to RF energy, along with the individual's qualifications.
5. A statement (electronic preferable) from the applicant that the applicant will comply with all applicable FCC rules regarding radio-frequency interference;
6. A statement (electronic preferable) that the submitted search ring is the same as utilized in the selection of the site;
7. Complete plans of the proposed facility to include a structural certification by a Registered Professional Engineer that the facility complies with applicable Federal, State and Fluvanna County building codes;

Please Note: Supplemental information may be requested for purposes of clarity or confirmation.

Received
JUL 01 2014
Planning Dept.
HCWFC-04



T-Mobile Northeast LLC, a subsidiary of T-Mobile USA, Inc.

August 4, 2014

George Alex
52|Eighty Partners LLC
5860 Clarion Street, Suite 101
Cumming, GA 30040-0368

Dear Mr. Alex,

T-Mobile is interested in collocating on the tower proposed by 52|Eighty Partners LLC at 7605 Remo Road, Fork Union, VA 23055. We are preparing the Site License Agreement to secure the 195' rad center.

This letter is being supplied to you in support of your efforts to secure all federal, state and local approvals necessary to develop the communications facility.

Sincerely,

A handwritten signature in black ink, appearing to read 'JS', is written over a horizontal line.

James Simon
Market Manager, T-Mobile

Memorandum

DATE: August 19, 2014
RE: APO'S for **SUP 14-06** Public Hearing Letters
TO: Jason Stewart
FROM: Kelly Belanger Harris

Please be advised the attached letter went out to the attached list of Adjacent Property Owners for the **August 19, 2014** Planning Commission meeting.



COUNTY OF FLUVANNA

“Responsive & Responsible Government”

P.O. Box 540 Palmyra, VA 22963 (434) 591-1910 FAX (434) 591-1911 www.fluvannacounty.org

NOTICE OF PUBLIC HEARING

August 13, 2014

«Full_Name»
 «Address»
 «City_State» «ZIP_»
 TMP# «TMP»

Re: Public Hearing on SUP 14:06

Dear «Full_Name»:

This letter is to notify you that the Fluvanna County Planning Commission will hold a public hearing on the above referenced item on **Wednesday, August 27, 2014** at **7:00 PM** in the Circuit Court Room at the Fluvanna County Courts Building in Palmyra, VA. The request is described as follows:

SUP 14:06 – 52 Eighty Partners, LLC - Construct Telecommunications Tower – A request for a special use permit to allow for a 195 foot wireless communications tower with respect to 97.5 acres of Tax Map 53, Section A, Parcel 56. The property is zoned A-1 and is located approximately ½ mile southwest of East River Road (Route 6) on the west side of Bremono Road (Route 656). The property is located in the Fork Union Election District and is within the Rural Preservation Planning Area.

The applicant or applicant’s representative must be present at the Planning Commission meeting. The tentative agenda and staff report will also be available for review by the public in the Fluvanna County Planning and Community Development Department during working hours (8:00 a.m. – 5:00 p.m., Monday through Friday). If you have any questions, please feel free to contact me at 434-591-1910.

Sincerely,

Steven Tugwell
 Senior Planner

SUP 14-06 52 Eighty Partners, LLC

TMP	Full Name	Address	City, State	ZIP
53 6 1B	DOUGLAS E & BARBARA L FLEMING	5147 Tapscott Rd	Columbia, VA	23038
53 A 56	BARRY S & R. CARTER MORRIS	7791 BREMO RD	Fork Union, VA	23055
52 6 5	LINDSAY B.SIEGFRIED, III	7065 Lauralee Circle	Mechanicsville, Va	23111
53 A 57; 52 (A) 50A	STANLEY GORDON SHEPHERD, SR.	7421 BREMO RD	Fork Union, VA	23055
53 (6) 1	Preston & Cindy Fleming	812 Gale Hill Rd	Fork Union, VA	23055



Received

AUG 08 2014

Planning Dept.

August 8, 2014

To: Fluvanna County Virginia Planning Department

RE: Authorization to Act as Agent for Zoning and Permitting in Fluvanna County for the development of a Wireless Communication Facility at 7791 Bremo Road, Fork Union, VA

To whom it may concern:

I hereby authorize 52-Eighty Partners, LLC, its agents, contractors, and consultants to act on my behalf for the purposes of obtaining all necessary approvals from Fluvanna County for the construction of a communication tower on property I currently own at the address above.

Sincerely,

A handwritten signature in black ink, appearing to read 'Barry Morris', with a long horizontal flourish extending to the right.

Barry Morris



SEARCH RING: VA62387 - SITE NAME: MORRIS - SITE ID: VA-901

PROPOSED 199' MONOPOLE TOWER STRUCTURE WITH ANTENNAS AND TENANT GROUND SPACE

FINAL DEVELOPMENT PLANS

52 EIGHTY
 52 EIGHTY, LLC
 5860 CLARION STREET, SUITE 101
 CUMMING, GA 30040
 PHONE: (404) 382-5280

WIRELESS VISION L.L.C.
 Site Development Services
NOT TO SCALE

SCALE VERIFICATION
 0 1"
 BAR IS ONE INCH ON ORIGINAL DRAWING.
 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALE ACCORDINGLY.

REVISIONS		
NO.	DESCRIPTION	DATE

DATE:	5-25-14
DRAWN:	JAE
CHECKED:	GAM
DESIGNED:	JAE
JOB NUMBER:	319-127-34

CAD FILE: /ENG/5280/TMO VA62387 CD'S.DWG

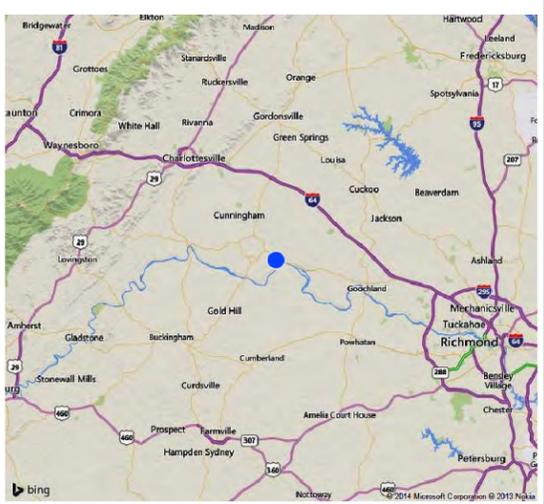
B+T GRP
 1717 S. BOULDER AVE.
 SUITE 300
 TULSA, OK 74119
 PH: (918) 587-4630
 www.btgrp.com
 VIRGINIA CERTIFICATE OF AUTHORIZATION # 0407 005947

CHAD E. TUTTLE
 L.C. No. 039105
 8/8/14
 PROFESSIONAL ENGINEER
 REGISTRATION No.: 0402 039105

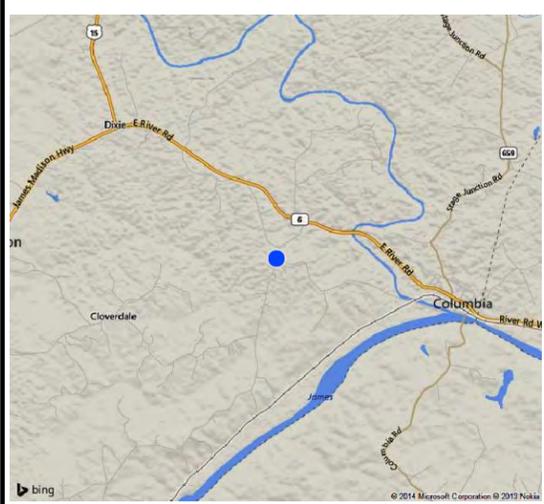
FROM INTERSTATE 64 TAKE EXIT 143 (FERNCLIFF/KENT'S STORE) SOUTH (CR 208/659..IS 659 HEADING SOUTH) TOWARDS COLUMBIA, VA. CONTINUE ON CR 659 THROUGH KENT'S STORE, SHEPARD'S STORE, AND STAGE JUNCTION UNTIL YOU GET TO COLUMBIA. AT SR 6 IN COLUMBIA TURN RIGHT AND HEAD WEST. TURN LEFT ONTO CR 656 AND FOLLOW ROAD AFTER IT TURNS SHARPLY TO LEFT AND THEN CONTINUE ON 656 TO RIGHT AT V IN ROAD AND PROPERTY IS ON THE RIGHT.

COORDINATE	
LATITUDE:	N 37°45'36.05"
LONGITUDE:	W 78°12'04.85"
ELEVATION:	345.8' NAVD 88

DIRECTIONS TO SITE



VICINITY MAP



LOCATION MAP

SEARCH RING: VA62387
 SITE NAME: MORRIS
 52 EIGHTY SITE: VA-901
 MARKET: VIRGINIA
 REGION: SOUTH
 ADDRESS: 7791 BREMO ROAD
 FORK UNION, VA 23055

TOWER TYPE: MONOPOLE
 TOWER HEIGHT: 199'
 ANTENNA RAD E: 195' AGL

FLOOD ZONE: NO

PARENT TRACT OWNER: BARRY MORRIS
 CONTACT#: (434) 842-3880

APPLICANT: 52 EIGHTY PARTNERS, LLC
 CONTACT: DALE FINOCCHI
 (404) 382-5285

ENGINEER: B&T ENGINEERING.
 CHAD TUTTLE
 PH: (918) 587-4630

SITE INFORMATION



POINT TO POINT LAND SURVEYORS
 810 JACKSON STREET,
 LOCUST GROVE
 GEORGIA 30248
 (P) 678.565.4440

CONSULTANTS

POWER COMPANY: DOMINION
 1-866-366-4357
 TELEPHONE COMPANY: PROVIDED VIA MICROWAVE
 WATER SUPPLY: NO SERVICE REQUIRED
 WASTE WATER: NO SERVICE REQUIRED

UTILITY COMPANY

ZONING : A-1
 JURISDICTION: FLUVANNA COUNTY
 TAX PARCEL#: 53-A-56
 PARKING: 1 SPACE

ZONING DATA

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

- 1. 2010 INTERNATIONAL BUILDING CODE
- 2. NATIONAL ELECTRIC CODE (NEC) WITH LOCAL AMENDMENTS LATEST ED.
- 3. ANSI/ TIA/ EIA APPLICABLE STANDARDS.
- 4. LIFE SAFETY CODE NFPA - 101-2000
- 5. AMERICAN INSTITUTE OF STEEL CONSTRUCTION SPECIFICATIONS (AISC)
- 6. UNDERWRITERS LABORATORIES (U.L.)
- 7. LOCAL BUILDING CODE
- 8. CITY/COUNTY ORDINANCES

CODE COMPLIANCE



CALL BEFORE YOU DIG

FLUVANA COUNTY DIRECTOR OF PLANNING
 APPROVAL: _____ DATE _____
 SIGNATURE DATE

SHEET NO.	DESCRIPTION
T1.00	COVER SHEET
C1.00	LEGEND, ABBREVIATIONS & GENERAL NOTES
C1.10	GENERAL NOTES
C1.20	BOUNDARY INFORMATION & EXISTING FEATURES
C1.30	BOUNDARY INFORMATION & EXISTING FEATURES
C1.40	LEGAL DESCRIPTIONS
C2.00	MASTER SITE PLAN
C2.10	PROPOSED IMPROVEMENTS
C2.20	PROPOSED IMPROVEMENTS
C3.00	TOWER ELEVATION & DETAILS
C3.01	ENGINEERING DETAILS
C3.10	ENGINEERING DETAILS
C3.11	ENGINEERING DETAILS
C3.20	FENCE DETAILS
C3.30	SIGN DETAILS
E1.00	GROUNDING PLAN
E1.00	GROUNDING DETAILS

SHEET INDEX

SR: VA62387
SITE ID: VA-901
SITE NAME: MORRIS

SHEET TITLE
COVER SHEET

SHEET NUMBER
T1.00

GENERAL CONSTRUCTION NOTES

1. **ORDER OF CONSTRUCTION** - EROSION CONTROL STRUCTURES INDICATED ON THE ATTACHED PLANS SHALL BE ERECTED PRIOR TO THE EXECUTION OF ANY SITE WORK. DRAINAGE STRUCTURES AND SURFACE WATER MANAGEMENT IMPROVEMENTS, IF ANY, SHALL BE CONSTRUCTED DIRECTLY FOLLOWING SITE DEMOLITION AND PREPARATION TASKS.
2. **SEDIMENTATION CONTROL** - SEDIMENTATION CONTROL SHALL BE ACCOMPLISHED DURING CONSTRUCTION THROUGH THE USE OF SILT FENCING PLACED AS SHOWN ON THE ATTACHED PLAN. THE CONTROL DEVICES SHALL BE SET AT THE ONSET OF SITE GRADING TO CONTROL SEDIMENTATION FLOW AND TO PREVENT SILTING OF BOTH ON-SITE AND OFF-SITE AREAS.
3. **EROSION CONTROL** - EROSION CONTROL SHALL BE ACCOMPLISHED THROUGH THE USE OF DOT CLASS "A" PLAIN RIP RAP WITH FILTER FABRIC, SOD OR STRAW MULCH WHICH SHALL BE APPLIED TO ALL AREAS DISTURBED DURING THE CONSTRUCTION PROCESS. EROSION CONTROL STRUCTURES INDICATED ON THE ATTACHED PLANS SHALL BE ERECTED PRIOR TO THE EXECUTION OF ANY SITE WORK. EROSION CONTROL SHALL INCLUDE TEMPORARY AND PERMANENT EROSION CONTROL FEATURES MEETING THE REQUIREMENTS OF THE DOT CONSTRUCTION SPECIFICATIONS.
4. **EXISTING IMPROVEMENTS** - THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING IMPROVEMENTS AND UTILITIES PRIOR TO BID PREPARATION AND THE COMMENCEMENT OF CONSTRUCTION.
5. **CODES AND STANDARDS** - CONSTRUCTION SHALL CONFORM TO THE CODES AND STANDARDS REFERENCED BELOW INCLUDING THE DOT STANDARD SPECIFICATIONS FOR ROAD AND STRUCTURE CONSTRUCTION.
FLUVANNA COUNTY LAND DEVELOPMENT CODE AND TOWER ORDINANCE.
6. **DISTURBED AREAS** - ALL AREAS DISTURBED DURING THE CONSTRUCTION PROCESS SHALL BE STRAW MULCHED FOLLOWING FINAL GRADING. AREAS WITH SLOPES GREATER THAN 4(H):1(V) SHALL BE SEEDED AND STRAW MULCHED. FOR AREAS WITH SLOPES GREATER THAN 3(H):1(V), EROSION CONTROL BLANKETS MEETING THE REQUIREMENTS OF THE DOT SHALL BE UTILIZED.
7. **SEED, SOD AND MULCH** - SEED, SOD AND STRAW MULCH SHALL CONFORM TO THE DOT CONSTRUCTION SPECIFICATIONS. WATER SHALL BE POTABLE FOR GRASSING AND SODDING AND SHALL BE PLACED IN ACCORDANCE WITH THE DOT CONSTRUCTION SPECIFICATION.
8. **RIP RAP** - RIP RAP USED ON THIS PROJECT SHALL MET THE REQUIREMENTS FOR DOT CLASS "A" PLAIN RIP RAP UNLESS OTHERWISE SPECIFIED ELSEWHERE IN THIS PLAN SET. THE RIP RAP SYSTEM SHALL INCLUDE THE PLACEMENT OF FILTER FABRIC. ALL MATERIALS AND INSTALLATION SHALL CONFORM TO THE DOT CONSTRUCTION SPECIFICATIONS.
9. **CLEARING AND GRUBBING** - CLEARING AND GRUBBING SHALL BE PERFORMED WITHIN THE CONSTRUCTION LIMITS AS NOTED ON THE PLANS IN ACCORDANCE WITH THE DOT CONSTRUCTION SPECIFICATIONS. THE CONTRACTOR SHALL EXPECT TO STRIP TO GENERAL DEPTHS OF 6" TO 12". DEEPER STRIPPING MAY BE NECESSARY IN AREAS OF MAJOR ROOT SYSTEMS. WHEREVER PAVEMENT OR BASE COURSE EXISTS WITHIN THE CONSTRUCTION LIMITS, THE SURFACE AND/OR BASES COURSES SHALL BE BROKEN UP FOR THE FULL EXISTING WIDTH AND DEPTH, REMOVED, AND DEPOSITED OFF-SITE.
10. **DEMOLITION** - DEMOLITION DEBRIS FROM EXISTING STRUCTURES, IF ANY, SHALL BE REMOVED AND DEPOSITED OFF-SITE AT AN APPROVED LOCATION.
11. **FILL PLACEMENT** - SOIL MATERIALS FOR FILLING SHALL CONFORM TO AASHTO SOIL GROUPS A-2, A-3 OR A-4 AND SHALL BE PLACED IN TEN (10) INCH LOOSE LIFTS TO THE GRADES SHOWN ON THE PLANS. EACH LIFT SHALL BE COMPACTED TO 100% OF THAT OBTAINED BY COMPACTING A SAMPLE OF MATERIAL IN ACCORDANCE WITH AASHTO T99. BACK FILL SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DOT CONSTRUCTION SPECIFICATIONS.
12. **SUBGRADE WORK** - THE CONTRACTOR SHALL CLEAR AND STRIP THE AREA TO BE IMPROVED AND EXCAVATE TO THE TOP OF THE SUBGRADE. THE TOP OF THE SUBGRADE SHALL BE PROOF ROLLED IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE TO LOCATE AND IDENTIFY SOFT SPOTS. SOIL MATERIALS IN SOFT AREAS SHALL BE REMOVED AND THESE AREAS SHALL BE BACKFILLED AS DIRECTED BY THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL DISPOSE OF THE EXCAVATED SUBGRADE MATERIALS, IF UNSUITABLE FOR FILL, OFF SITE.
13. **STABILIZED SUBGRADE** - SUBGRADE SHALL BE STABILIZED WITH AGGREGATE STABILIZATION CONFORMING TO THE DOT REQUIREMENTS. STABILIZER AGGREGATE SHALL BE IN ACCORDANCE WITH THE DOT. COMPACT THE ENTIRE DEPTH AND WIDTH OF THE STABILIZED SUBGRADE TO A DENSITY EQUAL TO AT LEAST 100% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T99.
14. **BASE COURSE** - MATERIAL FOR THE AGGREGATE BASE COURSE (ABC) SHALL BE DOT APPROVED GRANITE CRUSHER RUN; CRUSHED LIMESTONE; OR LOCALLY AVAILABLE MATERIAL APPROVED BY THE ENGINEER OF RECORD. THE AGGREGATE BASE COURSE SHALL BE COMPACTED TO AT LEAST 100% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T99. **BASE COURSE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE DOT CONSTRUCTION SPECIFICATIONS, INCLUDING LEVEL SURFACES; UNIFORM THICKNESSES; AND STRAIGHT, CLEAN FINISHED EDGES.**
15. **FIELD DENSITIES** - ALL FILL, STABILIZED SUBGRADE, AND THE ABC SHALL BE TESTED FOR FIELD DENSITY. ONE TEST SHALL BE TAKEN EVERY 1,500 SQUARE FEET OR PORTION THEREOF. TESTING SHALL BE PROVIDED IN EACH LIFT OF FILL AT LOCATIONS DESIGNATED BY THE OWNER'S REPRESENTATIVE. A MINIMUM OF TWO COMPACTION TESTS SHALL BE PERFORMED ON THE STABILIZED SUBGRADE AT LOCATIONS DESIGNATED BY THE OWNER'S REPRESENTATIVE.
16. **LAB TESTING** - ALL TESTING SHALL BE PERFORMED BY A QUALIFIED TESTING LAB UNDER THE DIRECTION OF A REGISTERED ENGINEER. TEST RESULTS SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR REVIEW. THE CONTRACTOR SHALL BEAR ALL TESTING EXPENSES.
17. **INSPECTION** - THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED FOR INSPECTION SCHEDULING BEFORE COMMENCING PERTINENT STAGES OF CONSTRUCTION INCLUDING SUBGRADE PROOF ROLLING, STABILIZED SUBGRADE PREPARATION, BASE COURSE PLACEMENT, AND OTHER STAGES REQUIRED FOR APPROVAL. REQUESTS FOR INSPECTION SHALL BE MADE AT LEAST 48 HOURS BEFORE DESIRED INSPECTION TIME.
18. **CAST IN PLACE CONCRETE** - UNLESS OTHERWISE NOTED, ALL CAST IN PLACE CONCRETE SHALL BE A NORMAL WEIGHT (140 PCF), 3 INCH TO 5 INCH SLUMP, 4000 PSI-28 DAY MINIMUM ULTIMATE COMPRESSIVE STRENGTH MIX. ALL CAST IN PLACE CONCRETE PROPORTIONS, MIXING, PLACING, CURING, FORMING, CONSTRUCTION JOINTS AND OTHER CONCRETE WORK SHALL COMPLY WITH THE CURRENT PROVISIONS OF ACI 318 AND ACI 301. CAST IN PLACE CONCRETE SHALL BE FINISHED WITH A STEEL TROWEL FINISH.
19. **REINFORCING** - REINFORCING STEEL FOR CAST IN PLACE CONCRETE SHALL BE ASTM A615 GRADE 60 OR GRADE 40 WWF. ALL REINFORCING STEEL SHALL COMPLY WITH THE CURRENT PROVISIONS OF ACI 318 AND ACI 301 AND THE CRSI DESIGN HANDBOOK.
20. **BUILDING PERMITS** - ALL BUILDING PERMIT COSTS SHALL BE PASSED THROUGH FROM THE CONTRACTOR TO THE OWNER.
21. **POWER COMPANY FEES** - ALL POWER COMPANY FEES SHALL BE PASSED THROUGH FROM THE CONTRACTOR TO THE OWNER.

WORK WITHIN THE RIGHT-OF-WAY

NOTE: THE METHOD AND MANNER OF PERFORMING THE WORK AND THE QUALITIES OF MATERIAL FOR CONSTRUCTION WITHIN THE RIGHT OF WAY SHALL CONFORM TO THE REQUIREMENTS SPECIFIED BY THE PUBLIC WORKS DEPARTMENT AND THE DEPARTMENT OF TRANSPORTATION (DOT). NO WORK SHALL BE DONE NOR MATERIALS USED IN THE CITY, COUNTY AND STATE RIGHT OF WAY, WITHOUT INSPECTION BY THE PUBLIC WORKS DEPARTMENT AND THE DOT RESPECTIVELY, AND THE CONTRACTOR/DEVELOPER SHALL FURNISH EACH DEPARTMENT EVERY REASONABLE FACILITY FOR ASCERTAINING WHETHER THE WORK PERFORMED AND MATERIALS USED ARE IN ACCORDANCE WITH THE REQUIREMENTS AND INTENT OF THE PLANS AND SPECIFICATIONS.



NOTE:
ABSOLUTELY NO PORTION OF THE LEASE PARCEL OR THE FENCED COMPOUND SHALL BE LOCATED OVER ANY FIBER OPTIC CABLES, EXISTING GROUNDING SYSTEMS OR EXISTING UTILITIES.



52 EIGHTY, LLC
5860 CLARION STREET, SUITE 101
CUMMING, GA 30040
PHONE: (404) 382-5280



Site Development Services

NOT TO SCALE

SCALE VERIFICATION
0 1"
BAR IS ONE INCH ON ORIGINAL DRAWING.
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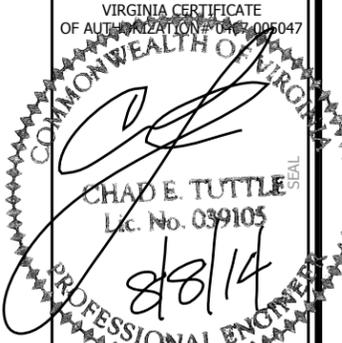
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1717 S. BOULDER AVE.
SUITE 300
TULSA, OK 74119
PH: (918) 587-4630
www.btgrp.com

VIRGINIA CERTIFICATE OF AUTHORIZATION # 0402 039105



CHAD E. TUTTLE
L.C. No. 039105
8/8/14

CHAD TUTTLE
PROFESSIONAL ENGINEER
REGISTRATION
No.: 0402 039105

JOB INFORMATION

SR: VA62387
SITE ID: VA-901
SITE NAME: MORRIS

SHEET TITLE

GENERAL NOTES

SHEET NUMBER

C1.10

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WIRELESS VISION L.L.C.
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VIRGINIA STATE BOARD OF PROFESSIONAL ENGINEERS
 OF AUTHORIZATION # 0407 039105

Chad Tuttle
CHAD E. TUTTLE
 Lic. No. 039105
 8/8/14
PROFESSIONAL ENGINEER

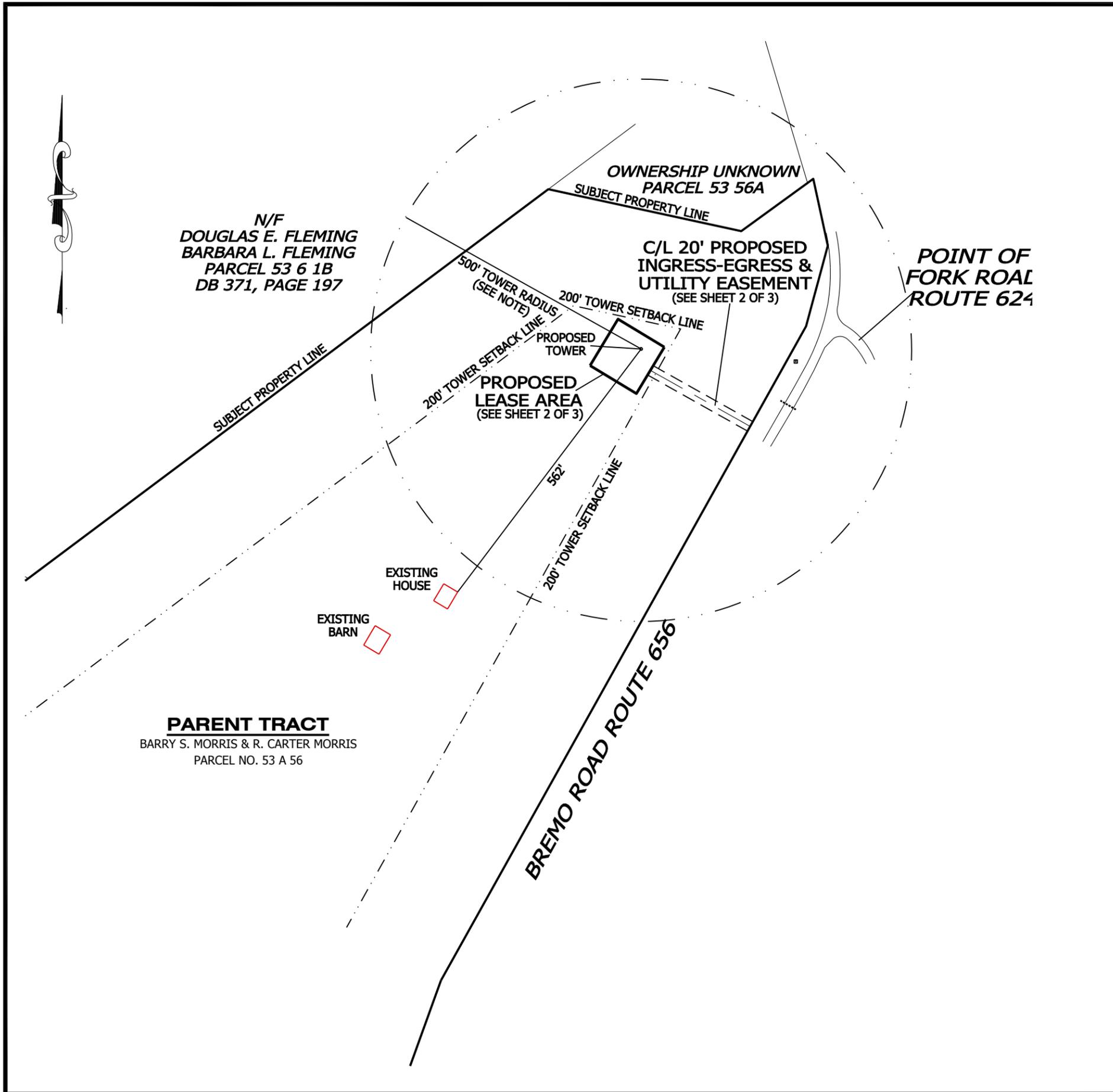
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SHEET TITLE

BOUNDARY INFORMATION & EXISTING FEATURES

SHEET NUMBER
C1.20



N/F
DOUGLAS E. FLEMING
BARBARA L. FLEMING
PARCEL 53 6 1B
DB 371, PAGE 197

OWNERSHIP UNKNOWN
PARCEL 53 56A

C/L 20' PROPOSED
INGRESS-EGRESS &
UTILITY EASEMENT
 (SEE SHEET 2 OF 3)

POINT OF FORK ROAL
ROUTE 624

PROPOSED LEASE AREA
 (SEE SHEET 2 OF 3)

EXISTING HOUSE

EXISTING BARN

PARENT TRACT
BARRY S. MORRIS & R. CARTER MORRIS
PARCEL NO. 53 A 56

BREMO ROAD ROUTE 656

NOTES:

- BOUNDARY INFORMATION AND EXISTING FEATURES SHOWN HEREON WERE FURNISHED BY THE CLIENT AND BASED ON A SURVEY PERFORMED BY POINT TO POINT LAND SURVEYORS, DATED MAY 22, 2014.
- ELEVATIONS ARE NAVD 88.
- BEARINGS ARE VA GRID NORTH (SOUTH ZONE) (NAD 83)
- NO PORTION OF THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD AREA.
- THERE ARE NO RESIDENTIAL STRUCTURES WITHIN THE 500' TOWER RADIUS AS SHOWN HEREON.

CALL BEFORE YOU DIG. DIAL "811"
 Dig With Care

NOTE:
 ABSOLUTELY NO PORTION OF THE LEASE PARCEL OR THE FENCED COMPOUND SHALL BE LOCATED OVER ANY FIBER OPTIC CABLES, EXISTING GROUNDING SYSTEMS OR EXISTING UTILITIES.

LEGEND

- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- IPS IRON PIN SET
- IPF IRON PIN FOUND
- CMF CONCRETE MONUMENT FOUND
- PP UTILITY POLE
- LP LIGHT POLE
- FP FLAG POLE
- SSMH SANITARY SEWER MANHOLE
- SDMH STORM DRAIN MANHOLE
- INV INVERT
- FH FIRE HYDRANT
- EP EDGE OF PAVEMENT
- TC TOP OF CURB
- BC BACK OF CURB
- TW TOP OF WALL
- BW BOTTOM OF WALL
- OU OVERHEAD UTILITY
- UE UNDERGROUND UTILITY
- CMP CORRUGATED METAL PIPE
- RCP REINFORCED CONCRETE PIPE
- PVC POLYVINYL CHLORIDE PIPE
- GW GUY WIRE ANCHOR
- TR TRANSFORMER
- JB JUNCTION BOX
- SWCB SINGLE WING CATCH BASIN
- DWCB DOUBLE WING CATCH BASIN
- CLF CHAIN LINK FENCE
- WV WATER VALVE
- WM WATER METER
- CO SEWER CLEAN-OUT
- GV GAS VALVE
- N/F NOW OR FORMERLY
- IB ICE BRIDGE
- IBP ICE BRIDGE POLE

OWNERSHIP UNKNOWN
PARCEL 53 56A

NOTES:

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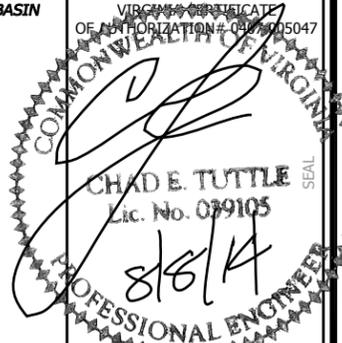
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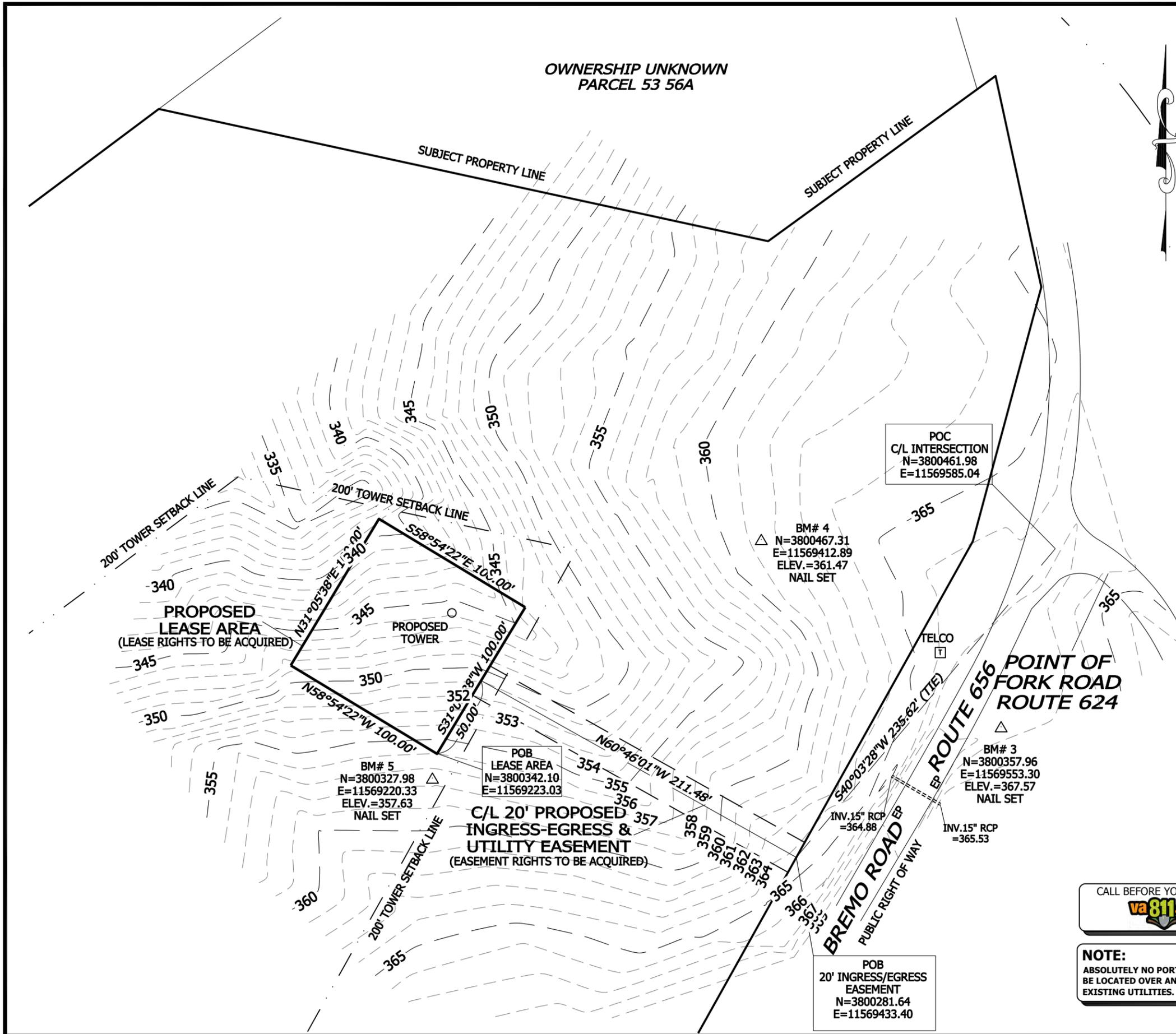
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LEGAL DESCRIPTIONS

PROPOSED LEASE AREA 52 EIGHTY "VA62387"

All that tract or parcel of land lying and being located in Fork Union Magisterial District, Fluvanna County in the Commonwealth of Virginia and being more particularly described as follows:

Commencing for the same at a point located in the centerline of Bremono Road, Route 656 and Point of Fork Road, Route 624, said point of commencement having a Virginia Grid North, South Zone, NAD83 coordinate of North 3,800,461.98, East 11,569,585.04; thence running with bearings referenced to Virginia Grid North, South Zone, NAD83, South 40°03'28" West 235.62 feet to a point; thence North 60°46'01" West 211.48 feet to a point; thence South 31°05'38" West 50.00 feet to the true Point of Beginning; having a Virginia Grid North, South Zone, NAD83 coordinate of North 3,800,342.10, East 11,569,223.03; thence running,

1. North 58°54'22" West, 100.00 feet to a point; thence
2. North 31°05'38" East, 100.00 feet to a point; thence
3. South 58°54'22" East, 100.00 feet to a point; thence
4. South 31°05'38" West, 100.00 feet to the place of beginning.

Said tract contains 0.2296 Acres (10,000 square feet) more or less, as shown in a survey prepared for 52 Eighty by POINT TO POINT LAND SURVEYORS, INC. dated May 22, 2014.

PROPOSED 20' INGRESS-EGRESS & UTILITY EASEMENT 52 EIGHTY "VA62387"

All that tract or parcel of land lying and being located in Fork Union Magisterial District, Fluvanna County in the Commonwealth of Virginia and being more particularly described as follows:

Commencing for the same at a point located in the centerline of Bremono Road, Route 656 and Point of Fork Road, Route 624, said point of commencement having a Virginia Grid North, South Zone, NAD83 coordinate of North 3,800,461.98, East 11,569,585.04; thence running with bearings referenced to Virginia Grid North, South Zone, NAD83, South 40°03'28" West 235.62 feet to a point; thence North 60°46'01" West 211.48 feet to the true Point of Beginning; having a Virginia Grid North, South Zone, NAD83 coordinate of North 3,800,281.64, East 11,569,433.40; thence running,

1. North 60°46'01" West, 211.48 feet to an ending point.

As shown in a survey prepared for 52 Eighty by POINT TO POINT LAND SURVEYORS, INC. dated May 20, 2014.



NOTE:
ABSOLUTELY NO PORTION OF THE LEASE PARCEL OR THE FENCED COMPOUND SHALL BE LOCATED OVER ANY FIBER OPTIC CABLES, EXISTING GROUNDING SYSTEMS OR EXISTING UTILITIES.



52 EIGHTY, LLC
5860 CLARION STREET, SUITE 101
CUMMING, GA 30040
PHONE: (404) 382-5280



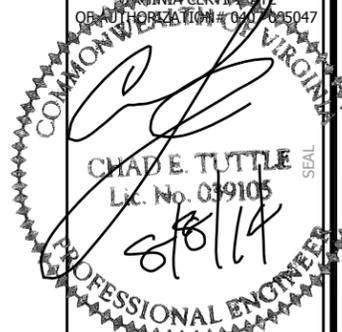
Site Development Services

NOT TO SCALE

SCALE VERIFICATION
0 1"
BAR IS ONE INCH ON ORIGINAL DRAWING.
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALE ACCORDINGLY.

REVISIONS		
NO.	DESCRIPTION	DATE

DATE:	5-25-14
DRAWN:	JAE
CHECKED:	GAM
DESIGNED:	JAE
JOB NUMBER:	319-127-34
CAD FILE:	/ENG/5280/TMO VA62387 CD'S.DWG



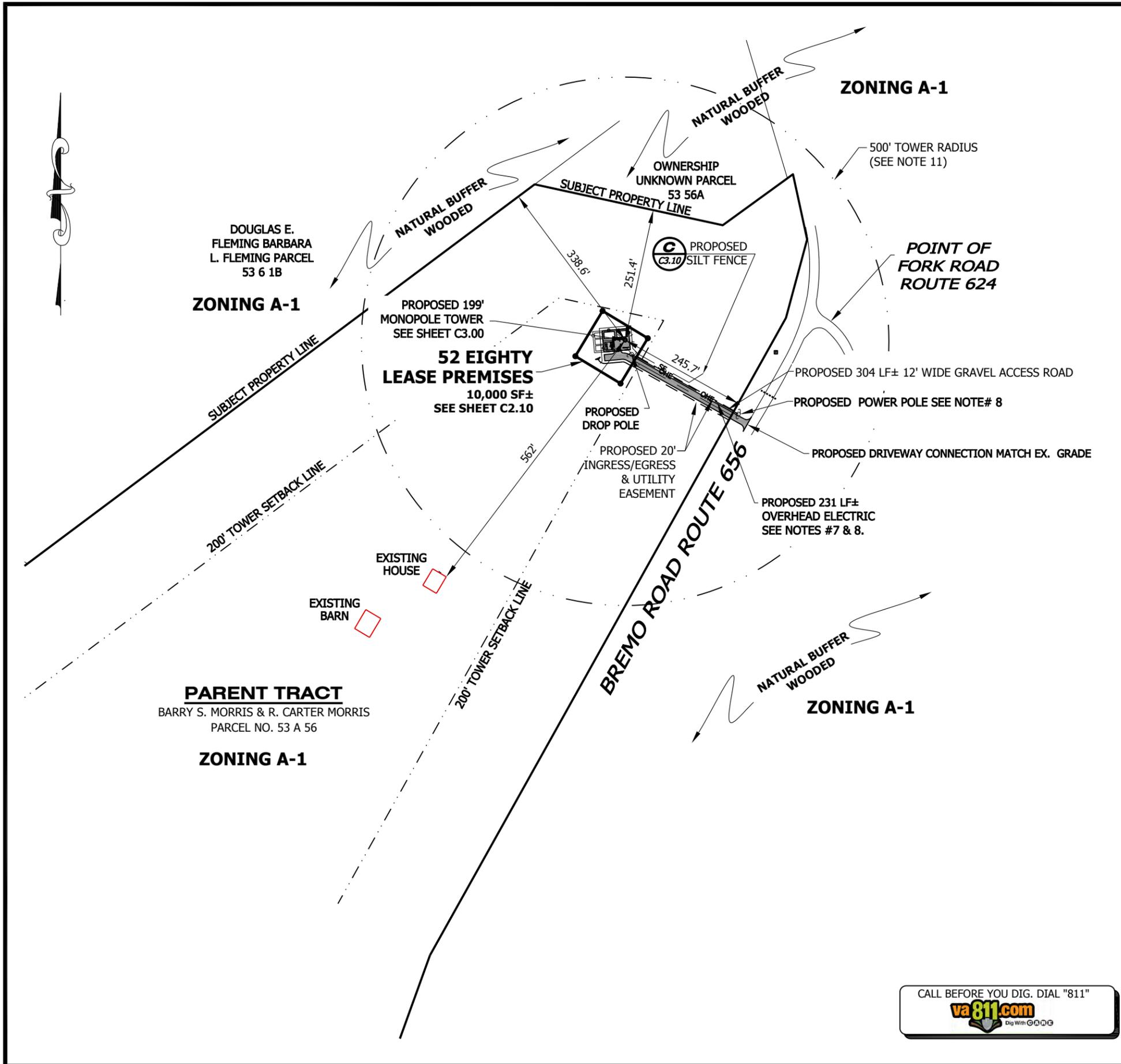
CHAD TUTTLE
PROFESSIONAL ENGINEER
REGISTRATION
No.: 0402 039105

JOB INFORMATION
SR: VA62387
SITE ID: VA-901
SITE NAME: MORRIS

SHEET TITLE

LEGAL DESCRIPTIONS

SHEET NUMBER
C1.40



NOTES:

- SEE LEGEND, ABBREVIATIONS AND GENERAL NOTES ON SHEET T1.00, C1.00 & C1.10.
- TOWER LATITUDE, LONGITUDE AND ELEVATION WERE FURNISHED BY CLIENT.
- 199' MONOPOLE TOWER.
CENTER OF TOWER:
NAD 83

LATITUDE: N 37°45'36.05"
LONGITUDE: W 78°12'04.85"
ELEVATION: 345.8' NAVD 88
- THE PERPENDICULAR DISTANCES FROM THE CENTER OF THE PROPOSED TOWER TO THE PARENT TRACT BOUNDARY LINES ARE BASED ON SURVEY DATA PROVIDED BY THE CLIENT:

NORTHWEST: 338.6'±
NORTH: 251.4'±
SOUTHEAST: 245.7'±
- THE CONTRACTOR SHALL FIELD-VERIFY THE LOCATION OF ALL EXISTING ABOVE GROUND AND UNDERGROUND IMPROVEMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY NECESSARY RELOCATION OR REPAIR OF UNDERGROUND IMPROVEMENTS DUE TO DAMAGE CAUSED DURING CONSTRUCTION.
- ALL SITE WORK SHALL BE CAREFULLY COORDINATED BY THE CONTRACTOR WITH LOCAL GAS, ELECTRIC, TELEPHONE AND ANY OTHER UTILITY COMPANY HAVING JURISDICTION OVER THIS PROJECT.
- OVERHEAD UTILITIES ARE ENCOURAGED TO MINIMIZE CONSTRUCTION COST. THE PLACEMENT OF NEW POWER POLES SHALL BE COORDINATED WITH SERVICE PROVIDER PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- TELCO SERVICE WILL BE PROVIDED BY A MICROWAVE BACKHAUL NETWORK.
- WHEN UNDERGROUND ELECTRIC SERVICE IN 2-4" SCH 40 PVC CONDUIT. INSTALL IN ACCORDANCE WITH OSHA AND ALL APPLICABLE CODES.
- THERE ARE NO RESIDENTIAL STRUCTURES WITHIN THE 500' TOWER RADIUS AS SHOWN HEREON.

SITE DATA:			
DESCRIPTION	SF	AC	%
LEASE PREMISES	10,000	0.230	
TOTAL PROJECT AREA	10,000	0.230	100.0
IMPERVIOUS AREA	680	0.016	6.8
GRAVEL SURFACE	1,382	0.032	13.82
OPEN AREA	7,938	0.182	79.38
GRAVEL ACCESS ROAD	3,764		

52 EIGHTY
52 EIGHTY, LLC
5860 CLARION STREET, SUITE 101
CUMMING, GA 30040
PHONE: (404) 382-5280

WIRELESS VISION L.L.C.
Site Development Services
SCALE: 1" = 200'

SCALE VERIFICATION
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CHECKED:	GAM
DESIGNED:	JAE
JOB NUMBER:	319-127-34

CAD FILE: /ENG/5280/TMO VA62387 CD'S.DWG

B+T GRP
1717 S. BOULDER AVE.
SUITE 300
TULSA, OK 74119
PH: (918) 587-4630
www.btgrp.com

VIRGINIA CERTIFICATE OF AUTHORIZATION # 040705047
CHAD E. TUTTLE
L.C. No. 089105
PROFESSIONAL ENGINEER

CHAD TUTTLE
PROFESSIONAL ENGINEER
REGISTRATION
No.: 0402 039105

JOB INFORMATION
SR: VA62387
SITE ID: VA-901
SITE NAME: MORRIS

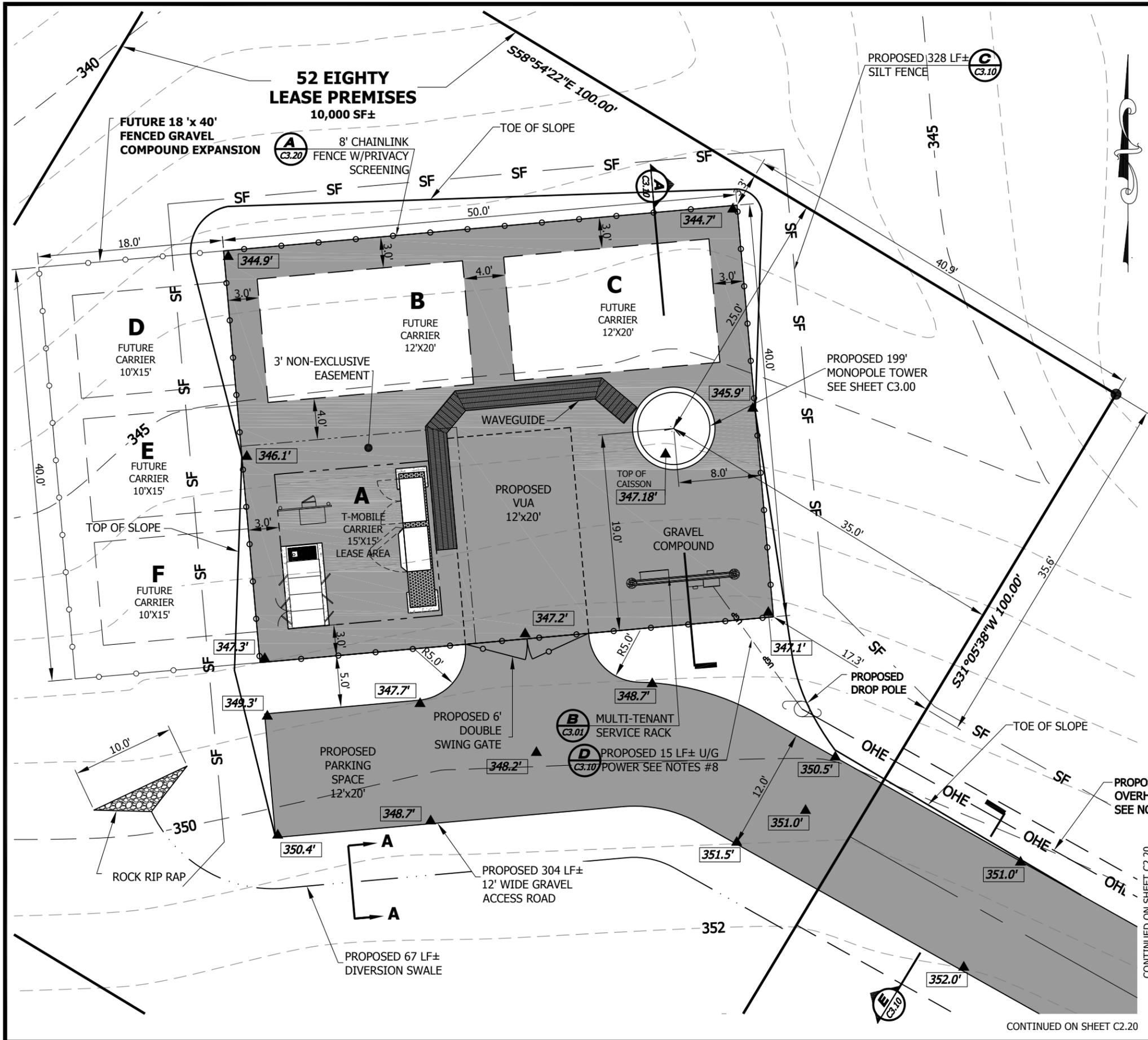
SHEET TITLE

MASTER SITE PLAN

SHEET NUMBER
C2.00

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NOTE:
ABSOLUTELY NO PORTION OF THE LEASE PARCEL OR THE FENCED COMPOUND SHALL BE LOCATED OVER ANY FIBER OPTIC CABLES, EXISTING GROUNDING SYSTEMS OR EXISTING UTILITIES.



- NOTES:**
1. SEE LEGEND, ABBREVIATIONS & GENERAL NOTES ON SHEETS T1.00, C1.00 & C1.10.
 2. ELEVATION DATA SHOWN HEREON IS BASED ON AN NAVD 88. SEE SHEET C2.00 FOR BENCHMARK INFORMATION,
 3. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL EXISTING ABOVE GROUND AND BELOW GROUND IMPROVEMENTS.
 4. TOWER AND CONCRETE CAISSON TO BE DESIGNED BY OTHERS. TOP OF CONCRETE CAISSON TO BE 10" AFG.
 5. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY SERVICE PROVIDERS PRIOR TO PROJECT BID.
 6. ALL SITE WORK SHALL BE CAREFULLY COORDINATED BY THE CONTRACTOR WITH LOCAL GAS, ELECTRIC, TELEPHONE AND ANY OTHER UTILITY COMPANY HAVING JURISDICTION OVER THIS PROJECT.
 7. OVERHEAD UTILITIES ARE ENCOURAGED TO MINIMIZE CONSTRUCTION COST. THE PLACEMENT OF NEW POWER POLES SHALL BE COORDINATED WITH SERVICE PROVIDER PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 8. ELECTRIC SERVICE IN 2-4" SCH 40 PVC CONDUIT. INSTALL IN ACCORDANCE WITH OSHA AND ALL APPLICABLE CODES.

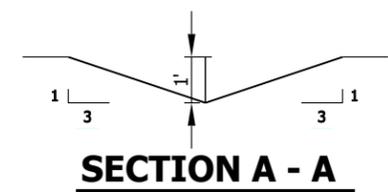
LEGEND:

10.2' INDICATES PROPOSED SPOT ELEVATION

NOTE:
SEE SHEET C1.30 FOR BENCHMARK INFORMATION

NOTE:
ABSOLUTELY NO PORTION OF THE LEASE PARCEL OR THE FENCED COMPOUND SHALL BE LOCATED OVER ANY FIBER OPTIC CABLES, EXISTING GROUNDING SYSTEMS OR EXISTING UTILITIES.

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CONTINUED ON SHEET C2.20

CONTINUED ON SHEET C2.20

52 EIGHTY
 52 EIGHTY, LLC
 5860 CLARION STREET, SUITE 101
 CUMMING, GA 30040
 PHONE: (404) 382-5280

WIRELESS VISION L.L.C.
 Site Development Services
SCALE: 1" = 10'

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B+T GRP
 1717 S. BOULDER AVE.
 SUITE 300
 TULSA, OK 74119
 PH: (918) 587-4630
 www.btgrp.com
 VIRGINIA REGISTERED PROFESSIONAL ENGINEER
 OF AUTHORIZATION # 0907015047

CHAD E. TUTTLE
 Lic. No. 039105
 5/28/14

PROFESSIONAL ENGINEER SEAL

CHAD TUTTLE
 PROFESSIONAL ENGINEER
 REGISTRATION
 No.: 0402 039105

JOB INFORMATION
SR: VA62387
SITE ID: VA-901
SITE NAME: MORRIS

SHEET TITLE
PROPOSED IMPROVEMENTS

SHEET NUMBER
C2.10

LEGEND:

10.2' INDICATES PROPOSED SPOT ELEVATION

NOTE:
SEE SHEET C1.30 FOR BENCHMARK INFORMATION

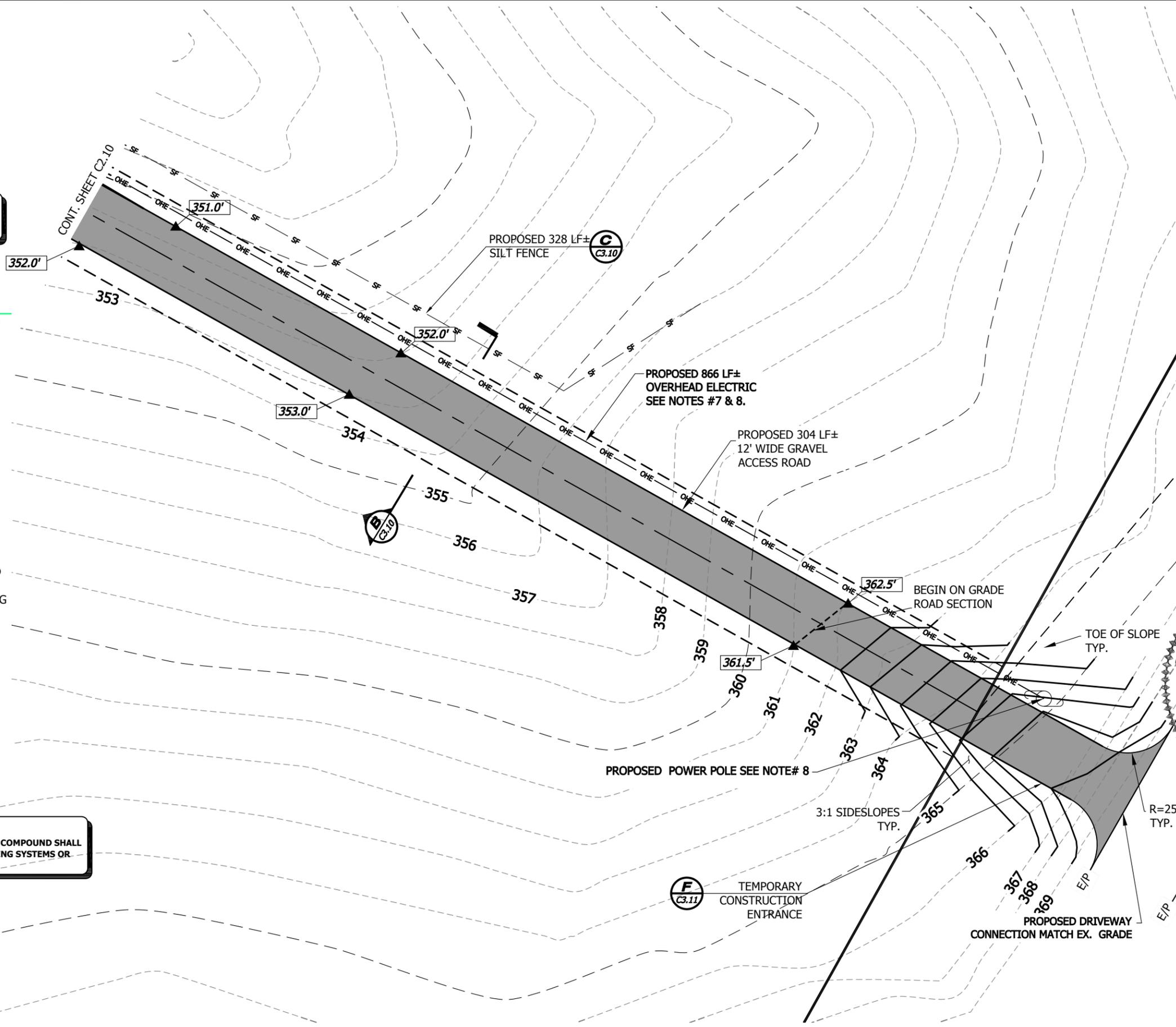
CALL BEFORE YOU DIG. DIAL "811"



NOTES:

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NOTE:
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52 EIGHTY, LLC
5860 CLARION STREET, SUITE 101
CUMMING, GA 30040
PHONE: (404) 382-5280



Site Development Services
SCALE: 1"=20'

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0 1"
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CAD FILE:	/ENG/5280/TMO VA62387 CD'S.DWG

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1717 S. BOULDER AVE.
SUITE 300
TULSA, OK 74119
PH: (918) 587-4630
www.btgrp.com

VIRGINIA CERTIFICATE OF PROFESSIONAL ENGINEERING
CHAD E. TUTTLE
Lic. No. 039105
8/8/14
PROFESSIONAL ENGINEER

CHAD TUTTLE
PROFESSIONAL ENGINEER
REGISTRATION
No.: 0402 039105

JOB INFORMATION
SR: VA62387
SITE ID: VA-901
SITE NAME: MORRIS

SHEET TITLE
PROPOSED IMPROVEMENTS

SHEET NUMBER
C2.20

52 EIGHTY
 52 EIGHTY, LLC
 5860 CLARION STREET, SUITE 101
 CUMMING, GA 30040
 PHONE: (404) 382-5280

WIRELESS VISION L.L.C.

Site Development Services
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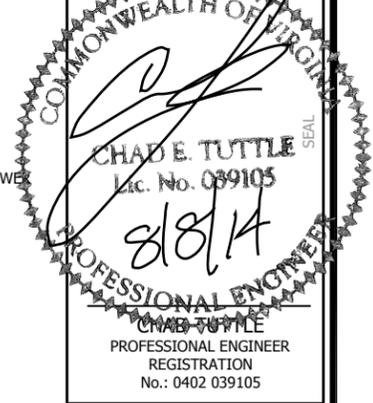
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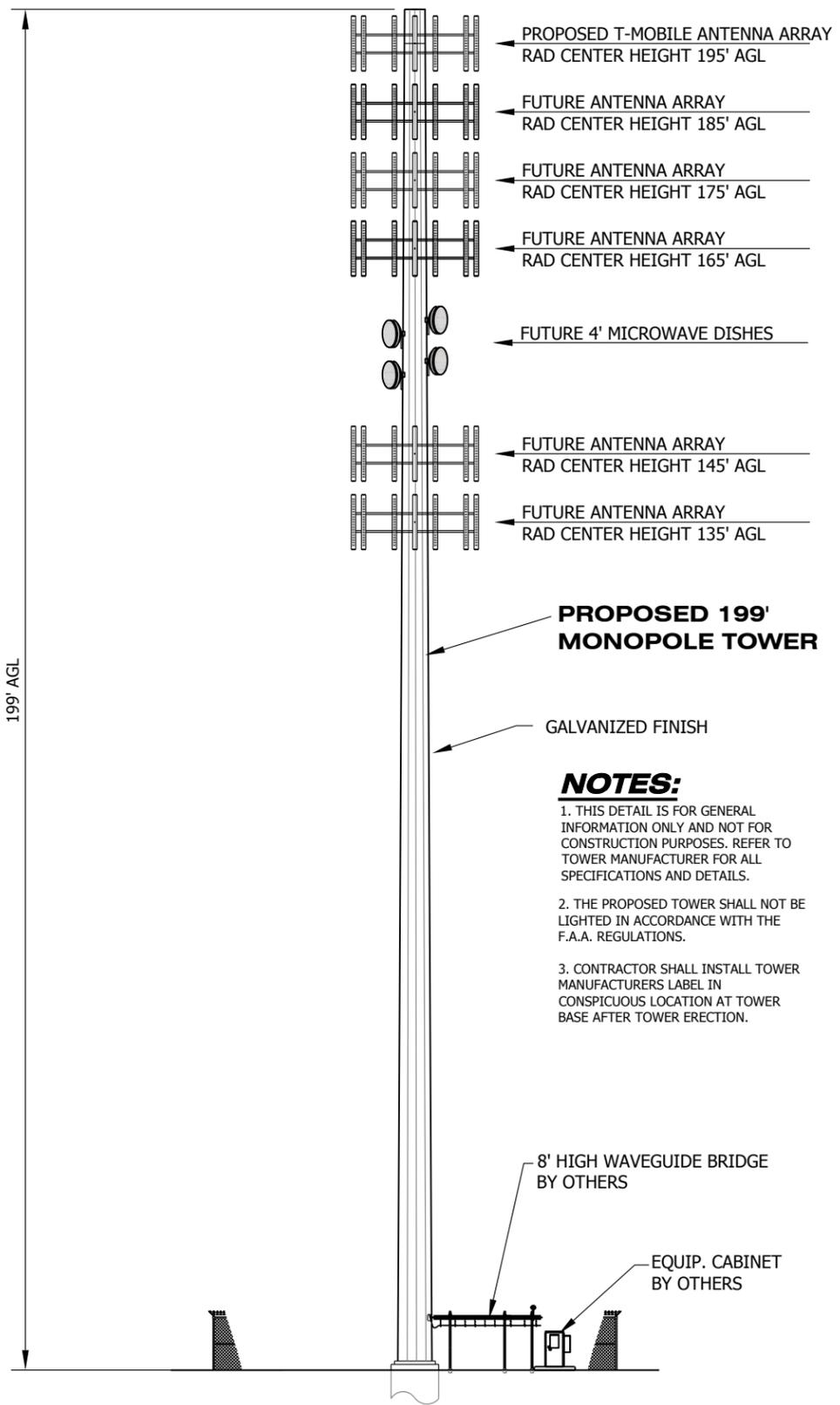


CHAD TUTTLE
 PROFESSIONAL ENGINEER
 REGISTRATION No.: 0402 039105

JOB INFORMATION
SR: VA62387
SITE ID: VA-901
SITE NAME: MORRIS

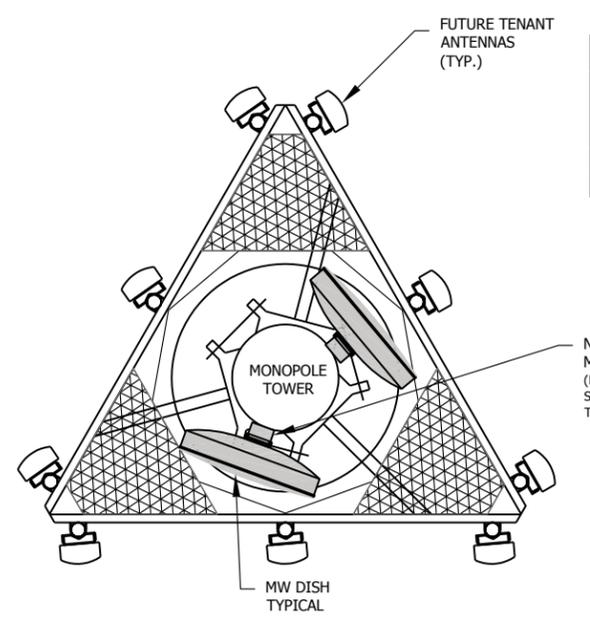
SHEET TITLE
TOWER ELEVATION & ANTENNA DETAILS

SHEET NUMBER
C3.00



- NOTES:**
1. THIS DETAIL IS FOR GENERAL INFORMATION ONLY AND NOT FOR CONSTRUCTION PURPOSES. REFER TO TOWER MANUFACTURER FOR ALL SPECIFICATIONS AND DETAILS.
 2. THE PROPOSED TOWER SHALL NOT BE LIGHTED IN ACCORDANCE WITH THE F.A.A. REGULATIONS.
 3. CONTRACTOR SHALL INSTALL TOWER MANUFACTURERS LABEL IN CONSPICUOUS LOCATION AT TOWER BASE AFTER TOWER ERECTION.

MONOPOLE TOWER ELEVATION VIEW N.T.S. **A**



ANTENNA & CABLE SCHEDULE

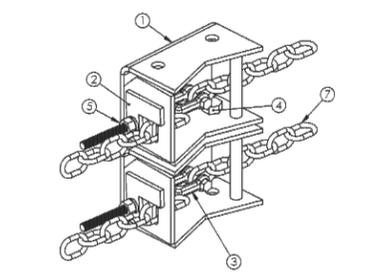
	AZIMUTH	HEIGHT AGL	ANTENNA TYPE	MFG & ANTENNA MODEL NO.	QTY.	FEEDER TYPE	TOTAL FEEDER LENGTH	# OF FEEDER(S)
4' MW DISH	TBD	TBD	MW	ANDREW VHLPX4-11	4	TBD	TBD	TBD

NOTE:
 FOR ANTENNA ORIENTATION AND NUMBER OF ANTENNAS SEE SHEET A-1

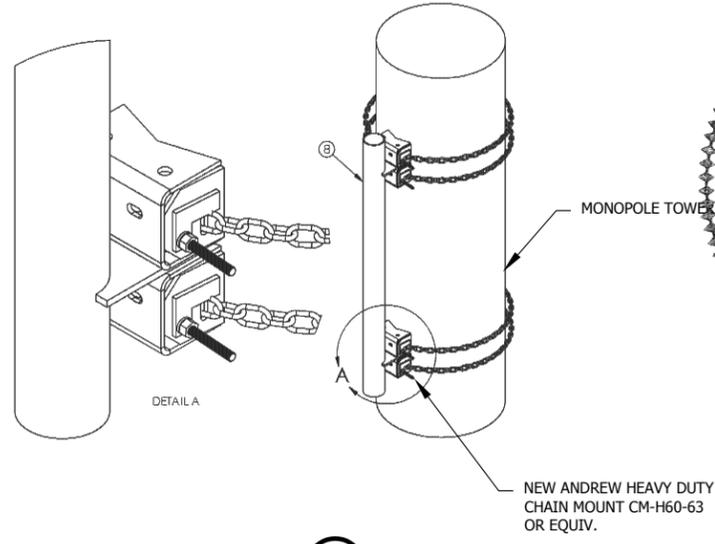
ANTENNA LAYOUT N.T.S. **B**

ITEM	PART NO.	DESCRIPTION	QTY	WEIGHT
1	CM.01	CHAIN MOUNT ANCHOR	4	5.25
2	CM.03	CHAIN LOCK	4	0.27
3	CM.04	1/2" RIGHT HAND THREAD JAW	4	0.55
4	G8-0516A	5/8" X 1-3/4" GALV BOLT KIT (A325)	4	0.25
5	GWL-04	1/2" GALV LOCK WASHER	4	0.01
6	GN-04	1/2" GALV HEX NUT (C2)	4	0.04
7	G4-0-XXX	G-40 CHAIN (SEE TABLE)	4	
8	IMT-XXX	PIPE MOUNT		

PART NUMBER	WEIGHT	PIPE MOUNT	QTY	CHAIN	CHAIN LENGTH
CM-H30-B	52.12	NONE	0	G4-0-96	96"
CM-H30-S	116.62	MT-395	1	G4-0-96	96"
CM-H90-B	75.12	NONE	0	G4-0-192	192"
CM-H90-S	140.62	MT-395	1	G4-0-192	192"



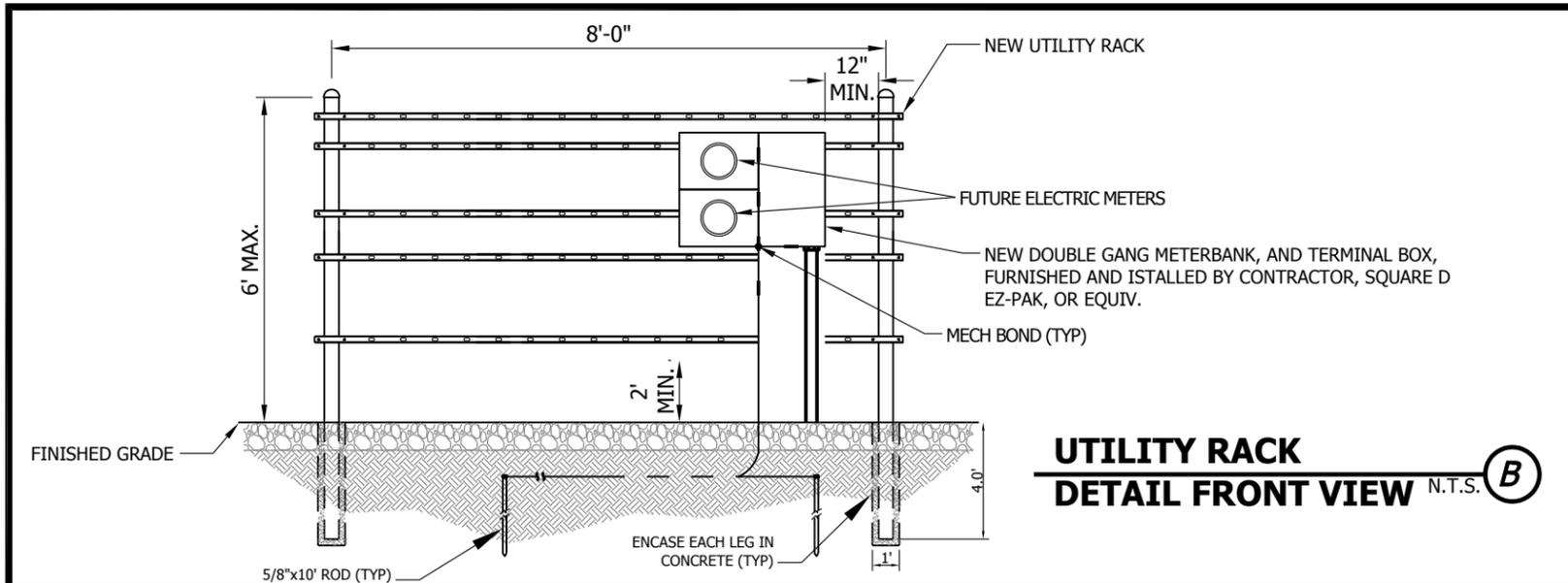
NOTES:
 1. ATTACH THE PIPES OR PIPE MOUNTS TO THE BRACKETS PRIOR TO ADDING THE JAW - BOLT/CHAIN ASSEMBLY



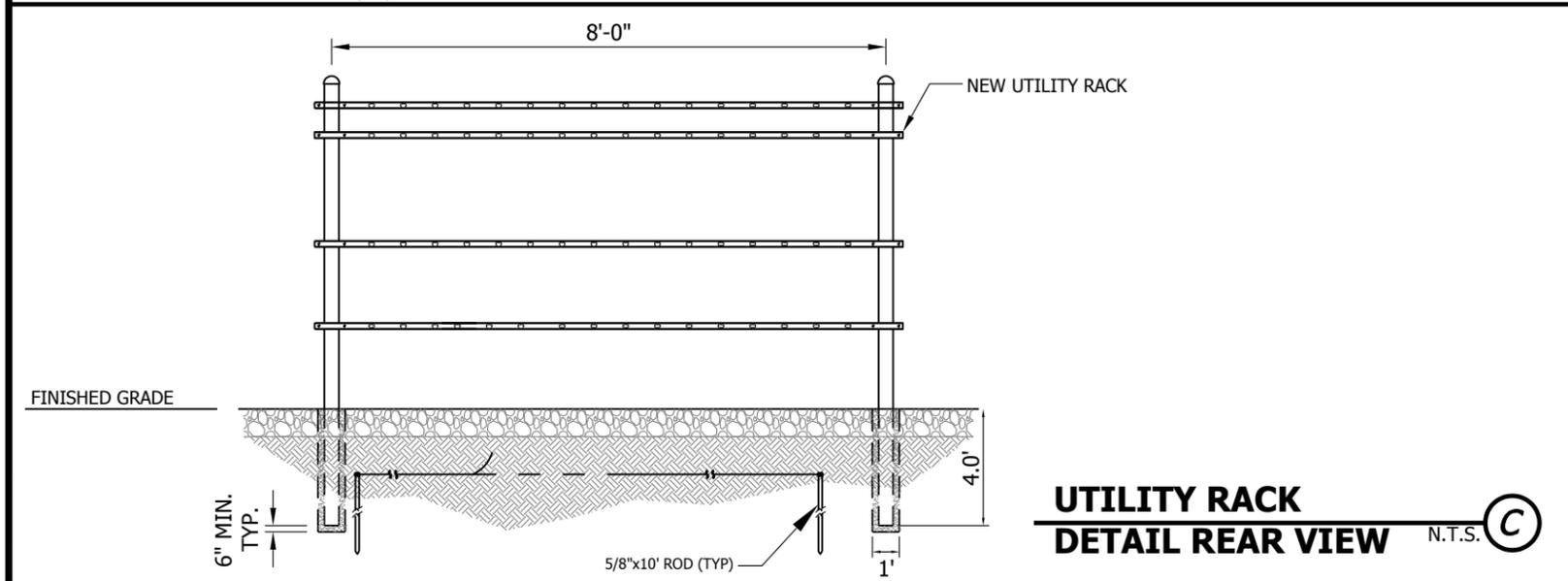
HEAVY DUTY CHAIN MOUNT N.T.S. **C**

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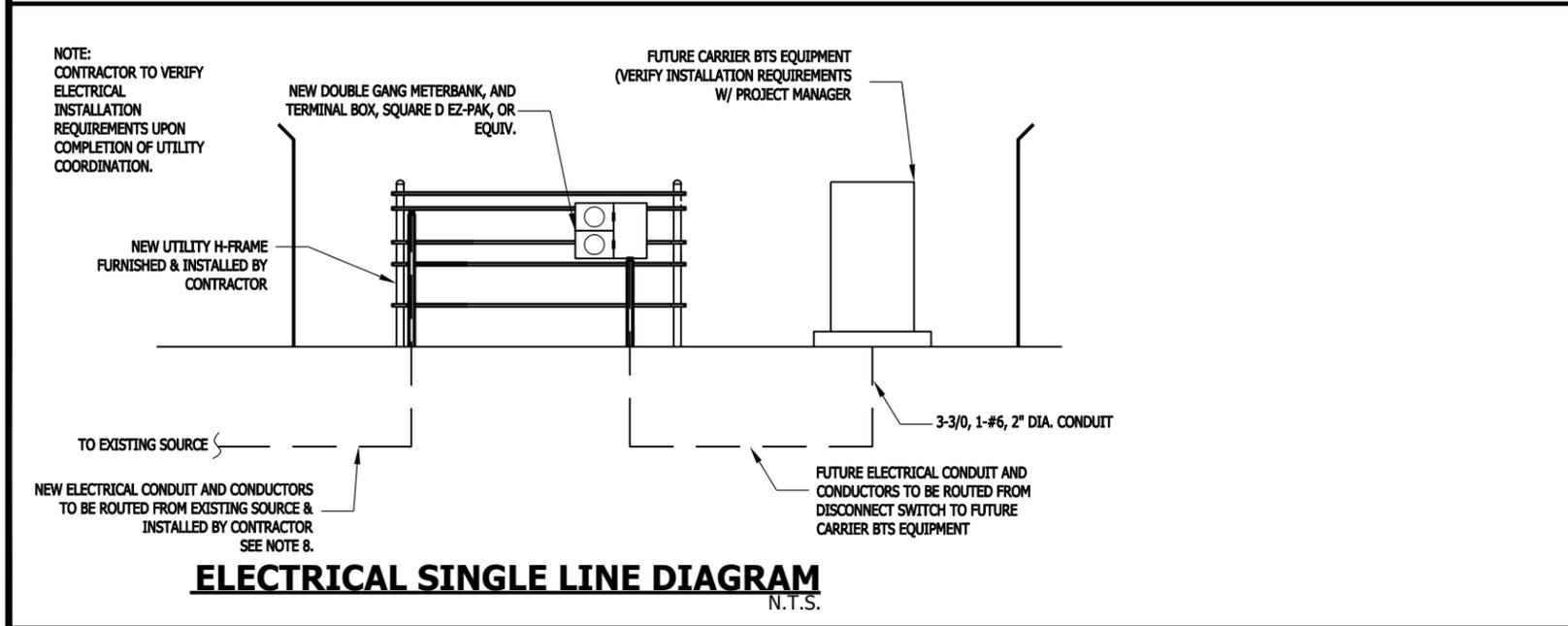
NOTE:
 ABSOLUTELY NO PORTION OF THE LEASE PARCEL OR THE FENCED COMPOUND SHALL BE LOCATED OVER ANY FIBER OPTIC CABLES, EXISTING GROUNDING SYSTEMS OR EXISTING UTILITIES.



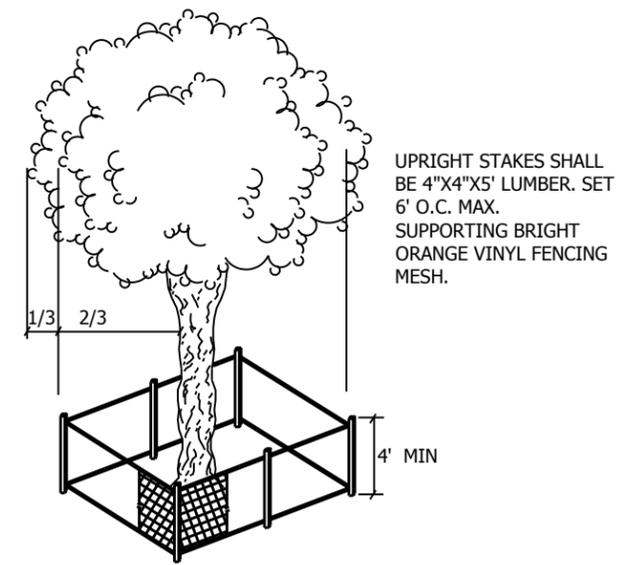
**UTILITY RACK
DETAIL FRONT VIEW** N.T.S. (B)



**UTILITY RACK
DETAIL REAR VIEW** N.T.S. (C)



ELECTRICAL SINGLE LINE DIAGRAM
N.T.S.



TREE BARRICADE DETAIL (D)

CONSTRUCTION NOTES:

- (1) TREE BARRICADE SHOULD BE INSTALLED PRIOR TO ANY SITE CONSTRUCTION (CLEARING, GRADING, ETC.) AND SHALL REMAIN UNTIL CONSTRUCTION IS COMPLETE. NO STORING OF FILL DIRT OR BUILDING MATERIALS IS ALLOWED WITHIN THE BARRICADES.
- (2) BARRIERS TO REMAIN IN PLACE UNTIL PROJECT COMPLETION, INCLUDING LANDSCAPING.
- (3) ALL ROOTS LARGER THAN 1" ENCOUNTERED DURING SITE EXCAVATION SHALL BE CUT CLEANLY AND RECOVERED WITH SOIL.

SITE UTILITIES NOTES:

1. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY FOR FINAL AND EXACT WORK/MATERIALS REQUIREMENTS AND CONSTRUCT TO UTILITY COMPANY PLANS AND SPECIFICATIONS ONLY. CONTRACTOR SHALL FURNISH AND INSTALL ALL CONDUIT, PULL WIRES, CABLES, PULL BOXES, CONCRETE ENCASEMENT OF CONDUIT (IF REQUIRED), TRANSFORMER PAD, BARRIERS, POLE RISERS, TRENCHING, BACKFILL, PAY ALL UTILITY COMPANY FEES AND INCLUDE ALL REQUIREMENTS IN SCOPE OF WORK.
2. ELECTRICAL CONTRACTOR SHALL VERIFY EXACT ROUTE OF ELECTRICAL CONDUITS.
3. INSTALL (2) 5/8"x10' CW GROUND RODS (MIN. 10' O.C.)
4. CONNECT METER ENCLOSURE AND RACK TO GROUND RODS WITH #2 BARE COPPER.
5. BOND TELCO BOX TO GROUND WITH MIN. #2 BARE COPPER.
6. MODULAR METER PACKAGE SHALL HAVE A MINIMUM IAC RATING OF 42 KA AT 240V.
7. ALL HARDWARE TO BE "HOT DIPPED" GALVANIZED STEEL OR STAINLESS STEEL.
8. CONTRACTOR SHALL COORDINATE ELECTRIC SERVICE WITH POWER COMPANY. PROVIDE POWER COMPANY APPROVED CONDUCTORS AS REQUIRED TO PROVIDE 600 AMP SERVICE TO THE PROPOSED 52 EIGHTY FACILITY.



NOTE:
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52 EIGHTY
52 EIGHTY, LLC
5860 CLARION STREET, SUITE 101
CUMMING, GA 30040
PHONE: (404) 382-5280

WIRELESS VISION L.L.C.
Site Development Services
NOT TO SCALE

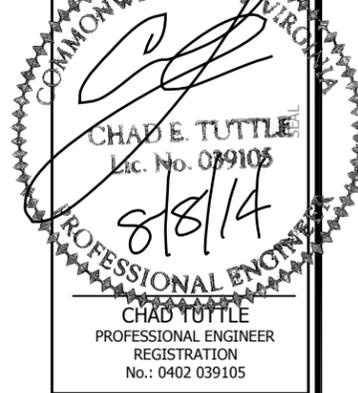
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REVISIONS		
NO.	DESCRIPTION	DATE

DATE: 5-25-14
DRAWN: JAE
CHECKED: GAM
DESIGNED: JAE
JOB NUMBER: 319-127-34
CAD FILE: /ENG/5280/TMO VA62387 CD'S.DWG

B+T GRP
1717 S. BOULDER AVE.
SUITE 300
TULSA, OK 74119
PH: (918) 587-4630
www.btgrp.com

VIRGINIA CERTIFICATE OF AUTHORIZATION: 0407 005047



CHAD TUTTLE
PROFESSIONAL ENGINEER
REGISTRATION No.: 0402 039105

JOB INFORMATION

SR: VA62387
SITE ID: VA-901
SITE NAME: MORRIS

ENGINEERING DETAILS

SHEET NUMBER
C3.01

52 EIGHTY
 52 EIGHTY, LLC
 5860 CLARION STREET, SUITE 101
 CUMMING, GA 30040
 PHONE: (404) 382-5280

WIRELESS VISION L.L.C.
 Site Development Services
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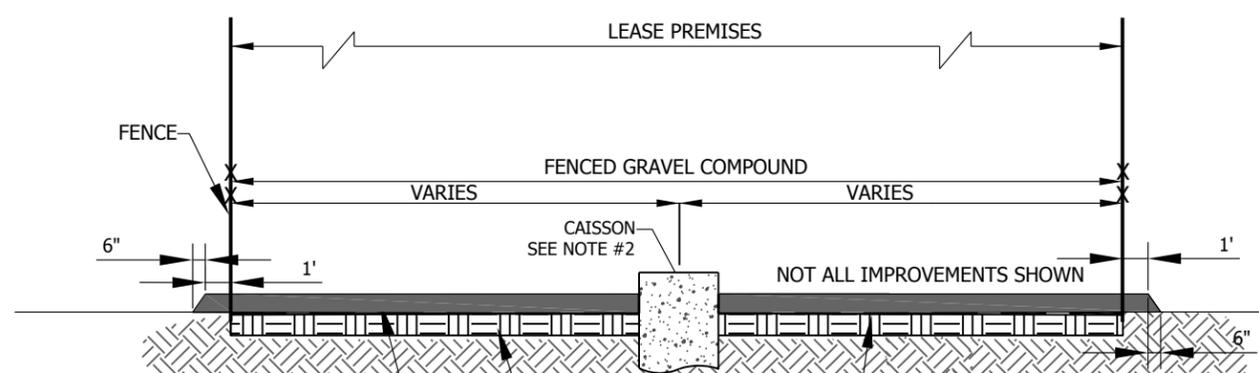
VIRGINIA CERTIFICATE OF AUTHORIZATION # 040-905047
CHAD E. TUTTLE
 Lic. No. 039105
 5/18/14
 PROFESSIONAL ENGINEER
 CHAD TUTTLE
 PROFESSIONAL ENGINEER
 REGISTRATION
 No.: 0402 039105

JOB INFORMATION
SR: VA62387
SITE ID: VA-901
SITE NAME: MORRIS

SHEET TITLE

ENGINEERING DETAILS

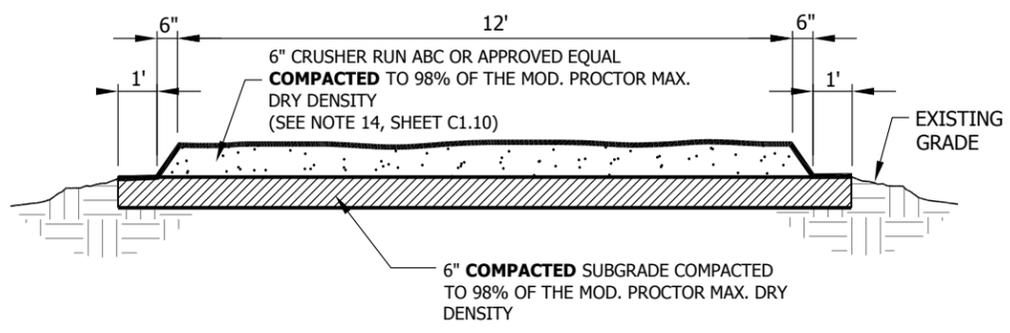
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C3.10



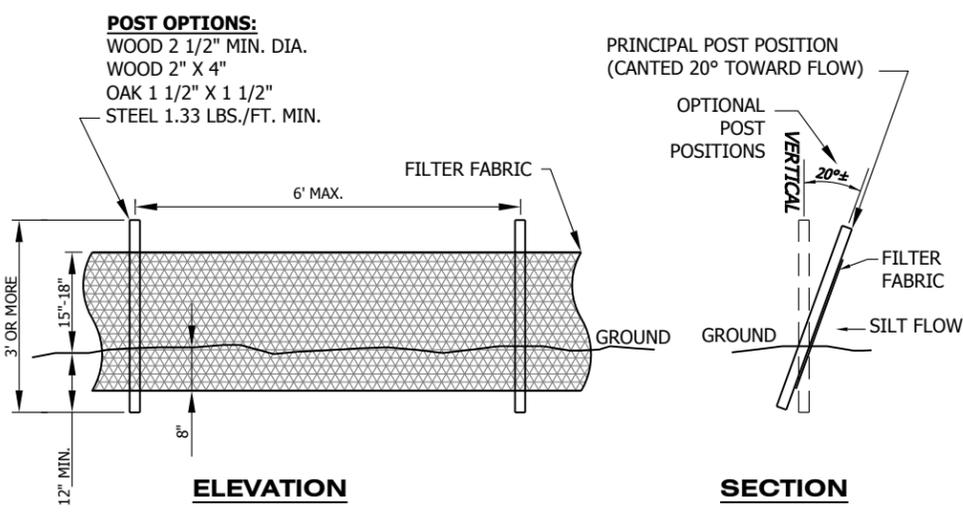
NOTES:
 1. MIRAFI 500X WOVEN POLYPROPYLENE GEOTEXTILE FABRIC SHALL BE PLACED UNDER ALL GRAVEL SURFACES.
 2. REFERENCE TOWER FOUNDATION DRAWINGS FOR CONSTRUCTION OF PROPOSED TOWER CAISSON.
 3. **SOIL POISON** - ALL FINISH SUBGRADE SURFACES LAYING BENEATH THE COMPOUND GRAVEL SURFACE SHALL RECEIVE A LEGAL FULL STRENGTH APPLICATION OF PRAMITOL 5PS SOIL TREATMENT HERBICIDE. THE CONTRACTOR SHALL PROVIDE PRODUCT APPLICATION IN ACCORDANCE WITH ALL OF THE MANUFACTURER'S SPECIFICATIONS. APPLICATION SHALL OCCUR ON BARE SOIL, AFTER THE INSTALLATION OF THE LIGHTNING PROTECTION SYSTEM, AND IMMEDIATELY PRIOR TO THE CONSTRUCTION OF THE BASE COURSE. THIS PRODUCT SHALL BE HANDLED IN STRICT ACCORDANCE WITH THE ENVIRONMENTAL SAFETY PRACTICES NOTE 3. AS LISTED ON SHEET C1.00.

GRAVEL COMPOUND SECTION
 N.T.S. **A**

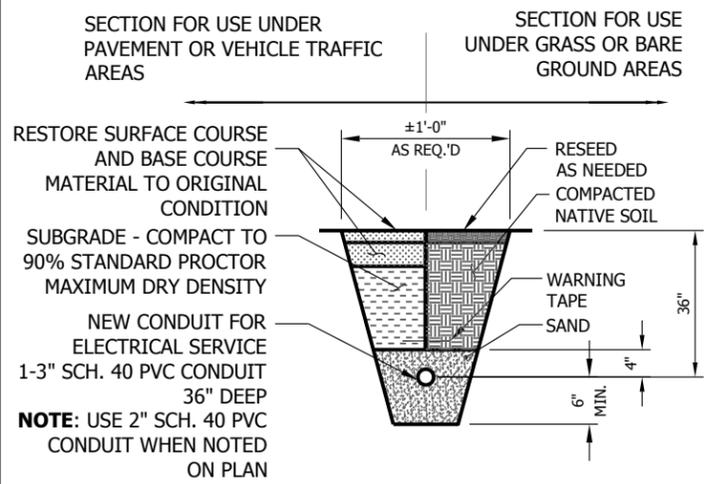
NOTES:
 1. EXCAVATED MATERIAL SHALL BE REMOVED AND DEPOSITED OFF-SITE AT AN APPROVED LOCATION.



"ON GRADE" GRAVEL ROAD SECTION
 N.T.S. **B**

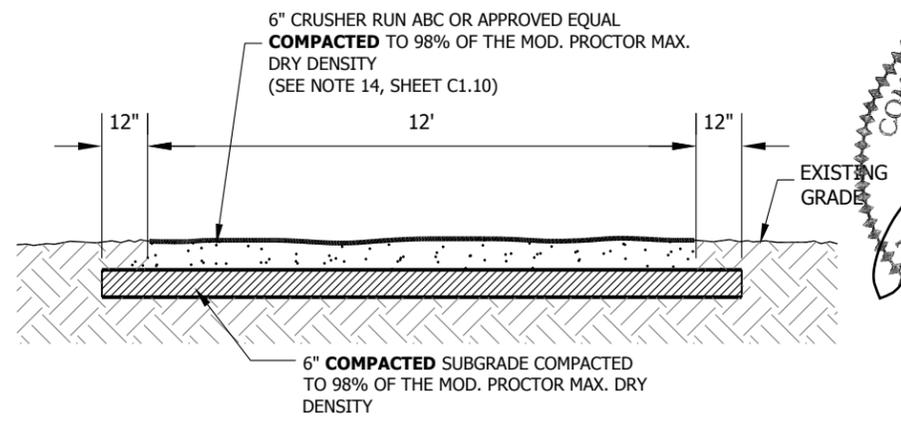


SILT FENCE DETAIL
 N.T.S. **C**



UTILITY TRENCH DETAIL
 N.T.S. **D**

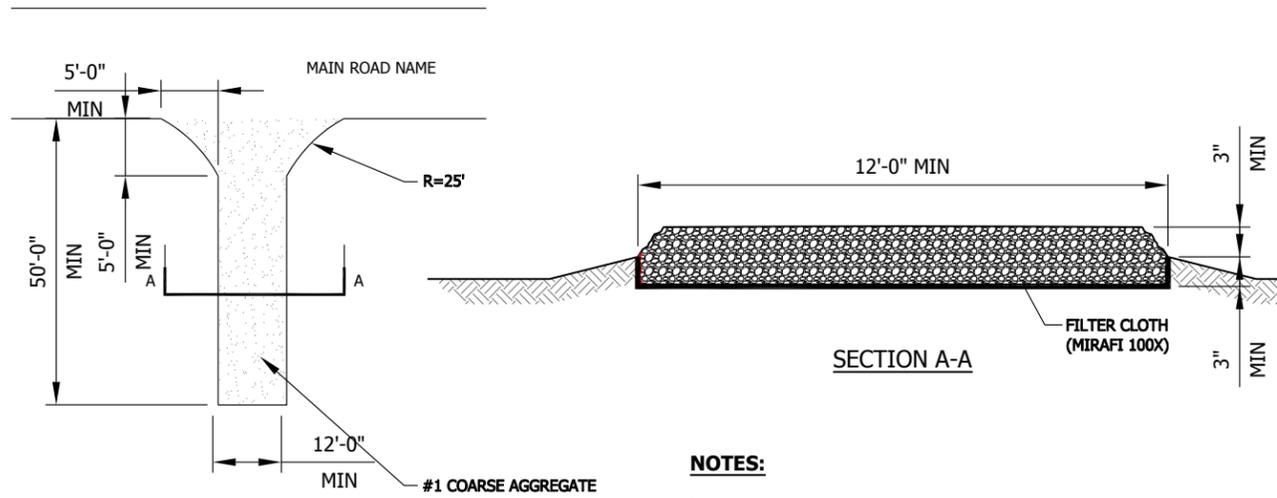
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"AT GRADE" GRAVEL ROAD SECTION
 N.T.S. **E**

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NOTE:
 ABSOLUTELY NO PORTION OF THE LEASE PARCEL OR THE FENCED COMPOUND SHALL BE LOCATED OVER ANY FIBER OPTIC CABLES, EXISTING GROUNDING SYSTEMS OR EXISTING UTILITIES.



NOTES:
 1. AGGREGATE SIZE: AGGREGATE SHALL BE #1 COARSE AGGREGATE (2-3" STONE).

**TYPICAL GRAVEL CONSTRUCTION
 ENTRANCE DETAIL**

N.T.S. (F)

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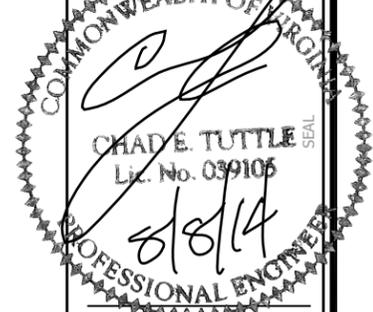
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REVISIONS		
NO.	DESCRIPTION	DATE

DATE:	5-25-14
DRAWN:	JAE
CHECKED:	GAM
DESIGNED:	JAE
JOB NUMBER:	319-127-34
CAD FILE: /ENG/5280/TMO VA62387 CD'S.DWG	

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 SUITE 300
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VIRGINIA CERTIFICATE OF AUTHORIZATION # 0402039105



CHAD TUTTLE
 PROFESSIONAL ENGINEER
 REGISTRATION
 No.: 0402 039105

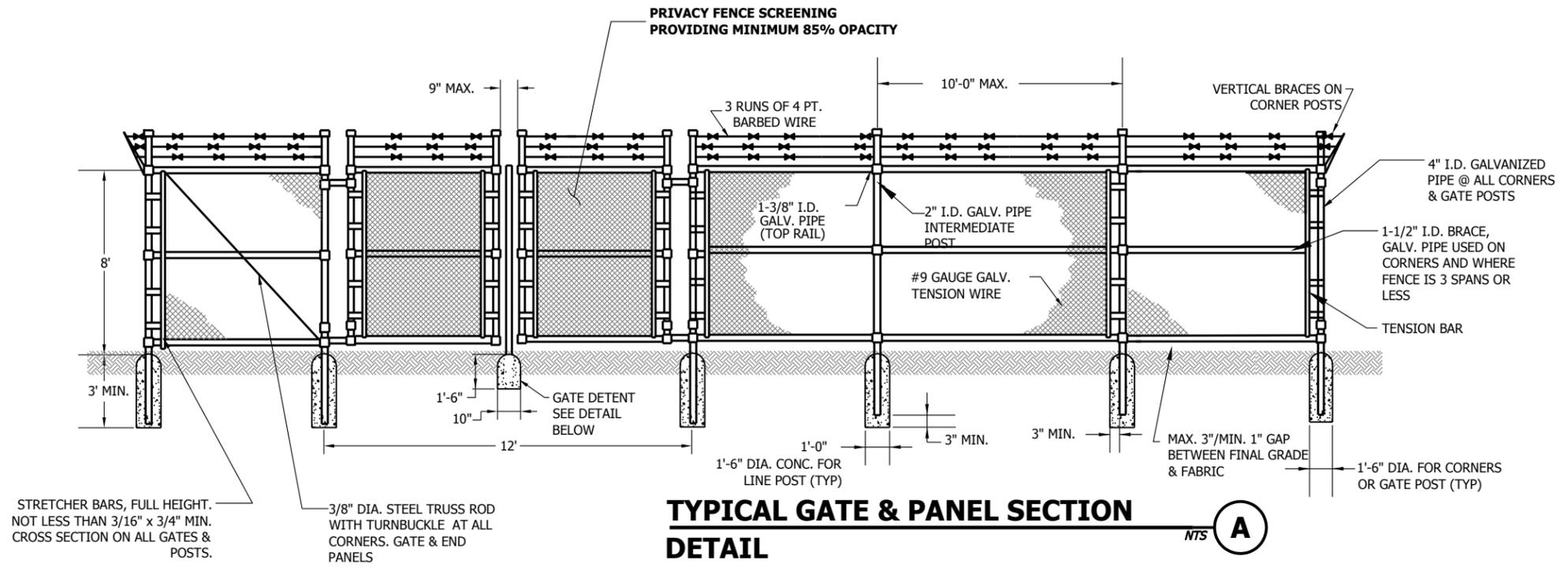
JOB INFORMATION
SR: VA62387
SITE ID: VA-901
SITE NAME: MORRIS

SHEET TITLE
**ENGINEERING
 DETAILS**

SHEET NUMBER
C3.11

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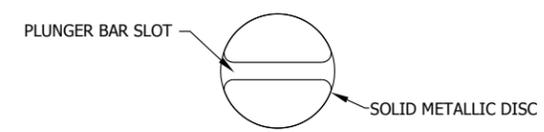
TYPICAL GATE & PANEL SECTION DETAIL NTS **A**

1. SCOPE:
1.1 THIS SECTION COVERS THE REQUIREMENTS FOR THE MATERIALS AND THE CONSTRUCTION OF SITE FENCING, ACCESS ROAD GATES AND CATTLE GUARDS. SEE SITE PLAN AND DRAWINGS FOR DETAILS.
2. SPECIAL REQUIREMENTS
2.1 ALL WIRE, FABRIC, FITTINGS, HARDWARE AND STEEL MEMBERS USED FOR SITE AREA FENCING, AND ACCESS ROAD GATES SHALL BE HOT DIPPED GALVANIZED OR OTHER APPROVED NON-CORROSIVE MATERIAL.
2.2 ALL NON-CORROSIVE MATERIAL SHALL BE APPROVED BY THE PROJECT MANAGER.
2.3 ANY DAMAGE TO GALVANIZING OR NON-CORROSIVE COATING DURING CONSTRUCTION SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S RECOMMENDED METHODS.
3. FENCE POSTS
3.1 LOCATION OF CORNER POSTS SHALL BE DETERMINED FROM STAKES AND PROPERTY PINS INSTALLED BY THE REGISTERED LAND SURVEYOR. IF THE STAKES ARE NOT PRESENT OR DO NOT CONFORM TO THE SITE PLAN, CONSULT WITH THE PROJECT MANAGER.
3.2 CORNERS AND GATE POST FOR SITE SHALL BE 4" (INSIDE DIA.) GALVANIZED PIPE. LINE POST SHALL BE 2" (INSIDE DIA.) GALVANIZED PIPE.
3.3 CORNER POSTS SHALL BE SET WITHIN ONE INCH (1") OF DIMENSIONS INDICATED ON THE SITE PLAN.
3.4 FENCE POSTS SHALL BE VERTICALLY PLUMB IN ALL PLANES WITHIN 1/2 INCH (1/2").
3.5 CORNER POST FOUNDATIONS SHALL BE A MINIMUM THREE FEET (3') DEEP OR SIX INCHES (6") BELOW THE FROST LINE, WHICHEVER IS GREATER, WITH MINIMUM THREE INCH (3") CLEARANCE BETWEEN BOTTOM OF POST AND BOTTOM OF THE HOLE.
3.6 CORNER POST FOUNDATION FOR LINE POSTS SHALL BE 12 INCHES (12") IN DIAMETER. CORNER POST FOUNDATION FOR GATE AND CORNER POSTS SHALL BE 18 INCHES (18") IN DIAMETER.
3.7 CORNER POSTS AND GATE POSTS SPACING SHALL BE EQUAL WITH A TWELVE FOOT (12') MAXIMUM SPACING. GATE POST SPACING AND SPECIFIC LOCATIONS SHALL BE IN ACCORDANCE WITH SITE PLAN AND SHALL BE VERIFIED WITH PROJECT MANAGER.
3.8 ALL POSTS EXCEPT GATE POSTS SHALL BE CAPPED WITH A COMBINATION CAP AND BARB WIRE SUPPORTING ARM. GATE POSTS SHALL BE TWELVE INCHES (12") HIGHER THAN CORNER OR LINE POSTS TO PROVIDE FOR TERMINATION OF BARBED WIRE. GATE POSTS SHALL BE CAPPED WITH STANDARD CAP.
3.9 ALL CORNER, GATE AND END PANELS SHALL HAVE MINIMUM 3/8" DIAMETER DIAGONAL TRUSS RODS WITH TURNBUCKLES. HORIZONTAL BRACE RODS, 1-1/2" INSIDE DIMENSION PIPE, SHALL BE INSTALLED BETWEEN POSTS.
3.10 A TOP RAIL (1-3/8" I.D.) GALVANIZED PIPE SHALL BE INSTALLED BETWEEN POSTS.
3.11 ALL FOUR CORNERS POSTS AND BOTH GATE POSTS SHALL BE CONNECTED TO THE SITE GROUNDING SYSTEM (REFER TO GROUNDING SYSTEM STANDARD).
4. FABRIC
4.1 FENCE FABRIC SHALL BE EIGHT FOOT (8') HIGH, UNLESS OTHERWISE SPECIFIED, #9 GAUGE, GALVANIZED CHAIN LINK FABRIC WITH TWISTED TOP SELVAGE AND KNUCKLED BOTTOM SELVAGE.
4.2 FABRIC SHALL BE TENSIONED PER MANUFACTURER'S RECOMMENDATIONS TO PRESENT A NEAT APPEARANCE. A MAXIMUM THREE INCH (3") GAP SHALL BE PERMITTED BETWEEN FABRIC AND FINAL GRADE.
4.3 FABRIC SHALL BE SECURED AT CORNER AND GATE POSTS USING STRETCHER BARS AND TENSION BAND CLIPS.
4.4 FABRIC SHALL BE SECURED TO THE TOP RAIL AND BRACE RODS USING TIE CLIPS.

4.5 THREE (3) RUNS OF 4-POINT GALVANIZED BARBED WIRE SHALL BE INSTALLED ALONG TOP OF FENCE. BARBED WIRE SHALL BE TENSIONED PER MANUFACTURER'S RECOMMENDATIONS TO PRESENT A NEAT APPEARANCE.

5. GATE
5.1 LOCATION OF GATE SHALL CONFORM TO THE SITE PLAN. GATE SIZE SHALL BE A MINIMUM TWELVE FEET (12') ACROSS.
5.2 ALL JOINTS BETWEEN TUBULAR GATE MEMBERS SHALL BE WELDED OR HEAVY FITTINGS PROVIDING RIGID AND WATERTIGHT CONNECTIONS.
5.3 GATE HINGES SHALL PROVIDE FOR 180 DEGREE RADIUS GATE SWING. ALL HINGE NUTS SHALL BE ON THE INSIDE AND DOUBLE-NUT TO DETER UNAUTHORIZED ENTRY.
5.4 PLUNGER BAR-TYPE GATE LATCH SHALL BE INSTALLED ON DOUBLE GATES AND SHALL FUNCTION PROPERLY. PLUNGER BAR LENGTH SHALL BE THE SAME HEIGHT AS THE GATE. A NON-CLOGGING GATE DETENTION ADAPTABLE TO THE PLUNGER BAR SHALL BE INSTALLED SET IN CONCRETE; SHALL HAVE A SLOTTED SOLID METALLIC DISC TOP; SET IN CONCRETE; SHALL FUNCTION PROPERLY. SEE GATE DETENT DETAIL BELOW.
5.5 GATE STOPS SHALL BE INSTALLED AND SHALL HOLD GATE IN "OPEN" POSITION.
5.6 BARBED WIRE GUARD SHALL BE INSTALLED ON TOP OF GATES. ADEQUATE CLEARANCE SHALL BE MAINTAINED TO ALLOW GATE OPERATION.
5.7 GATE SHALL BE INSTALLED PLUMB AND SHALL OPEN AND CLOSE FREELY.

NOTE: IN MOST CASES, FINAL GRADE IS APPLIED PRIOR TO FENCE INSTALLATION. THEREFORE; ALL SPOILS REMOVED TO INSTALL THE FENCE POSTS AND FENCE ACCESSORIES SHALL BE PLACED ON PLASTIC OR OTHER MEANS TO PREVENT DEBRIS FROM BLEMISHING SITE AESTHETICS. REMOVAL OF MATERIAL SHALL BE THE RESPONSIBILITY OF THE FENCE CONTRACTOR INCLUDING ANY EXCESS FENCE MATERIAL. ALL GRAVEL SURFACES SHALL BE MAINTAINED LEVEL WITH STRAIGHT CLEAN EDGES. (SEE NOTE 14 SHEET C1.10)



GATE DETENT DETAIL PLAN VIEW

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DESIGNED:	JAE
JOB NUMBER:	319-127-34

CAD FILE: /ENG/5280/TMO VA62387 CD.S.DWG

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CHAD E. TUTTLE
 Lic. No. 039105

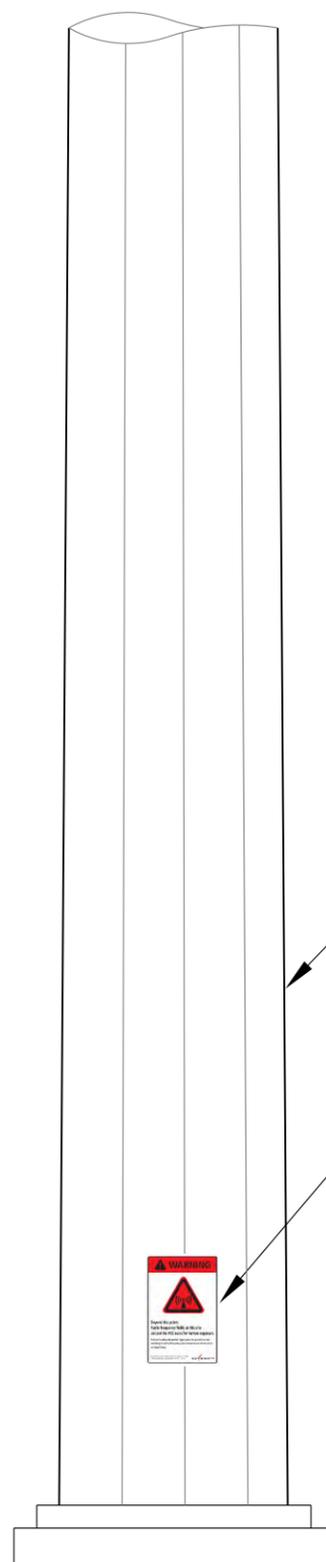
 CHAD TUTTLE
 PROFESSIONAL ENGINEER
 REGISTRATION
 No.: 0402 039105

JOB INFORMATION
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SITE ID: VA-901
SITE NAME: MORRIS

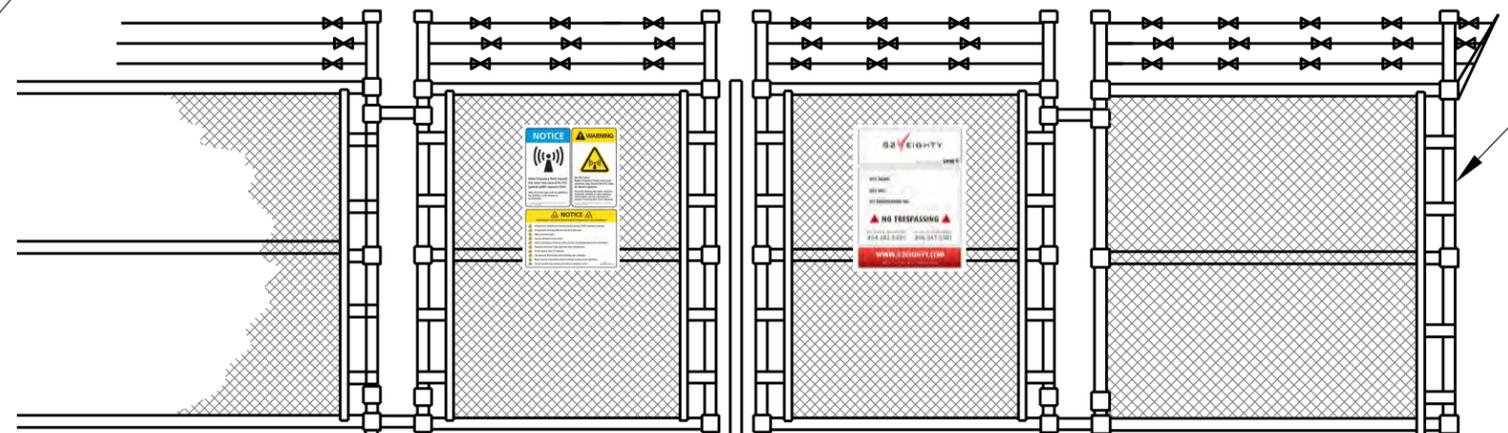
SHEET TITLE

FENCE DETAILS

SHEET NUMBER
C3.20



3 DECAL SIGNS SPACED 120° APART AROUND TOWER BASE.



WARNING

Beyond this point:
Radio frequency fields at this site exceed the FCC rules for human exposure.

Failure to obey all posted signs and site guidelines for working in radio frequency environments could result in serious injury.

In accordance with Federal Communications Commission rules on radio frequency emissions 47 CFR 1.1307(b).

NOTICE

Radio frequency fields beyond this point may exceed the FCC general public exposure limit.

Obey all posted signs and site guidelines for working in radio frequency environments.

In accordance with Federal Communications Commission rules on radio frequency emissions 47 CFR 1.1307(b).

WARNING

On this tower:
Radio frequency fields near some antennas may exceed the FCC rules for human exposure.

Personnel climbing this tower should be trained for working in radio frequency environments and use a personal RF monitor if working near active antennas.

In accordance with Federal Communications Commission rules on radio frequency emissions 47 CFR 1.1307(b).

NOTICE

GUIDELINES FOR WORKING IN RADIO FREQUENCY ENVIRONMENTS

- All personnel should have electromagnetic energy (EME) awareness training.
- All personnel entering this site must be authorized.
- Obey all posted signs.
- Assume all antennas are active.
- Before working on antennas, notify owners and disable appropriate transmitters.
- Maintain minimum 3 feet clearance from all antennas.
- Do not stop in front of antennas.
- Use personal RF monitors while working near antennas.
- Never operate transmitters without shields during normal operation.
- Do not operate base station antennas in equipment room.

52 EIGHTY

FIBER TO THE TOWER BY **Level(3)**

SITE NAME: **MORRIS**

SITE NO.: **VA-901**

FCC REGISTRATION NO.:

NO TRESPASSING

FOR LEASING INFORMATION: **404.382.5280** IN CASE OF AN EMERGENCY: **866.247.5581**

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NOTES:
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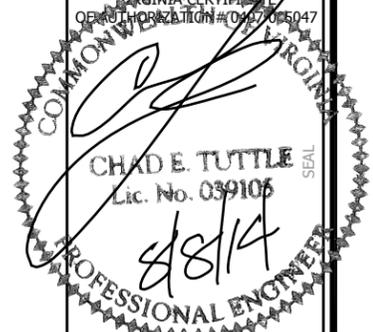
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PROFESSIONAL ENGINEER
REGISTRATION No.: 0402 039105

JOB INFORMATION

SR: VA62387
SITE ID: VA-901
SITE NAME: MORRIS

SHEET TITLE

SIGN DETAILS

SHEET NUMBER

C3.30



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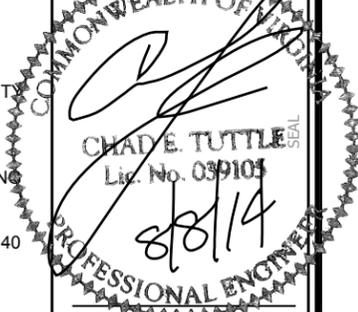
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PROFESSIONAL ENGINEER
REGISTRATION No.: 0402 039105

JOB INFORMATION
SR: VA62387
SITE ID: VA-901
SITE NAME: MORRIS

SHEET TITLE

GROUNDING PLAN

SHEET NUMBER

E1.00

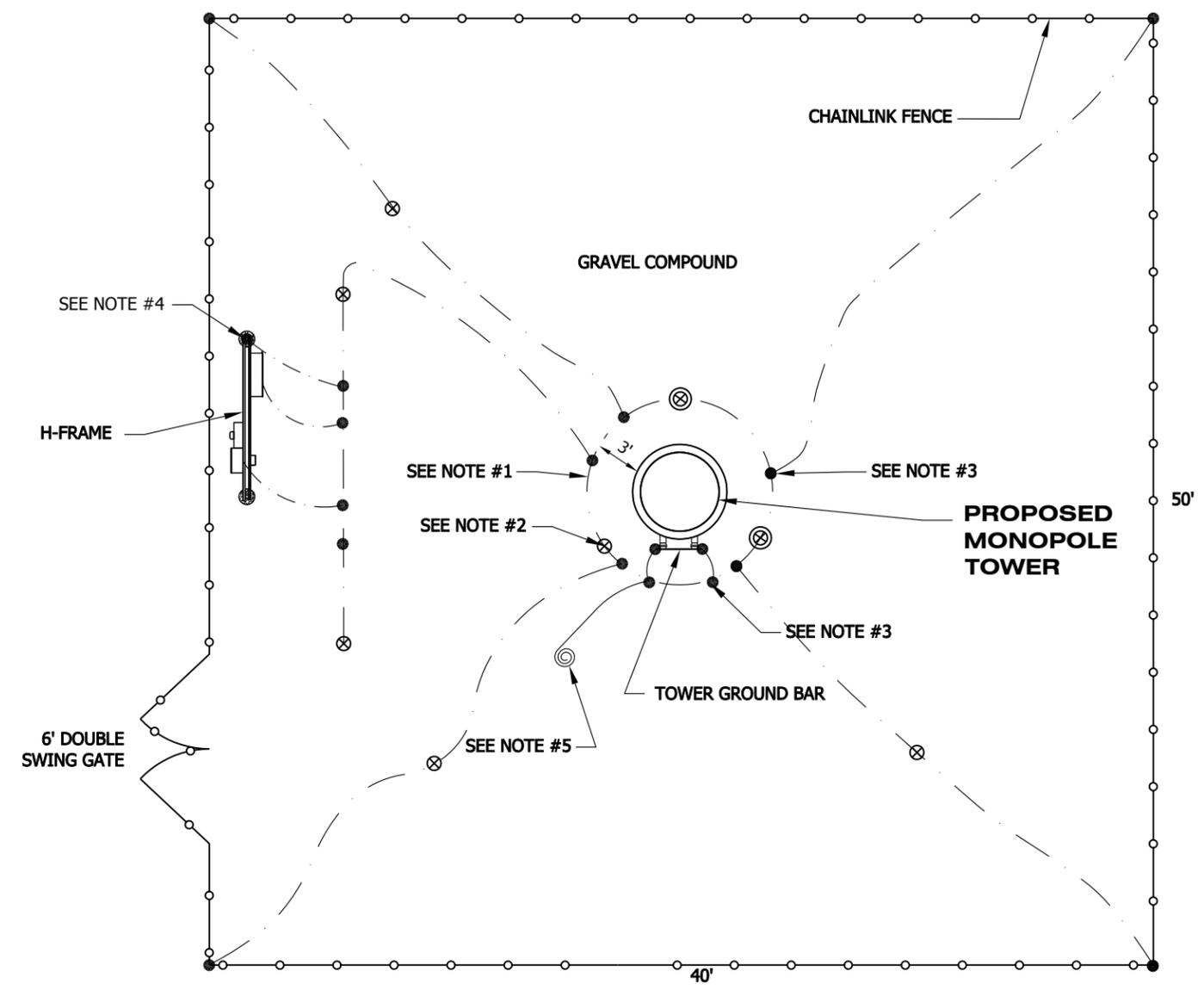
GROUNDING NOTES:

- ALL GROUNDING WORK, MATERIALS AND INSTALLATION SHALL COMPLY WITH LATEST EDITION OF THE NEC ARTICLE 250, AND SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CODE SPECIFICATIONS.
- USE #2 AWG SOLID BARE TINNED COPPER CONDUCTOR WIRE FOR ABOVE GRADE GROUNDING AND FOR THE BELOW GRADE GROUNDING AS INDICATED ON THE DRAWINGS.
- ROUTE GROUNDING CONDUCTORS ALONG THE SHORTEST AND STRAIGHTEST PATH POSSIBLE, EXCEPT AS OTHERWISE INDICATED. GROUNDING LEADS SHOULD NEVER BE BENT AT RIGHT ANGLES. ALWAYS ACCOMPLISH CORNERS AND BENDS WITH A MINIMUM 12" RADIUS.
- THE GROUND ELECTRODE SYSTEM CONSISTS OF DRIVEN THREADED GROUND RODS 5/8" DIA. X 10' UNIFORMLY SPACED AT APPROXIMATELY 20' INTERVALS SPACED AROUND THE TOWER FOUNDATION. THE GROUND RODS SHALL BE 5/8" DIAMETER COPPER CLAD STEEL. THE RODS SHALL BE INTERCONNECTED WITH AWG #2 BARE SOLID CONDUCTOR BURIED A MINIMUM 36" BELOW THE SURFACE OF THE SOIL AND TWO FEET FROM THE FOUNDATION, UNLESS NOTED OTHERWISE. IN AREAS SUBJECT TO FREEZING, THE EXTERIOR GROUND RING SHALL BE AT LEAST 6" BELOW THE FROST LINE.
- THE BACK FILL MATERIAL SHALL BE FREE OF STONES AND THOROUGHLY COMPACTED IN LAYERS NOT EXCEEDING 12" IN DEPTH.
- WHEN EARTH RESISTANCE TESTS INDICATE THAT THE SOIL IS ABOVE THE MINIMUM ALLOWABLE RESISTANCE, THE CONTRACTOR SHALL ESTIMATE THE TYPE, NUMBER, AND CONFIGURATION OF THE EARTH ELECTRODES NECESSARY TO ACHIEVE THE REQUIRED SYSTEM RESISTANCE. THE CONTRACTOR SHALL ALSO CONSIDER SITE SPECIFIC APPROACHES FOR IMPROVING EARTH RESISTANCE INCLUDING THE METHODS LISTED BELOW:
 - LENGTHEN THE EARTH ELECTRODE.
 - USE MULTIPLE THREADED, COUPLED RODS.
 - ONLY UPON PRIOR OWNER APPROVAL**, TREAT THE SOIL.
 - ONLY UPON PRIOR APPROVAL**, USE CHEMICAL RODS.
- THE CONTRACTOR MUST TEST THE COMPLETED GROUND SYSTEM AND CERTIFY IN WRITING THAT THE NEW GROUNDING SYSTEM RESISTANCE IS EQUAL TO OR LESS THAN FIVE (5) OHMS. THE CONTRACTOR MUST INCLUDE IN THE BID SUFFICIENT MATERIALS TO ACHIEVE GROUNDING RESISTANCE EQUAL TO OR LESS THAN FIVE (5) OHMS.
- THE CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION FOR THE GROUNDING SYSTEM SO AS NOT TO DISTURB EXISTING UNDERGROUND IMPROVEMENTS SUCH AS UTILITY SERVICE LINES, AND EXISTING GROUNDING SYSTEMS. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS OF UNDERGROUND ELECTRIC AND TELEPHONE SERVICE CONDUITS.
- ALL EXTERNAL GROUND CONNECTIONS SHALL BE EXOTHERMICALLY WELDED. ALL EXOTHERMIC WELDS TO THE BURIED GROUND RING SHALL BE PARALLEL TYPE, EXCEPT FOR THE GROUND RODS, WHICH ARE TO BE TEE EXOTHERMIC WELDS. REPAIR ALL GALVANIZED SURFACES THAT HAVE BEEN DAMAGED BY EXOTHERMIC WELDING. USE SPRAY GALVANIZER SUCH AS HOLUB LECTROSOL #15-501.
- ALL METALLIC COMPONENTS ON THE SITE MUST BE CONNECTED TO THE GROUND RING. THIS INCLUDES CONDUITS USED TO DELIVER TELCO AND POWER UTILITY LINES TO THE SITE.
- RUN ALL GROUNDING CONDUCTORS IN AN ORGANIZED MANNER, UTILIZE C-TAPPING PER 52 EIGHTY SPECIFICATIONS WHERE POSSIBLE TO REDUCE THE NUMBER OF GROUND WIRES. AVOID THE CROSSING OF CONDUCTORS WHENEVER POSSIBLE.
- INSTALL ALL GROUNDING CONDUCTORS IN A DOWNWARD SLOPE TO ACHIEVE MAXIMUM LIGHTNING PROTECTION.
- ALL GROUNDING CONDUCTORS FROM THE TOWER ARE TO BE ROUTED THROUGH 3/4" SCHEDULE 40 PVC. PVC SHALL EXTEND FROM THE EXOTHERMIC WELD TO A MINIMUM 24" BELOW GRADE.

NOTE:
CONTRACTOR SHALL NEVER BEND CONDUCTORS AND MUST ALWAYS UTILIZE CLEAN SWOOPS WITH A MINIMUM 12" RADIUS. CONTRACTOR SHALL NEVER CADWELD TO A TOWER LEG. ALWAYS WELD TO THE TOP OF THE BASE PLATE.



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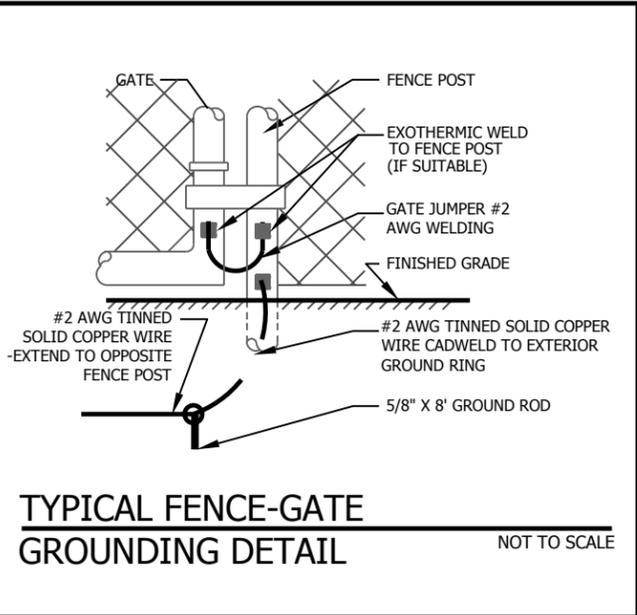


NOTES:

- #2 SOLID TINNED COPPER WIRE.
- 5/8" x 10' COPPER CLAD STEEL RODS.
- ALL CONNECTIONS TO BE CADWELDED.
- CONNECT GROUND SYSTEM TO H-FRAME POST.
- GROUND WIRE COIL FOR BTS GROUND, TYP. MASTER GROUND BAR.

LEGEND:

- ⊗ 5/8" x 10' COPPER CLAD STEEL GROUND ROD WITH INSPECTION SLEEVE
- ⊗ 5/8" x 10' COPPER CLAD STEEL GROUND ROD
- EXOTHERMIC WELD
- #2 SOLID TINNED COPPER WIRE

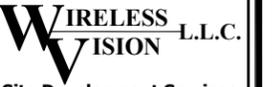


TOWER GROUNDING SCHEMATIC

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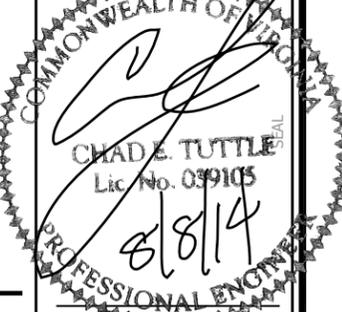
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REGISTRATION No.: 0402 039105

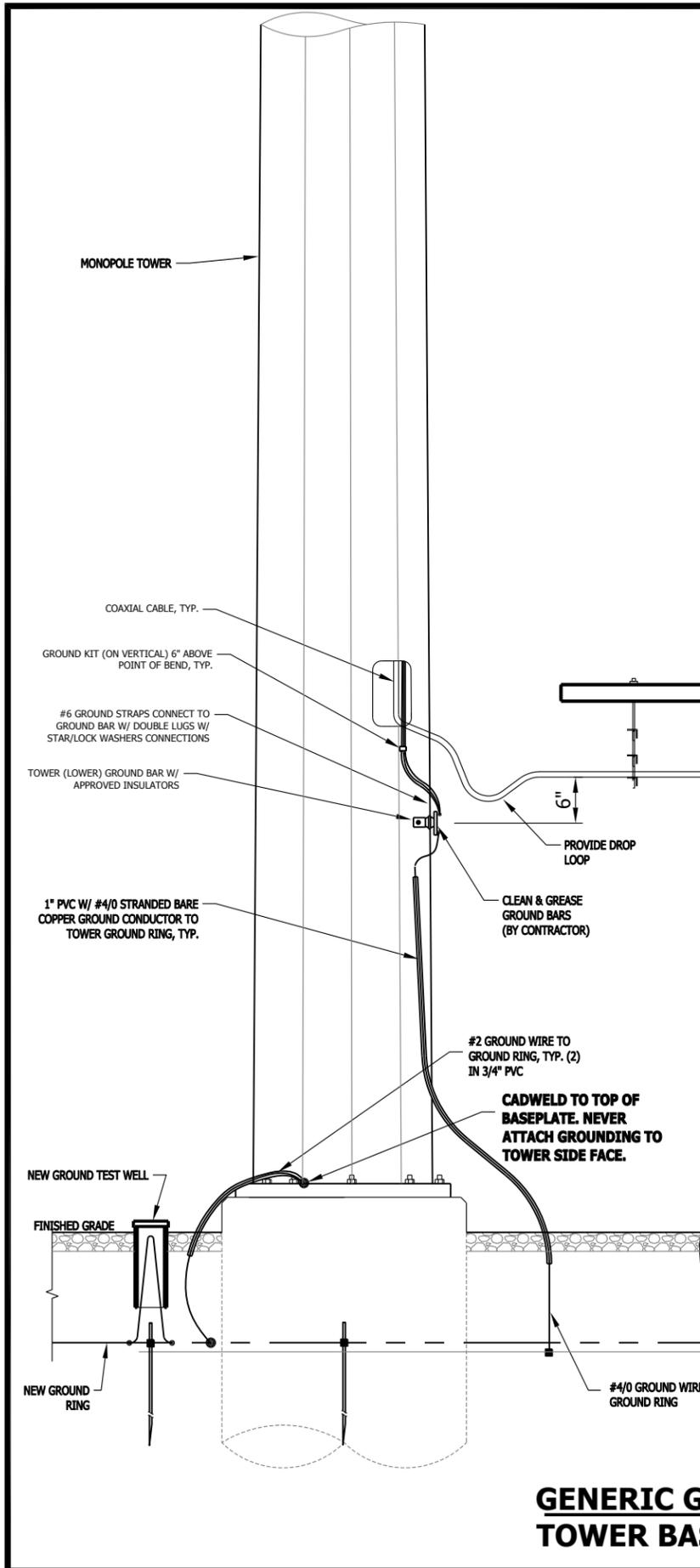
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SR: VA62387
SITE ID: VA-901
SITE NAME: MORRIS

SHEET TITLE

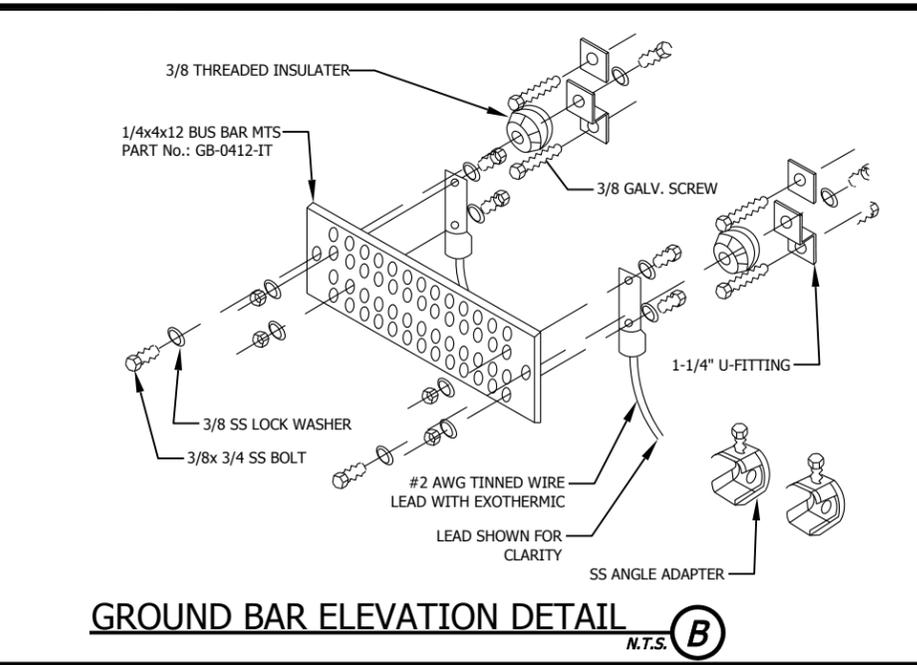
GROUNDING DETAILS

SHEET NUMBER

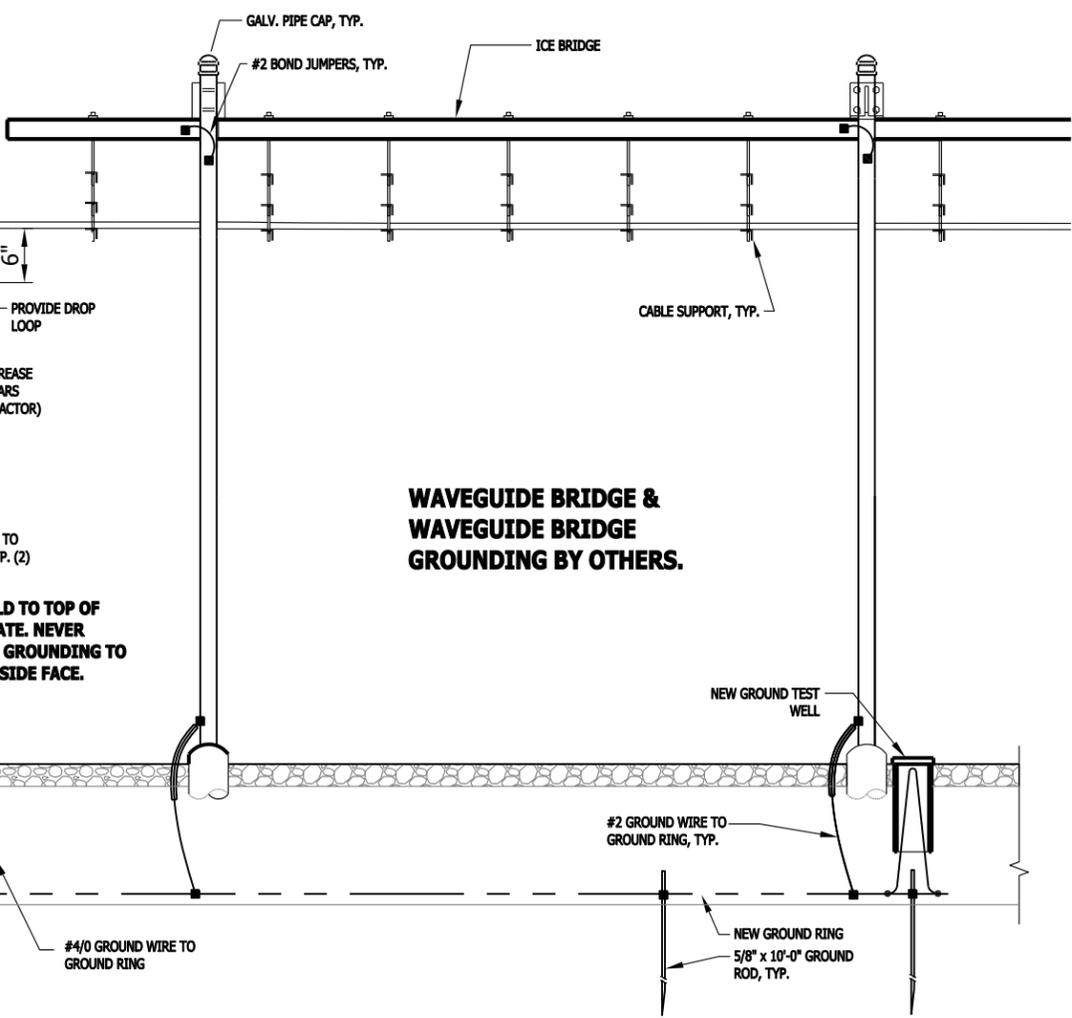
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GENERIC GROUNDING DETAIL TOWER BASE N.T.S. **(A)**

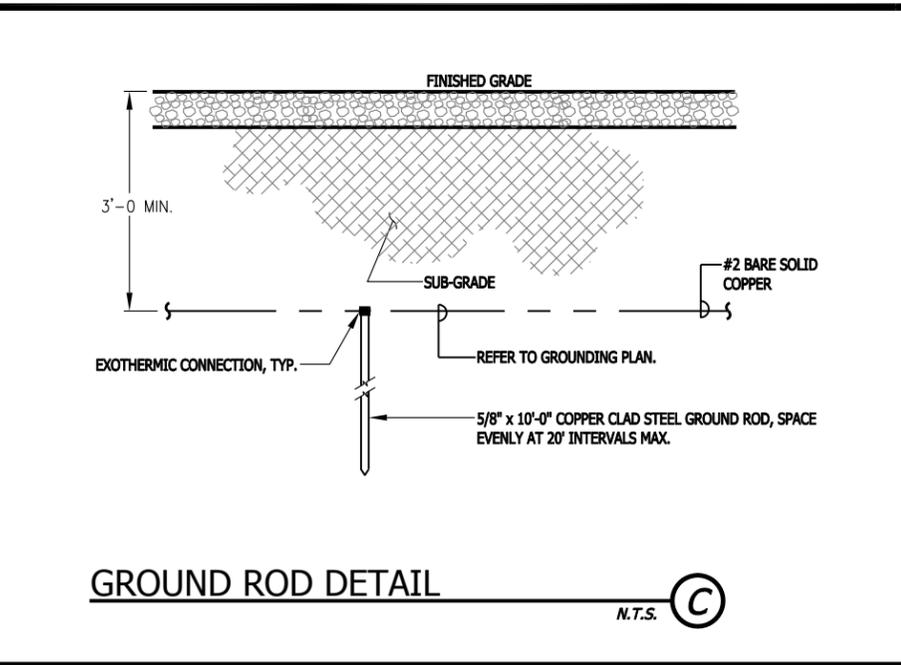


GROUND BAR ELEVATION DETAIL N.T.S. **(B)**

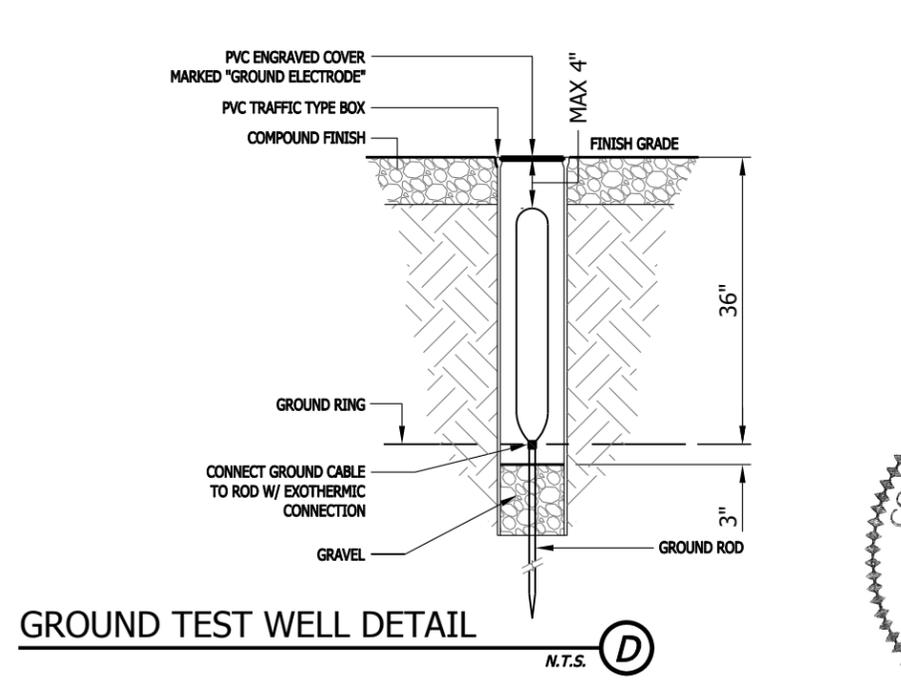


WAVEGUIDE BRIDGE & WAVEGUIDE BRIDGE GROUNDING BY OTHERS.

GENERIC GROUNDING DETAIL TOWER BASE N.T.S. **(A)**



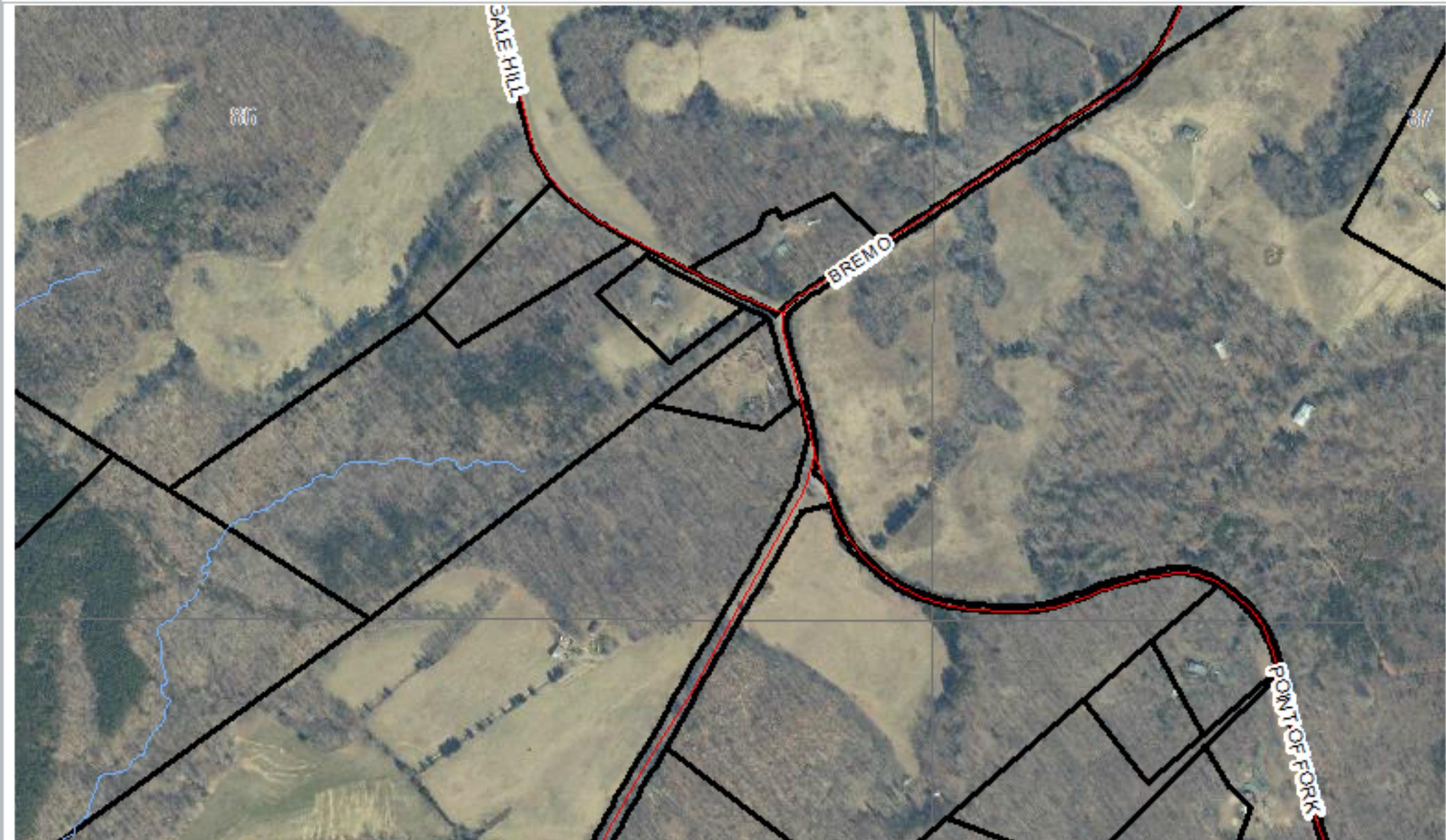
GROUND ROD DETAIL N.T.S. **(C)**



GROUND TEST WELL DETAIL N.T.S. **(D)**

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NOTE:
ABSOLUTELY NO PORTION OF THE LEASE PARCEL OR THE FENCED COMPOUND SHALL BE LOCATED OVER ANY FIBER OPTIC CABLES, EXISTING GROUNDING SYSTEMS OR EXISTING UTILITIES.



Scale: 1:9027.977411

Date: 08/20/2014

Printed By:

Under Virginia State Law, these real estate assessment records are public information. Display of this property information on the internet is specifically authorized by the Code of Virginia §58.1-3122.2(as amended).

Existing Antenna Locations

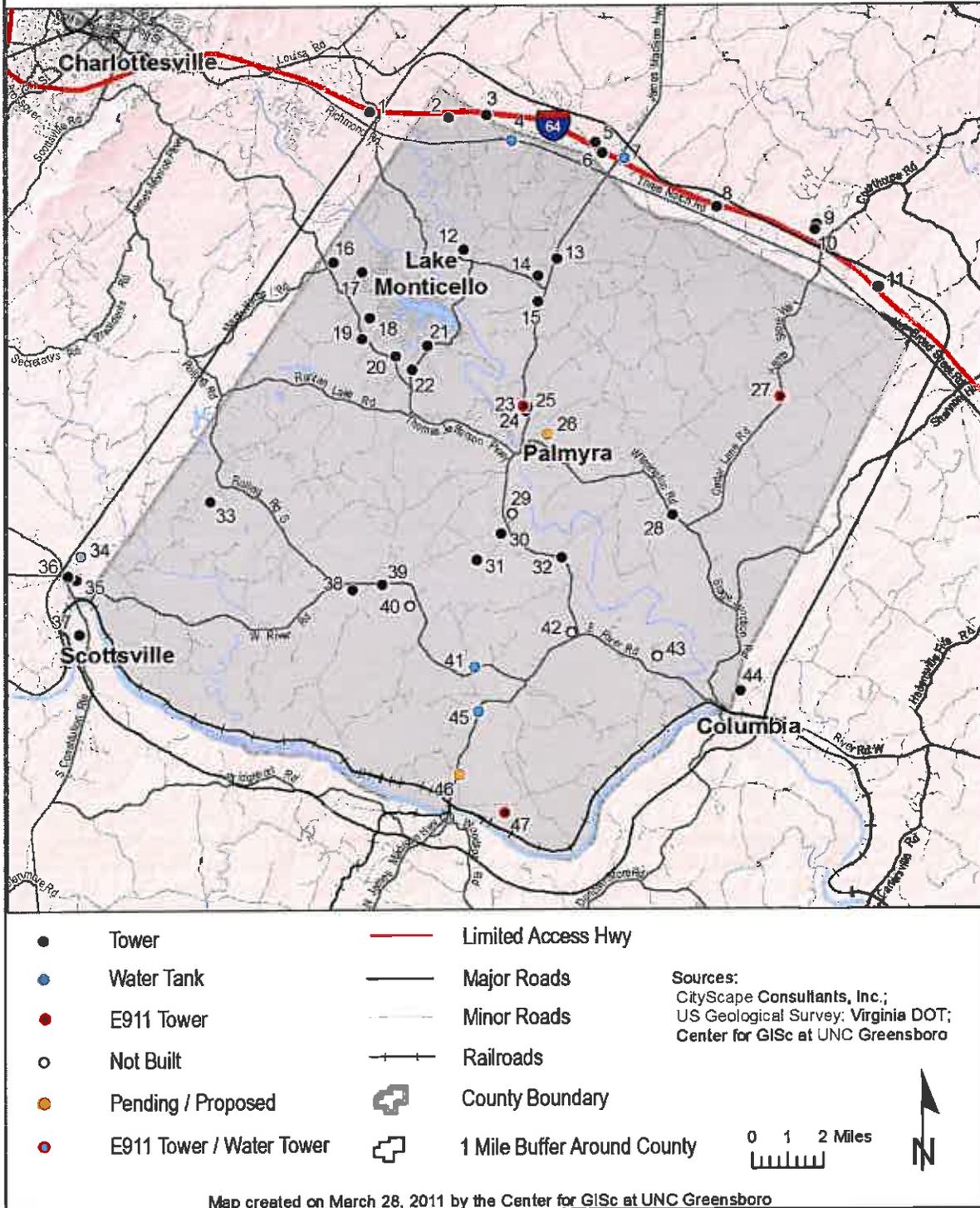


Figure 41: Existing Wireless Telecommunications Inventory

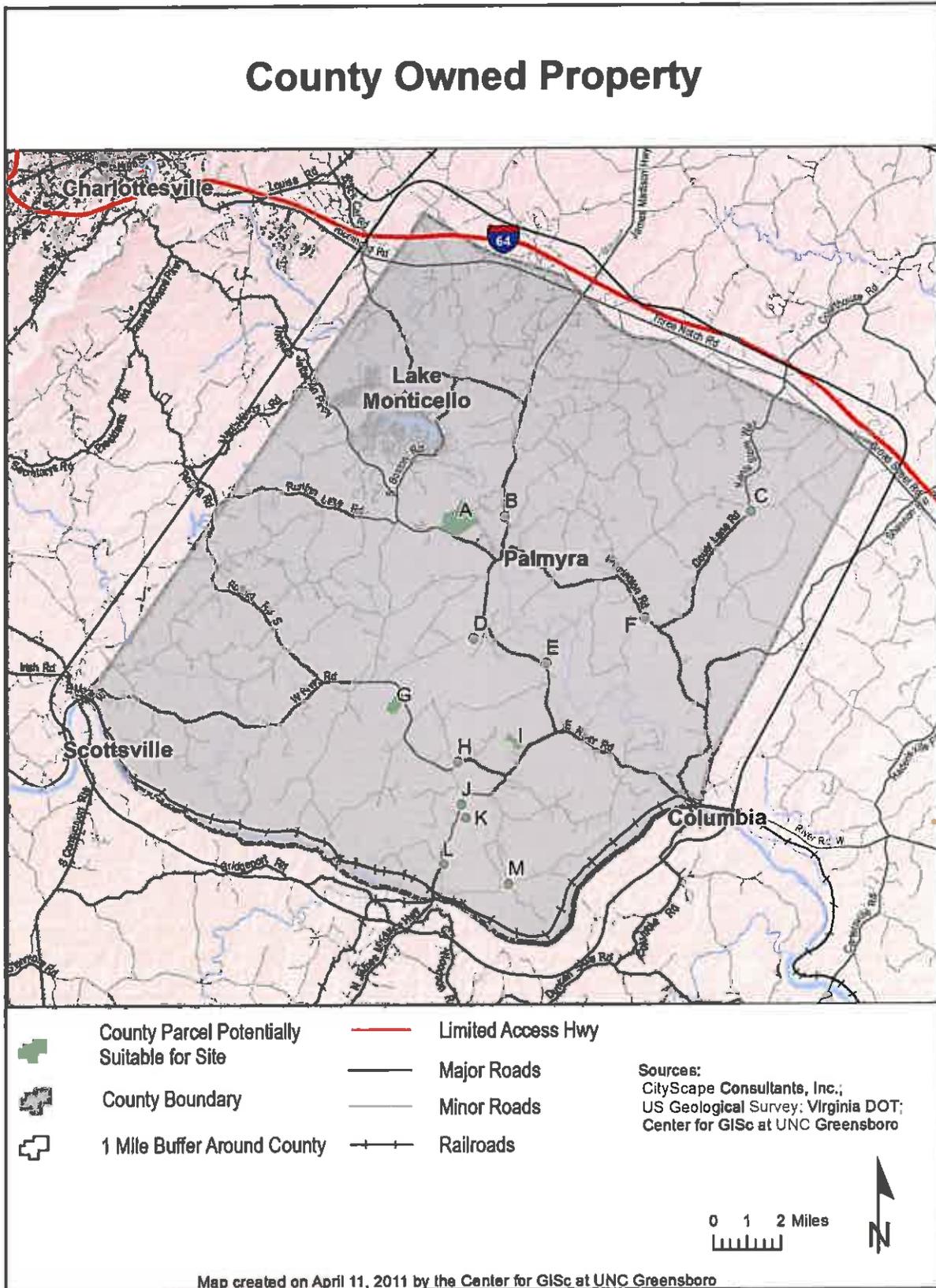
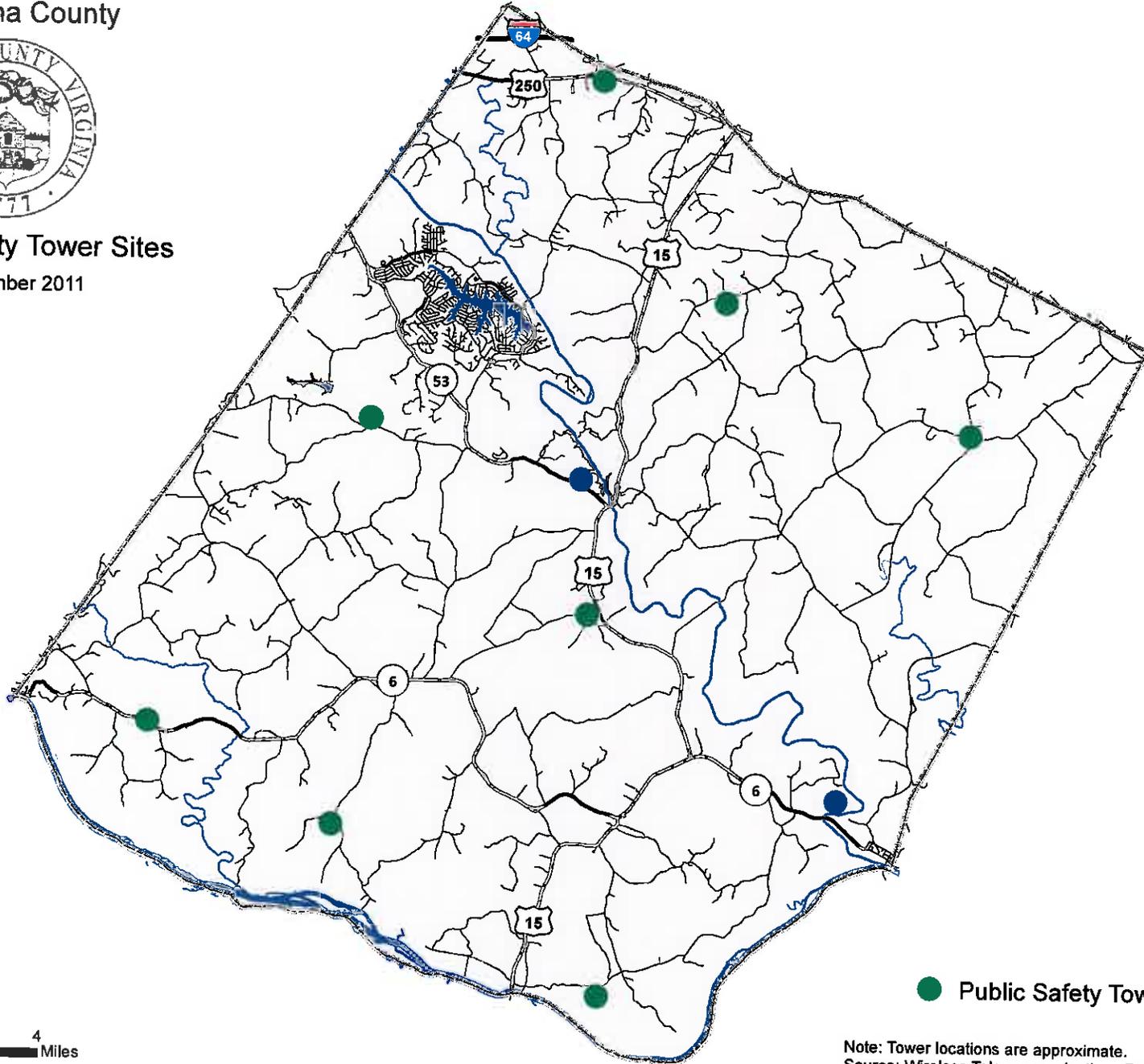


Figure 42: County-owned lands

Fluvanna County

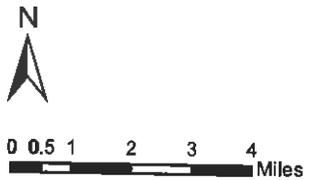


Public Safety Tower Sites December 2011



● Public Safety Tower Sites

Note: Tower locations are approximate.
Source: Wireless Telecommunications Facilities Master Plan





COUNTY OF FLUVANNA

"Responsive & Responsible Government"

P.O. Box 540 Palmyra, VA 22963 (434) 591-1910 FAX (434) 591-1911 www.co.fluvanna.va.us

July 23, 2014

Dale G. Finocchi, 52-Eighty Partners, LLC
2028 Walker Avenue
Greensboro, NC 27403

Delivered via email

Re: TRC comments SUP 14:06 (52-Eighty Partners, LLC) Construct 195' telecomm monopole, Tax Map: 53-A-56

901

Dear Applicant:

The following comments are the result of the Technical Review Committee meeting.

1. The E & S inspector asked how much area will need to be cleared?
2. Planning staff stated that the consultant's report was forthcoming and their comments would be part of the staff report; To date we have from the consultant:
 - 1) You are the Applicant identified as 52-Eighty; will you be the tower owner, or T-Mobile or another party? The County has a compliance statement of FCC rules which can be certified by the carrier or the tower owner. The statement is in your letter, but that is only acceptable if 52 is the owner, otherwise the compliance statements must come from T-Mobile
 - 2) You indicate 195 foot RAD, your search ring is 0.5 miles; could someone explain the diameter of the ring when space between sites is as substantial?

Additionally- a site development plan will be required that includes screening the ground equipment.

3. VDOT stated to Install Low Volume Commercial Entrances (12 ft. minimum wide, 25 ft. minimum entrance radii, minimum 15" diameter 24 ft. long entrance culverts and gravel entrance surface) at connection of proposed cell tower access roads to existing State Roads. If gates are installed to control access to the site, position them at least 30 ft. off the edge of pavement of the State Road to allow for vehicles entering the site to safely pull out of the State Road and open and close the gate. Flag/Mark the location of the proposed entrances that will serve the cell tower sites. After the entrance locations are marked, VDOT will check the locations for sight distance.

Please provide any other materials or documentation that is to be included in the Planning Commission packet by **Friday, August 8, 2014**. Submitting revisions by this deadline will place your request on the **August 27, 2014** Planning Commission agenda.

If you have any questions or need additional information, please contact me at 434-591-1910.

Sincerely,

A handwritten signature in black ink, appearing to read "Steve Tugwell". The signature is written in a cursive style with a large, sweeping initial "S".

Steve Tugwell
Senior Planner
Dept. of Planning & Community Development

Cc: Paul V. Beyer, Et. Al., 2358 Bremo Road, Fork Union, VA 23055

State of Virginia
Telecommunications Site Review
New Support Structure

CityScape

Consultants, Inc.

7050 W. Palmetto Park Road #15-652
 Boca Raton, FL 33433-3483
 Phone: 877-438-2851 • Fax: 877-220-4593

August 5, 2014

Received

Mr. Steven Tugwell
 Senior Planner, Planning & Zoning
 Fluvanna County
 132 Main Street
 Palmyra, Virginia 22963

AUG 07 2014

Planning Dept.

RE: T-Mobile Wireless Application – Site: VA62387
52-Eighty, LLC Site VA-901 - Morris

Dear Mr. Tugwell,

At your request, on behalf of Fluvanna County, Virginia (“County”), CityScape Consultants, Inc. (“CityScape”) in its capacity as telecommunications consultant for the County, has considered the merits of an application submitted by 52-Eighty, LLC (“Owner”) on behalf of T-Mobile Wireless (“Applicant”), to construct a new one hundred ninety-nine (199) foot monopole type tower which is proposed to accommodate up to six (6) personal wireless service providers and at least one (1) microwave dish, see *figure 1*. There is insufficient room for a top mounted lightning rod, which cannot be installed without exceeding the FAA height limits. T-Mobile has been aggressive recently in developing new telecommunications facilities nationwide and this is one (1) of three (3) proposed new facilities in Fluvanna County. The initial submittal did not include sufficient documentation for the County to proceed with processing of the application. The primary concern was the lack of a justification statement from a qualified personal wireless service provider and once T-Mobile provided the required documentation, see *figure 2*, the application process began and the remaining deficiencies, which will be discussed later, can be met within the time frame required in the County Ordinance. The application contained minor discrepancies in other areas, which will also be addressed herein. The proposed new support structure will be owned by 52-Eighty, LLC and will be located on property owned by Barry S. Morris and R. Carter Morris with an address of either 7791 or 7605 Bremono Road, Fluvanna County, Virginia, see *figure 3*.

The proposed new facility will expedite T-Mobile’s ability to bring new Third Generation (3G) and Fourth Generation (4G) electronic communication capabilities. Currently T-Mobile has limited facilities within Central Virginia. All wireless communications systems depend on the concept of frequency resource reuse to achieve greater capacities. With some technologies, the individual channel frequencies are reused every few cells, but not too closely, since interference would result. In many other systems, power from one base station interferes with other base stations, impacting network capacity. Therefore, it is undesirable for wireless phones to communicate with more than a few base stations simultaneously. The current wireless development stage is toward high speed wireless broadband implementation and all service providers are advancing this same technology. Fluvanna County maintains a hierarchy and all applicants shall confirm a proposed facility cannot effectively be located on County property.

T-Mobile Wireless Application VA62387
52-Eighty, LLC - Site Name VA-901 Morris
Fluvanna County, Virginia
August 5, 2014
Page 2



**Telecommunications Site Review
Virginia New Structure**

The Applicant must submit a search ring showing the site location will meet the requirements to justify the need for a new facility; confirm the facility will not meet network objectives if shifted to County property; and demonstrate the proposed location meets the specific service area, see *figure 4*. For the subject site VA62387, the closest available County property is over 2 miles which eliminates County property from consideration, see *figure 5*. Currently 'Morris' and most of the northwest sector of the County does not have sufficient service from T-Mobile and the projected service improvement utilizing the Morris Site is depicted in *figure 6*. There is no existing support structure within a qualified distance from the proposed site that would meet the Applicant's mandate for service. The requirement for a new support structure can be justified in the general area and under all Federal, State and County Codes and in accordance with the submittals the location selected by T-Mobile qualifies and can be justified.

The Applicant has proposed to top mount their antennas for an approximate signal radiation center of one hundred ninety-five (195) feet, see *figure 7*, which will provide a reasonable coverage area over the rolling hills topography, and furthermore will provide a reasonable service level to hand-off subscribers between the adjacent T-Mobile facilities; therefore meeting the requirements for network development in the region, see *figure 8*.

The Owner supplied a letter of compliance with all FCC standards regarding human exposure to Radio Frequency energy, and the Applicants will comply with all aspects of FCC rules regarding interference, see *figure 9*. CityScape is aware that this facility will operate in both the 800-megahertz and 1900-megahertz spectrum and could be an interference concern to Public Safety operations. For the reasons listed below, it is CityScape's opinion that:

- The proposed facility is required because of generally accepted and adequately demonstrated technological reasons and is essential in order for T-Mobile to alleviate a signal coverage issue to provide new wireless communications service; and
- T-Mobile's submissions indicate there is a substantial service void in the general area surrounding the subject site and that the addition of new service at a height of 195 feet will help relieve these concerns. Therefore the proposed location will sufficiently accomplish satisfactory service, and there are no reasonable alternative technologies to accommodate the Applicant's needs without the construction of a new facility; and,
- The proposed new site is supported by the Fluvanna County Telecommunications Master Plan

All designs and plans for the proposed new facilities were developed according to accepted practices of RF propagation engineering and the persons completing all work are sufficiently qualified within their disciplines. CityScape anticipates this plan, if built as designed, should be sufficient to allow an improvement of regular cellular service to T-Mobile subscribers, in addition the proposed changes will increase the ability for citizens to utilize higher speed internet. Properly locating the site will justify the proposed construction of a new support structure.

T-Mobile Wireless Application VA62387
 52-Eighty, LLC - Site Name VA-901 Morris
 Fluvanna County, Virginia
 August 5, 2014
 Page 3



**Telecommunications Site Review
 Virginia New Structure**

The submitted application contained the below deficiencies at the time of the CityScape review:

1. **There were no balloon tests.** Balloon tests provide the surrounding citizens with the best ability to understand any impact caused by the proposed new facility; and,
2. **Ground Compound.** There were inconsistencies in the submitted Construction Drawings regarding the specific locations of various equipment in the ground compound. Pages C1-20, C1.30, C2.00, C2.10 do not agree with E1.00, see *figure 10*. The location of the monopole tower, electrical riser and access gate are inconsistent.

Based on review and discussions with the Applicant, CityScape confirms a new support structure is required not only for proposed new T-Mobile equipment, but will be needed for additional wireless carriers in the near future. The Owner further states Fluvanna County Public Safety has indicated interest in the proposed new facility, specifically for Columbia area of the County. Therefore, CityScape recommends the Morris application VA62387; with the tower elevation of one hundred ninety nine (199) feet should be approved with the following conditions:

1. The Owner shall certify the street address listed the their FCC compliance letter, *figure 9*, as 7791 Bremono Road is actually 7605 Bremono Road; and,
2. The Owner submit corrected ground compound drawings; and,
3. The Owner shall clarify no lightning rod will be installed; and,
4. The Owner shall submit satisfactory National Environmental Policy Act (NEPA) and State Historic Preservation Office (SHPO) documentation; and,
5. The Applicant shall certify all access ports will be sufficiently sealed to prevent infiltration or habitation by any type of wildlife; and,

Respectfully submitted,

Richard L. Edwards
 FCC Licensed
 PCIA Certified
 CityScape Consultants, Inc.

T-Mobile Wireless Application VA62387
 52-Eighty, LLC - Site Name VA-901 Morris
 Fluvanna County, Virginia
 August 5, 2014
 Page 4



Telecommunications Site Review
 Virginia New Structure

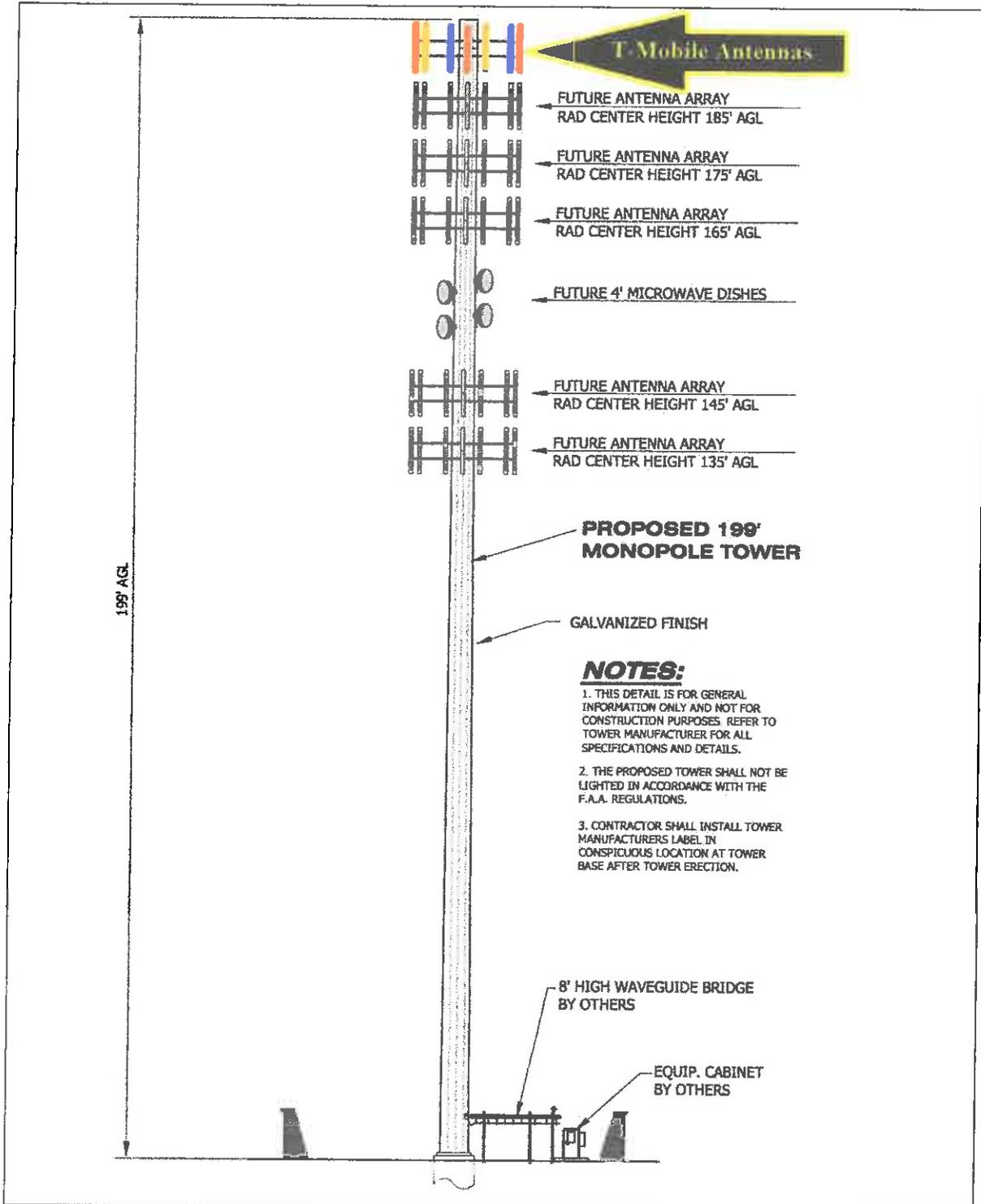


Figure 1. Tower Elevation

T-Mobile Wireless Application VA62387
52-Eighty, LLC - Site Name VA-901 Morris
Fluvanna County, Virginia
August 5, 2014
Page 5



**Telecommunications Site Review
Virginia New Structure**

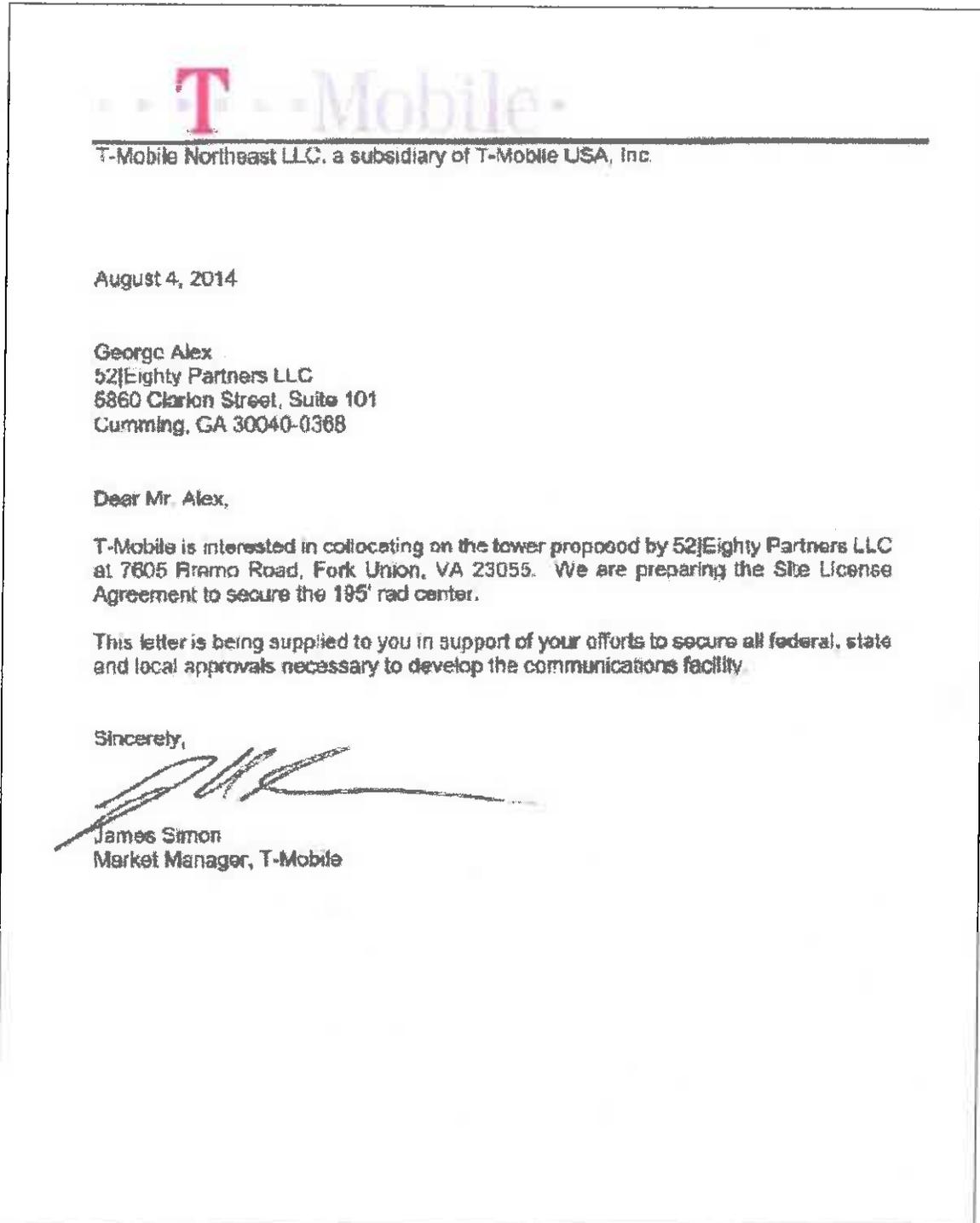


Figure 2. T-Mobile Authorization

T-Mobile Wireless Application VA62387
 52-Eighty, LLC - Site Name VA-901 Morris
 Fluvanna County, Virginia
 August 5, 2014
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Telecommunications Site Review
 Virginia New Structure

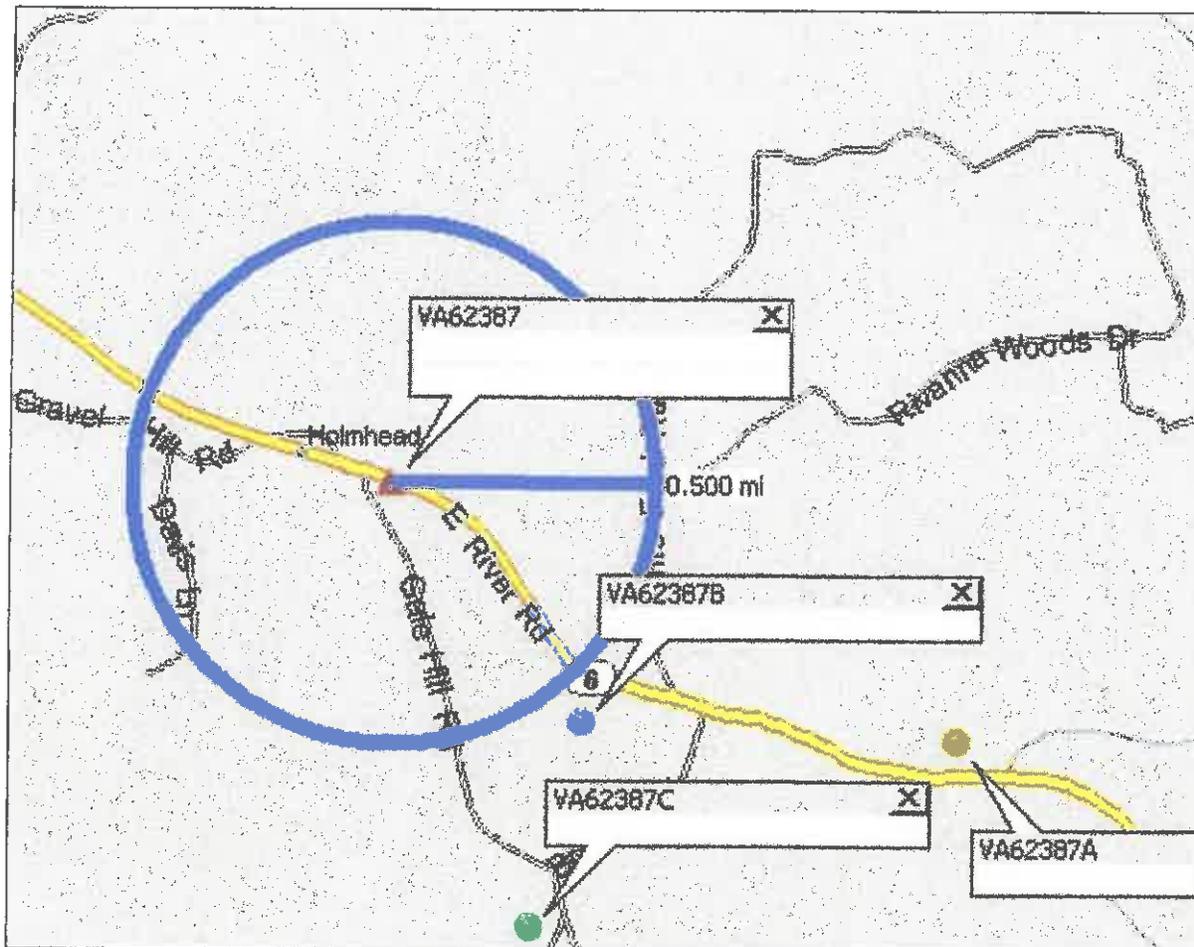


Figure 4. Site Search Ring

2: (VA-901 Morris) 37 45 36.05 -78 12 04.85

Given this corrected location I do not feel the County sites you indicated are any longer viable options given the distance. It should also be noted the County EMS is very interested in locating on this tower for either Transmit or Receive, I can't recall which one, but they consider it critical because of the problems with communications in Columbia.

Figure 5. Owner Statement on Use of County Property

T-Mobile Wireless Application VA62387
52-Eighty, LLC - Site Name VA-901 Morris
Fluvanna County, Virginia
August 5, 2014
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Telecommunications Site Review
Virginia New Structure

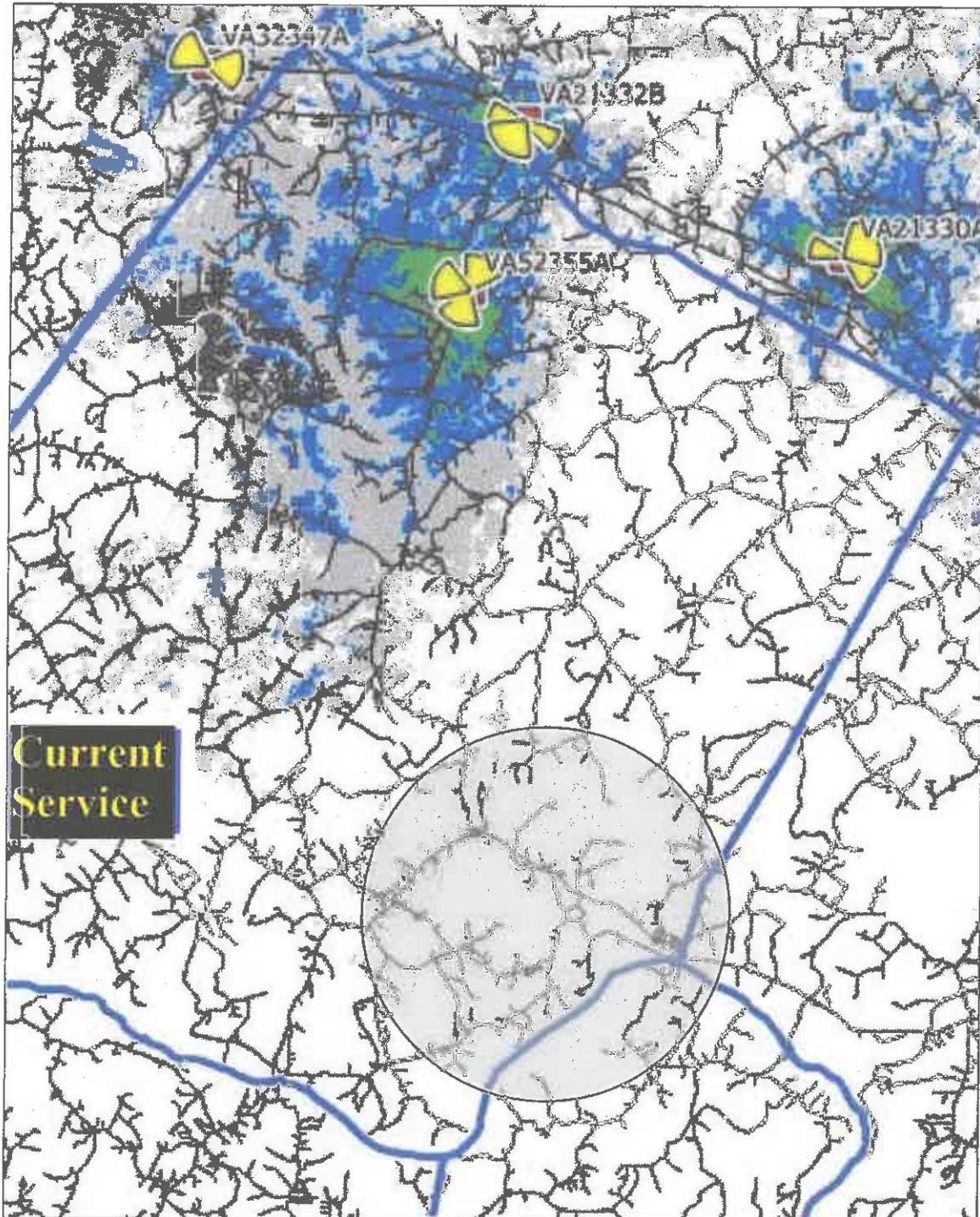


Figure 6. Current Service
(Grey Indicates Target)

T-Mobile Wireless Application VA62387
52-Eighty, LLC - Site Name VA-901 Morris
Fluvanna County, Virginia
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Telecommunications Site Review
Virginia New Structure

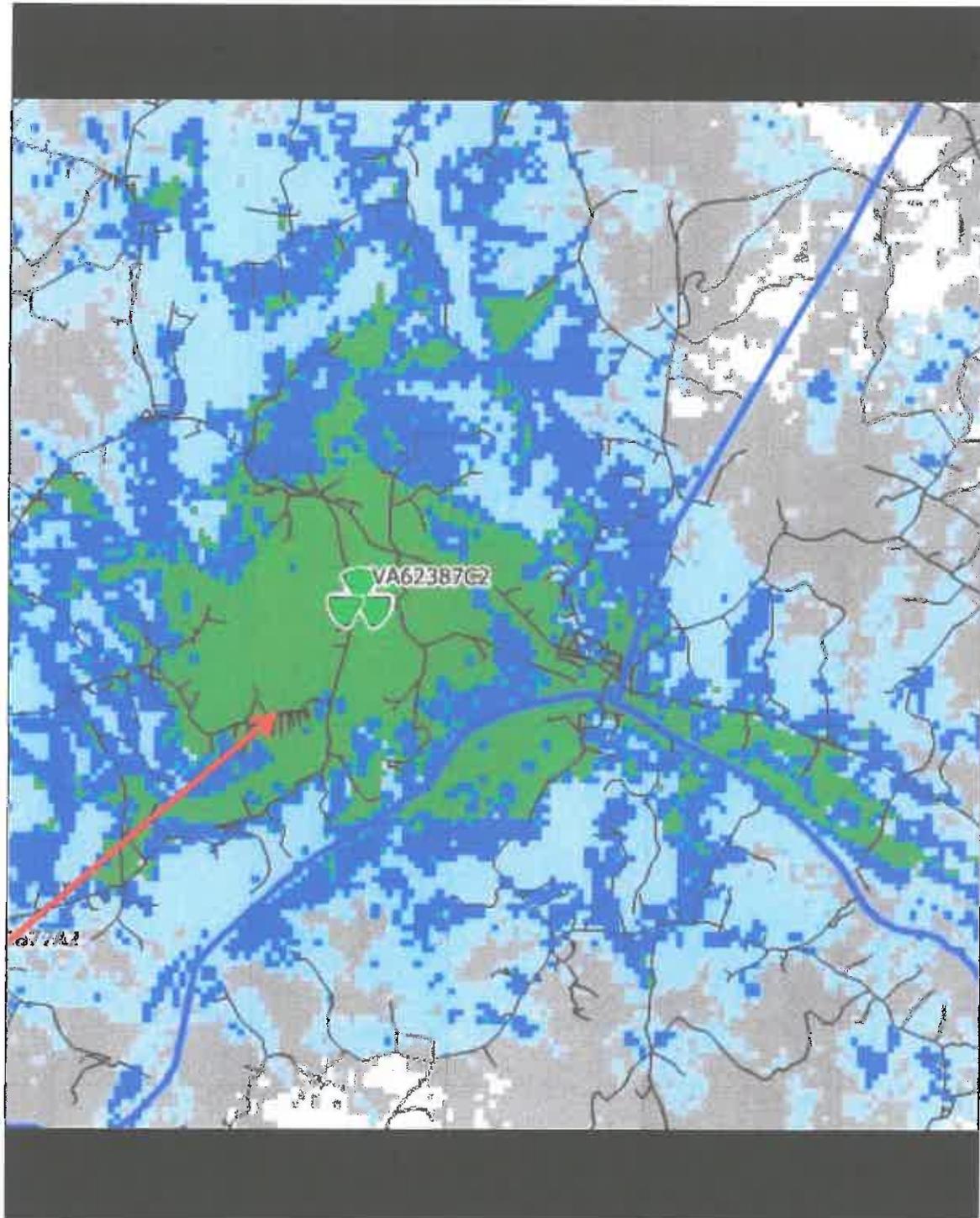


Figure 7. Projected New Service

T-Mobile Wireless Application VA62387
52-Eighty, LLC - Site Name VA-901 Morris
Fluvanna County, Virginia
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Telecommunications Site Review
Virginia New Structure

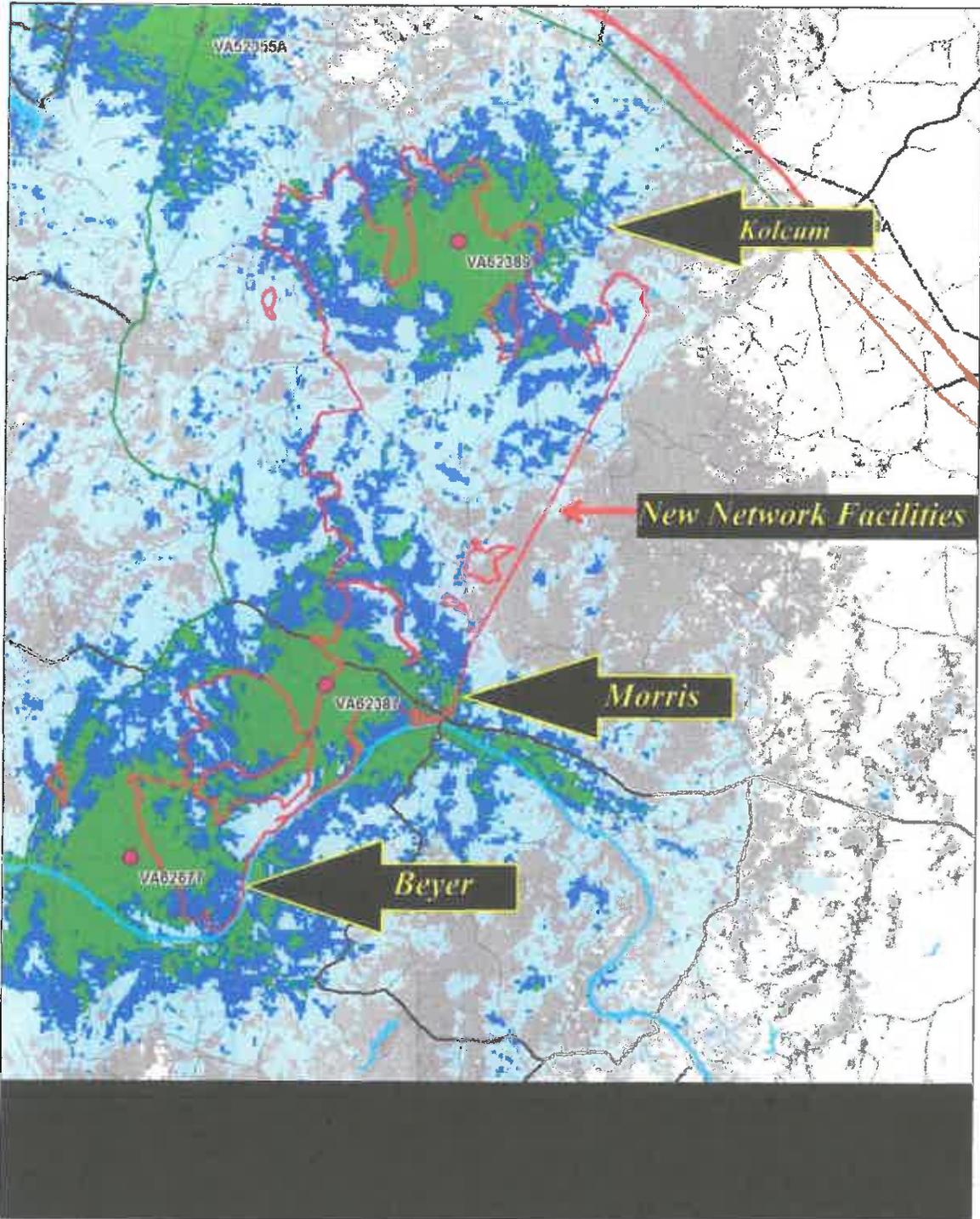


Figure 8. Projected Network Service in Northwest Fluvanna County

T-Mobile Wireless Application VA62387
 52-Eighty, LLC - Site Name VA-901 Morris
 Fluvanna County, Virginia
 August 5, 2014
 Page 11



Telecommunications Site Review
 Virginia New Structure

July 3, 2014

Steve Tugwell
 Senior Planner
 Fluvanna County Virginia
 132 Main Street
 PO BOX 540
 Palmyra, VA 22963

RE Application for 3 TASF's located at:
 3226 Venable Road, Kent's Store, VA 23084
 7791 Brems Road, Fork Union, VA 23055 Morris
 2268 Brems Road, Fork Union, VA 23055

correct address is 7605

Dear Mr. Tugwell:

Enclosed are the documents required for the submittal per the SUP Application, Communications Facility Application Checklist, and Fluvanna County Zoning Code.

...Edited for content...

The proposed towers will be designed to withstand wind speeds and forces as required by State and local building regulations as well as those standards defined by the American National Standards Association (ANSA) specifications. The Company carries extensive liability insurance and typically agrees as part of our leases to assume responsibility for certain damages or injuries resulting from our operations.

As a part of all 52-Eighty, LLC tower construction projects, 52-Eighty Partners, LLC will ensure that FCC licensed users of the structure will file for certifications required by the Federal Communications Commission (FCC) that attest to the fact that the proposed communication facility complies with all current FCC rules and regulations for non-ionizing electromagnetic radiation (NIER) regarding human exposure levels. Page C3 30 of the development plans indicates the location that required signage would be placed on the gate of the facility and on the base of the tower.

The effect of wireless (cellular/digital/pcs) radio frequencies on AM and FM signals, TV transmissions, and other commonly used portions of the radio spectrum is considered negligible by the industry's regulatory agencies. 52-Eighty Partners, LLC will ensure that all FCC licensed providers will adhere to all applicable FCC rules regarding radio-frequency interference. Should there be any question, concern, or complaint that any interference is occurring 52-Eighty Partners, LLC will ensure the suspected interfering party procure a co-location interference analysis report from a qualified firm and take whatever corrective action is required to maintain FCC compliance.

Please feel free to contact me anytime by phone or email as indicated below.

Sincerely,

Dale Finocchi
 Sr. Director of Development
 52-Eighty Partners, LLC
 P. 404-382-5285
 C. 336-681-6166
 F. 866-659-4989

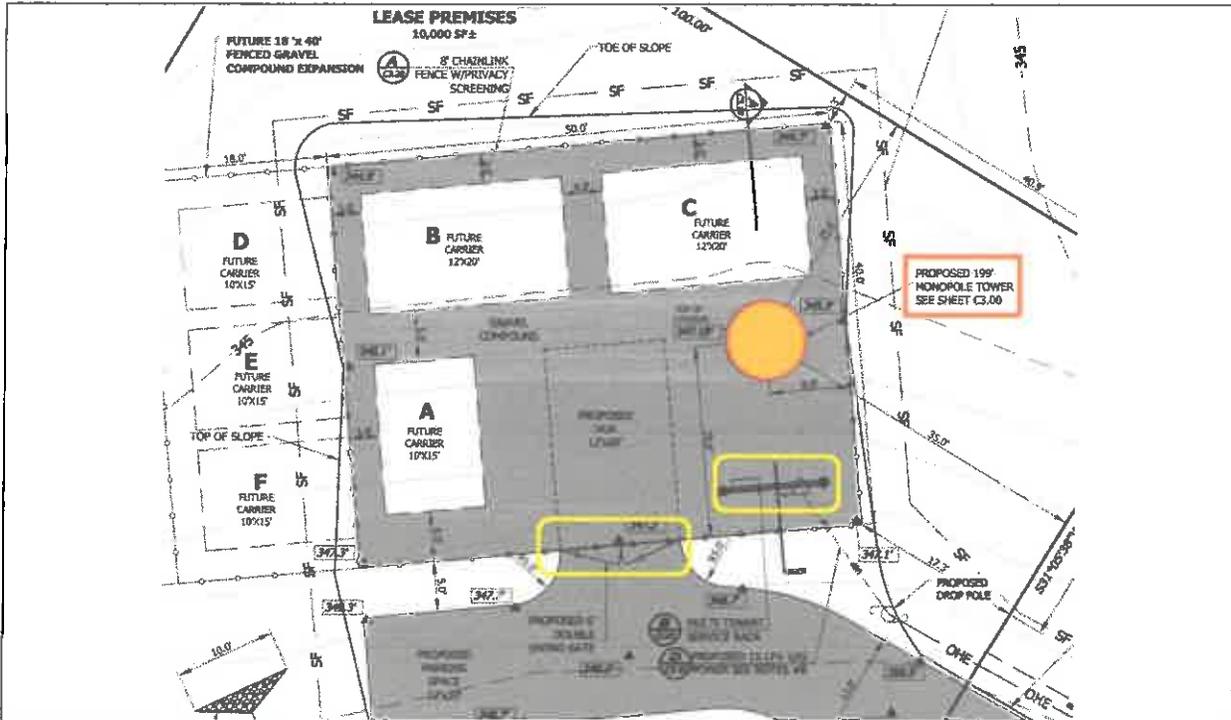
52 Eighty, LLC | 5860 Clarion Street, Suite 101 | Cumming, GA 30041
 P: 404.382.5285 | C: 336.681.6166 | F: 866.659.4989

Figure 9. Human Exposure and Interference Compliance Statements

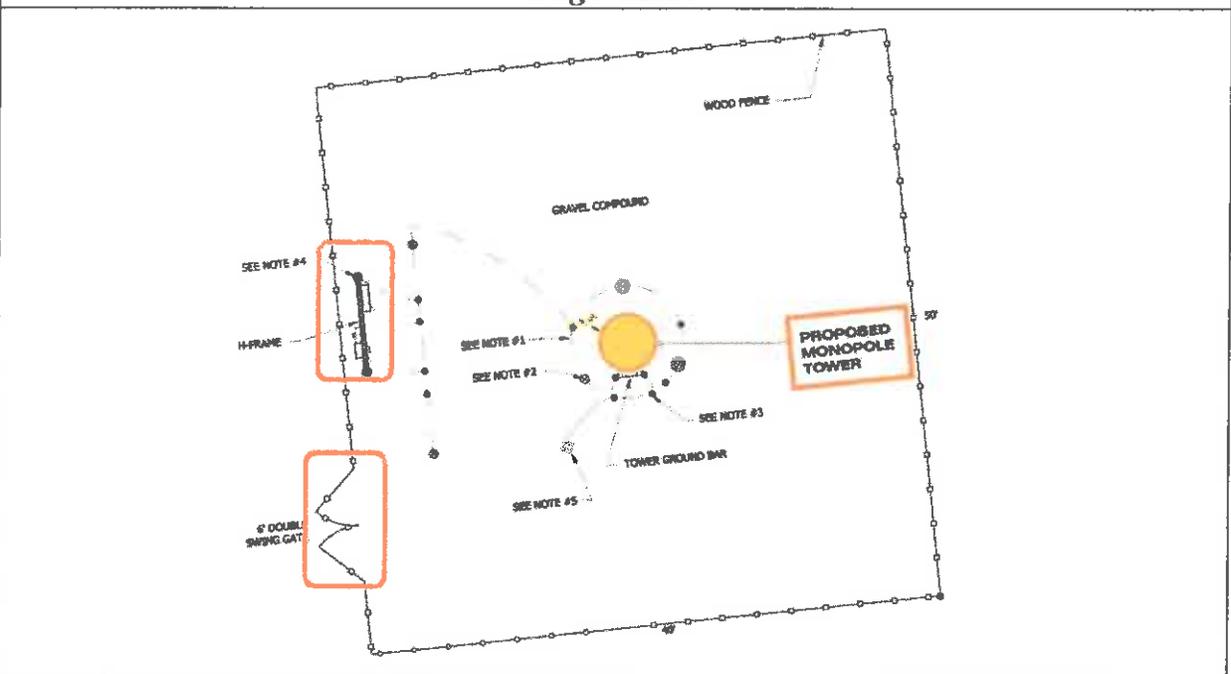
T-Mobile Wireless Application VA62387
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Telecommunications Site Review
Virginia New Structure



Page C2.10



Page E1.00

Figure 10. Ground Compound Inconsistencies



COUNTY OF FLUVANNA

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P.O. Box 540 Palmyra, VA 22963 (434) 591-1910 FAX (434) 591-1911 www.co.fluvanna.va.us

STAFF REPORT

To: Fluvanna County Planning Commission

Case Number: SUP 14:07

Tax Map: 22-A-90C

From: Jay Lindsey

District: Columbia

Date: August 27, 2014

General Information: This request is to be heard by the Planning Commission on Wednesday, August 27, 2014 at 7:00 pm in the Circuit Courtroom of the Fluvanna County Courts Building.

Applicant: 52-Eighty Partners, LLC

Requested Action: A request for a Special Use Permit (SUP) to allow for a 199-foot wireless telecommunications tower with respect to 16.1 acres of Tax Map 22, Section A, Parcel 90C (Attachment A).

Existing Zoning: A-1, Agricultural, General

Planning Area: Rural Preservation

Zoning Ordinance: Article 27: *Regulation of Telecommunications Facilities*

Location: The affected property is located 0.2 miles southwest of Dogwood Drive (Route 631) on the north side of Venable Road (Route 601). (Attachment B)

Existing Land Use: The property is nearly all wooded.

Adjacent Land Use: The surrounding area is largely rural, with a few scattered residences nearby.

Zoning History: No previous zoning activities

Analysis

The applicant has requested a Special Use Permit (SUP) to allow the construction of a 199-foot monopole-type telecommunications tower on Tax Map 22, Section A, Parcel 90C. The tower will be constructed within a 10,000 square foot (100' x 100') compound that will also house the necessary accessory structures, and will be accessed by a 20-foot ingress/egress utility easement.

Two (2) general guidelines are used when evaluating a request for a Special Use Permit (SUP), as set forth in the Fluvanna County Zoning Ordinance (Sec. 22-17-4D).

First, the proposed use should not tend to change the character and established pattern of the area or community.

Character of Surrounding Area

The proposed tower is located in the northeastern portion of the county approximately 0.20 miles southwest of Dogwood Drive (Route 631) on the north side of Venable Road (Route 601). The surrounding area is largely wooded and retains its rural, scenic character. A few scattered homes are located along existing roadways, interspersed amongst forests and open fields. Many of the surrounding parcels are quite large, with several spanning more than 40 acres.

Due to local topography and the existing vegetation, the proposed tower is perhaps more easily visible from State Route 601 (Venable Road), but may be less visible from a dwellings located in the immediate area, and other nearby residences. The proposed tower compound is would be located a little more than 500 feet from the Venable Road right-of-way, the tower's base and accompanying structures will not be visible (if the vegetation remains as-is).

Conformance with the Wireless Telecommunications Facilities Master Plan

According to the Wireless Telecommunications Facilities Master Plan, the county has a E-911 tower east approximately 2.01 miles away, but it only has 100 feet elevation. The next is a county school 3.47 miles south which has no capacity. According to Cityscape Anything over a mile is well outside feasibility in the terrain, and "both are a significant distance to be eliminated." The Wireless Telecommunications Facilities Master Plan does not designate this site as a proposed emergency service location (Attachment C).

Second, the proposed use should be compatible with the uses permitted by-right in that zoning district and shall not adversely affect the use/or value of neighboring property.

Zoning

The subject property and all adjoining parcels are zoned A-1 (Agricultural, General). The A-1 zoning district is intended to accommodate limited residential development, as well as small-scale commercial and industrial uses that are directly related to agriculture, forestry, and other traditionally rural uses. Non-concealed freestanding telecommunications antennas require a special use permit within A-1 districts.

If this request were approved, the applicant will be required to submit a site development plan for review, in accordance with Article 23: *Site Development Plans* of the Fluvanna County Zoning Ordinance.

Relationship to Neighboring Properties

According to the applicant's site plan, the proposed tower will be more than 1,000 feet away from the nearest residence. Existing vegetation effectively screens the tower compound from State Route 601 (Venable Road) and adjoining properties. Based on the balloon test, the tower itself would not be easily visible from adjacent parcels, but may be somewhat visible to a few residences along Dogwood, and perhaps more visible with the absence of tree canopy during the winter months. Additionally, it appears the proposed tower may be directly visible from the dwelling located at 2834 Venable Road.

Comprehensive Plan

According to the Comprehensive Plan, the subject property is designated as "Rural Preservation." Rural preservation areas are intended to be the least developed areas of the County. These areas should be used primarily for agriculture and forestry, with very limited residential development (less than one unit per five acres). Viewsheds from roads and existing developments should be preserved (page 61).

The *Infrastructure* chapter of the Comprehensive Plan includes several recommendations regarding the siting and design of telecommunications facilities (page 110):

- Minimize the impacts of wireless communications facilities on surrounding areas;
- Encourage the location and co-location of wireless communication equipment on existing structures;
- Accommodate the growing need and demand for wireless communication services;
- Encourage coordination between communication providers;
- Establish consistent and balanced legal language governing wireless communications facilities that take into consideration the Comprehensive Plan and communications master plan; and
- Maintain compliance with applicable laws, including but not limited to the 1996 Telecommunications Act.

The *Community Design* chapter of the Comprehensive Plan also addresses the design and siting of telecommunications facilities. The plan encourages developers to use innovative design techniques to minimize the visual impact of new facilities. The co-location of wireless communication equipment on existing structures is encouraged, to improve the local communications network with minimal impact to the surrounding landscape (page 73). (Attachments D, E)

Neighborhood Meeting

The neighborhood meeting was held on July 9, 2014. With the exception of the applicant, there was one (1) other person there to speak with regard to this application.

Technical Review Committee

The Technical Review Committee (TRC) meeting was held on July 10, 2014. The following comments were made:

1. The E & S inspector asked how much area will need to be cleared?
2. Planning staff stated that the consultant's report was forthcoming and their comments would be part of the staff report; To date we have from the consultant:
 - 1) You are the Applicant identified as 52-Eighty; will you be the tower owner, or T-Mobile or another party? The County has a compliance statement of FCC rules which can be certified by the carrier or the tower owner. The statement is in your letter, but that is only acceptable if 52 is the owner, otherwise the compliance statements must come from T-Mobile
 - 2) You indicate 195 foot RAD, your search ring is 0.5 miles; could someone explain the diameter of the ring when space between sites is as substantial?

Additionally- a site development plan will be required that includes screening the ground equipment.

3. VDOT stated to Install Low Volume Commercial Entrances (12 ft. minimum wide, 25 ft. minimum entrance radii, minimum 15" diameter 24 ft. long entrance culverts and gravel entrance surface) at connection of proposed cell tower access roads to existing State Roads. If gates are installed to control access to the site, position them at least 30 ft. off the edge of pavement of the State Road to allow for vehicles entering the site to safely pull out of the State Road and open and close the gate. Flag/Mark the location of the proposed entrances that will serve the cell tower sites. After the entrance locations are marked, VDOT will check the locations for sight distance. (Attachment F)

Consultant's Recommendation

CityScape Consultants, Inc. has reviewed this request (Attachment G). The consultants stated that:

1. The proposed facility is required because of generally accepted and adequately demonstrated technological reasons and is essential in order for T-Mobile to alleviate a signal coverage issue to provide new wireless communications service;
2. T-Mobile's submissions indicate there is a substantial service void in the general area surrounding the subject site and that the addition of new service at a height of 195 feet will help relieve these concerns. Therefore, the proposed location will sufficiently accomplish

satisfactory service, and there are no reasonable alternative technologies to accommodate the Applicant's needs without the construction of a new facility; and

3. The proposed site is supported by the *Wireless Telecommunications Facilities Master Plan*.

Cityscape Consultants, Inc. recommends that the application be approved with the following conditions:

1. The owner shall provide the correct street address and T-Mobile shall confirm the proposed site is acceptable; and,
2. The owner shall submit corrected ground compound drawings; and,
3. The owner shall clarify no lightning rod will be installed; and,
4. The owner shall submit satisfactory National Environmental Policy Act (NEPA) and State Historic Preservation Office (SHPO) documentation; and,
5. The applicant shall certify all access ports will be sufficiently sealed to prevent infiltration or habitation by any type of wildlife.

Conclusion

This request for a special use permit for a 199 ft. monopole telecommunication facility appears to be in substantial conformance with the intent of the Comprehensive Plan's recognition that telecommunications are a critical part of the role of infrastructure throughout the county, and the criteria set forth in the Zoning Ordinance. In reviewing this request, the Planning Commission should consider how the proposed tower:

- Conforms with the *Wireless Telecommunications Facilities Master Plan*;
- Improves telecommunications infrastructure within Fluvanna County; and
- Impacts the rural character, and associated tourism potential, of the surrounding area.

If approved, staff recommends that the following conditions in addition to the above conditions from Cityscape Consultants, Inc.

1. The owner shall provide the correct street address and T-Mobile shall confirm the proposed site is acceptable; and,
2. The owner shall submit corrected ground compound drawings; and,
3. The owner shall clarify no lightning rod will be installed; and,
4. The owner shall submit satisfactory National Environmental Policy Act (NRPA) and State Historic Preservation Office (SHPO) documentation; and,
5. The tower, including antennae, will not be higher than 199 feet and will not be lit;
6. The tower shall be in the same location as shown in the application;
7. The Applicant confirms the new support structure will be capable of supporting a total of six (6) antenna arrays, in compliance with EIA/TIA 222-G;
8. The proposed new tower shall accommodate no less than six (6) different wireless services providers' antenna arrays, all of the same general design;

9. The Applicant shall expand the ground compound to accommodate up to six (6) different wireless service providers' ground-mounted electronic equipment;
10. The tower shall be available for co-location by other telecommunications companies, with Fluvanna County having the right of first refusal prior to the approval of each proposed co-location;
11. The Applicant shall obtain all necessary County permits prior to any work on the site;
12. All access ports shall be sufficiently sealed to prevent infiltration or habitation by any type of wildlife; and
13. The facility shall be protected from access from unauthorized personnel both during construction and during all periods of operation;
14. All feed lines shall be installed within the shell of the monopole and no lines will be exposed except at the antennas;
15. If the structures should no longer be needed, the applicant shall remove them, and restore the grounds to the prior condition;
16. Violation of any condition of this permit shall be grounds for revocation of this permit;
17. The Board of Supervisors, or their representatives, has the right to inspect the property for compliance with these conditions at any time;
18. The facility shall be constructed and receive final inspection from the Fluvanna County Department of Building Inspections within eighteen (18) months of the date of approval of the special use permit.

Suggested Motion

I move that the Planning Commission recommend **approval/denial** of SUP 14:07, a special use permit request to allow the construction of a 199-foot monopole telecommunications tower with respect to 16.1 acres of Tax Map 22, Section A, Parcel 90C (if approved) subject to the eighteen (18) conditions listed in the staff report.

Attachments

- A - Application, compliance letter, and APO letter
- B - Aerial Vicinity Map
- C - Map of Existing Wireless Telecommunications Inventory
- D – Map of County-owned property
- E - Map of Public Safety Tower Sites
- F - Technical Review Committee (TRC) Comments
- G - Consultant's Report

Copy

Owner: John B. Kolcum, 1603 Galilee Road, Smithfield, NC 27577
 Applicant: Dale G. Finocchi, 2028 Walker Avenue, Greensboro, NC 27403
 Consultant: CityScape Consultants, 7050 W. Palmetto Park Road, # 15-652, Boca Raton, FL 33433
 File

Received

JUL 01 2014

Planning Dept.



COMMONWEALTH OF VIRGINIA
COUNTY OF FLUVANNA

Application for Special Use Permit (SUP)

Owner of Record: John B. Kolcum/ 52 Eighty Partners, LLC

E911 Address: 48831 Venable Road, Kents Store, VA 23084

Phone: 434-242-0323 Fax:

Email: marilynryleyteam@gmail.com

Applicant of Record: 52-Eighty Partners, LLC

E911 Address: 5860 Clarion Street Ste 101, Cumming, GA 30040

Phone: 404-382-5285 Fax: 866-659-4989

Email: dfinocchi@52eighty.com

Representative: Dale G. Finocchi

E911 Address: 2028 Walker Ave. Greensboro, NC 27403

Phone: 336-681-6166 Fax: 866-659-4989

Email: dfinocchi@52eighty.com

Note: If applicant is anyone other than the owner of record, written authorization by the owner designating the applicant as the authorized agent for all matters concerning the request shall be filed with this application.

Is property in Agricultural Forestal District? No Yes

If Yes, what district:

Tax Map and Parcel(s): 22-A-90C

Deed Book Reference: DB 122 PG 601

Acreage: 16.1

Zoning: A-1

Deed Restrictions? No Yes (Attach copy)

Request for a SUP in order to: **Telecommunication Antenna Support Facility**

Proposed use of Property: Agricultural/TASF

*Two copies of a plan must be submitted, showing size and location of the lot, dimensions and location of the proposed building, structure or proposed use, and the dimensions and location of the existing structures on the lot.

By signing this application, the undersigned owner/applicant authorizes entry onto the property by County Employees, the Planning Commission, and the board of Supervisors during the normal discharge of their duties in regard to this request and acknowledges that county employees will make regular inspections of the site.

Date: 6-30-2014 Signature of Owner/Applicant: Dale G. Finocchi

Subscribed and sworn to before me this 30 day of June, 20 14

Notary Public: Jennifer B. Edwards Register # _____

My commission expires: July 10 2017

Certification: Date: _____

Zoning Administrator: _____

All plats must be folded prior to submission to the Planning Department for review. Rolled plats will not be accepted.

OFFICE USE ONLY

Date Received: 7.1.14 Pre-Application Meeting: 6.20.14 PH Sign Deposit Received: ch# 1385 \$90 Application #: SUP 14: 07

\$800.00 fee plus mailing costs paid: Mailing Costs: \$20.00 Adjacent Property Owner(APO) after 1st 15, Certified Mail

Amendment of Condition: \$400.00 fee plus mailing costs paid:

Telecommunications Tower \$1,500.00 fee plus mailing costs paid: \$5,500 w/Consultant Review paid: ch# 1385

Election District: Columbia Planning Area: Rural Preservation

Public Hearings

Planning Commission

Board of Supervisors

Advertisement Dates: 8.14.14; 8.21.14

Advertisement Dates: 9.4.14; 9.11.14

APO Notification: 8.13.14

APO Notification: 9.10.14

Date of Hearing: 8.27.14

Date of Hearing: 9.17.14

Decision:

Decision:

Describe briefly the **improvements** proposed. State whether new buildings are to be constructed, existing buildings are to be used, or additions made to existing buildings.

The development of a 199-foot Telecommunication antenna support facility (Non-Concealed Monopole), antennas, and associated ground equipment. The lease area consists of a 100x100 leased space with a developed fenced area of 50x40. The access road will travel from the existing driveway to the proposed compound and utilize the existing driveway for access to the County Road.

NECESSITY OF USE: Describe the reason for the requested change.

The proposed tower is part of T-Mobile's expansion into rural Fluvanna County as specified by the FCC's Mobility Fund project to bring 3G and 4G technologies to under-served census tracts. The Project in-compasses the FCC's mandate to cover 176.3 road miles within census tract 51065020200. The specific details of the location and how the site propagates signal and interconnects with other T-Mobile sites is descriptively and graphically described in several attachments.

PROTECTION OF ADJOINING PROPERTY: Describe the effects of the proposed use on adjacent property and the surrounding neighborhood. What protection will be offered adjoining property owners?

The proposed project meets and exceeds all setback and separation requirements specified in the Fluvanna County Code. Specifically the code requires any TASF to be a minimum of 500-feet from any on-site or off-site residential structure. The closet off-site structure is approx. 1,171-feet away, while the closet on-site structure is approximately 1,200-feet away. The Code requires the Tower be situated a minimum of its height from any property line unless an engineered fall zone letter is provided. The closet property line is to the west and owned by Mr. Beyer and is 121.7-feet away, which is within the 100-foot fall radii described in the Fall letter signed and sealed by a Virginia Certified Engineer. The other property lines exceed the 199 requirement and are 257 and 290 feet respectively.

ENHANCEMENT OF COUNTY: Why does the applicant believe that this requested change would be advantageous to the County of Fluvanna? (Please substantiate with facts.)

The proposed TASF will provide access to cellular phone service and wireless Internet services in an area with little to no service. This area, primarily portions of census tract 51065020200 was identified by the FCC as being under served. In addition to bringing wireless access to the area the County Emergency Management Department has indicated a need and desire to locate antennas in this area. The tower will also provide needed infrastructure for other wireless carriers who may desire to also expand their services in this area.

PLAN: Furnish plot plan showing boundaries and dimensions of property, width of abutting right-of-ways, location and size of buildings on the site, roadways, walks, off-street parking and loading space, landscaping, etc. Architect's sketches showing elevations of proposed buildings and complete plans are desirable and may be required with the application. Remarks:

Detailed Survey and Zoning drawings showing all required information is attached in document titled: Final Development Plans

Fluvanna County Virginia Communications Facility Application Checklist

Date Submitted: May 30, 2014

APPLICANT'S NAME: <u>52-Eighty Partners, LLC</u> (Site Name: <u>VA-902 Kolcum TMO VA62389</u>)		
Phone: <u>404-382-5285</u>	FAX: <u>866-659-4989</u>	E-mail: <u>dfinocchi@52eighty.com</u>
PROPERTY OWNER: <u>John B Kolcum</u> Phone: <u>434-242-0323</u>		
APPLICANT'S CONTACT: <u>Dale Finocchi</u>		
Address: <u>5860 Clarion St Suite 101 Cumming, GA 30040</u>		
Phone: <u>336-681-6166</u>	FAX: <u>866-659-4989</u>	E-mail: <u>dfinocchi@52eighty.com</u>
Lessor/Licensor Contact Information:		
Name: <u>52-Eighty, LLC</u>		
Address: <u>5860 Clarion St Suite 101 Cumming, GA 30040</u>		
Phone: <u>404-382-5280</u>	FAX: <u>866-659-4989</u>	E-mail: <u>info@52eighty.com</u>

Commercial Wireless Provider T-Mobile and Fluvanna County

New Structure: Yes No **Co-location:** Yes No **Water Tower:** Yes No

Replace Existing Structure: Yes No **Replacement (upgrade) of existing antennas** Yes No

Stealth Attached Facility: Yes No **New Stealth Antenna Support Structure:** Yes No

FACILITY INFORMATION:

Site Address: 48831 Venable Road, Kents Store, VA 23084 (Parcel ID 22 A 90C)

Latitude (NAD83): N 37-52-44.86 **Longitude (NAD83):** W 78-10-00.82

Ground Elevation (AMSL) (ft): 393.7 **Total Height of Tower: (AGL) (ft)** 199

RAD Center (ft): 195

TAX Parcel Identification Number: 22-A-90C

Present Zoning of Property: A-1

Land Use and Description of Property: Vacant parcel with mixed forest

FCC Antenna Structure Registration Number (ASR) (if applicable): _____

The following must be enclosed with this application:

1. A map (electronic preferable) of the same search ring submitted and used by the applicant's site locator;
2. A map (electronic preferable) indicating applicant's existing RF signal propagation;
3. A map (electronic preferable) indicating applicant's proposed new RF signal propagation;
4. A statement (electronic preferable) from a qualified individual that the applicant will comply with all FCC rules regarding human exposure to RF energy, along with the individual's qualifications.
5. A statement (electronic preferable) from the applicant that the applicant will comply with all applicable FCC rules regarding radio-frequency interference;
6. A statement (electronic preferable) that the submitted search ring is the same as utilized in the selection of the site;
7. Complete plans of the proposed facility to include a structural certification by a Registered Professional Engineer that the facility complies with applicable Federal, State and Fluvanna County building codes;

Please Note: Supplemental information may be requested for purposes of clarity or confirmation.



T-Mobile Northeast LLC, a subsidiary of T-Mobile USA, Inc.

August 4, 2014

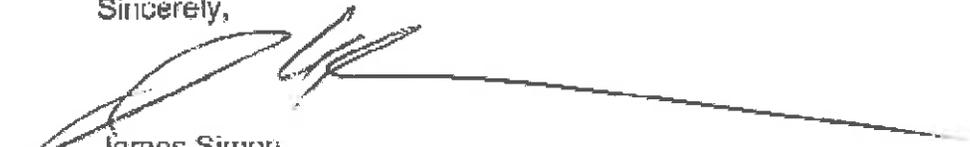
George Alex
52|Eighty Partners LLC
5860 Clarion Street, Suite 101
Cumming, GA 30040-0368

Dear Mr. Alex,

T-Mobile is interested in collocating on the tower proposed by 52|Eighty Partners LLC at 48831 Venable Rd, Kent's Store, VA 23084. We are preparing the Site License Agreement to secure the 195' rad center.

This letter is being supplied to you in support of your efforts to secure all federal, state and local approvals necessary to develop the communications facility.

Sincerely,



James Simon
Market Manager, T-Mobile

Memorandum

DATE: August 19, 2014
RE: APO'S for **SUP 14-07** Public Hearing Letters
TO: Jason Stewart
FROM: Kelly Belanger Harris

Please be advised the attached letter went out to the attached list of Adjacent Property Owners for the **August 19, 2014** Planning Commission meeting.



COUNTY OF FLUVANNA

"Responsive & Responsible Government"

P.O. Box 540 Palmyra, VA 22963 (434) 591-1910 FAX (434) 591-1911 www.fluvannacounty.org

NOTICE OF PUBLIC HEARING

August 13, 2014

«Full_Name»
 «Address»
 «City_State» «ZIP»
 TMP# «TMP»

Re: Public Hearing on SUP 14:07

Dear «Full_Name»:

This letter is to notify you that the Fluvanna County Planning Commission will hold a public hearing on the above referenced item on **Wednesday, August 27, 2014** at **7:00 PM** in the Circuit Court Room at the Fluvanna County Courts Building in Palmyra, VA. The request is described as follows:

SUP 14:07 – 52 Eighty Partners, LLC - Construct Telecommunications Tower – A request for a special use permit to allow for a 195 foot wireless communications tower with respect to 16.1 acres of Tax Map 22, Section A, Parcel 90C. The property is zoned A-1 and is located 0.2 miles southwest of Dogwood Drive (Route 631) on the north side of Venable Road (Route 601). The property is located in the Columbia Election District and is within the Rural Preservation Planning Area.

The applicant or applicant's representative must be present at the Planning Commission meeting. The tentative agenda and staff report will also be available for review by the public in the Fluvanna County Planning and Community Development Department during working hours (8:00 a.m. – 5:00 p.m., Monday through Friday). If you have any questions, please feel free to contact me at 434-591-1910.

Sincerely,

Steven Tugwell
 Senior Planner

SUP 14-07 52 Eighty

TMP	Full Name	Address	City, State	ZIP
22 (A) 90	MATTHEW J. & PATRICIA F. O'MALLEY	239 DOGWOOD DR	Kents Store, VA	23084
21 (2) 2	NEW FORESTRY LLC	15 Piedmont Center	Atlanta, GA	30305
22 (A) 90D	LAWRENCE R & BARBARA KALOGERA	408 Flaker Drive	Wyckoff, NJ	7481
22 (A) 90C	JOHN B. KOLCUM	1603 Galilee Rd	Smithfield, NC	27577
22 (A) 94	EDWARD T. & MARY A. WHALEN	2834 VENABLE RD	Kents Store, VA	23084
Applicant	Dale Finocchi	5860 Clarion Street, Ste 101	Cumming, GA	30041



August 8, 2014

To: Fluvanna County Virginia Planning Department

RE: Authorization to Act as Agent for Zoning and Permitting in Fluvanna County for the development of a Wireless Communication Facility at 48831 Venable Rd, Kents Store, VA.

To whom it may concern:

I hereby authorize 52-Eighty Partners, LLC, its agents, contractors, and consultants to act on my behalf for the purposes of obtaining all necessary approvals from Fluvanna County for the construction of a communication tower on property I currently own at the address above.

Sincerely,

Judith Kolcum



SEARCH RING: VA62389 - SITE NAME: KOLCUM - SITE ID: VA-902

PROPOSED 199' MONOPOLE TOWER STRUCTURE WITH ANTENNAS AND TENANT GROUND SPACE

FINAL DEVELOPMENT PLANS

52 EIGHTY
 52 EIGHTY, LLC
 5860 CLARION STREET, SUITE 101
 CUMMING, GA 30040
 PHONE: (404) 382-5280

WIRELESS VISION L.L.C.
 Site Development Services

NOT TO SCALE

SCALE VERIFICATION
 0 1" BAR IS ONE INCH ON ORIGINAL DRAWING.
 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALE ACCORDINGLY.

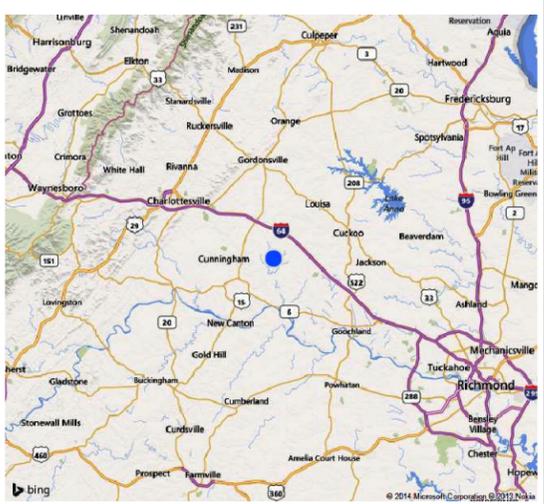
REVISIONS		
NO.	DESCRIPTION	DATE

DATE: 5-24-14
 DRAWN: JAE
 CHECKED: GAM
 DESIGNED: JAE
 JOB NUMBER: 319-127-35
 CAD FILE: /ENG/5280/TMO VA62389 CD'S.DWG

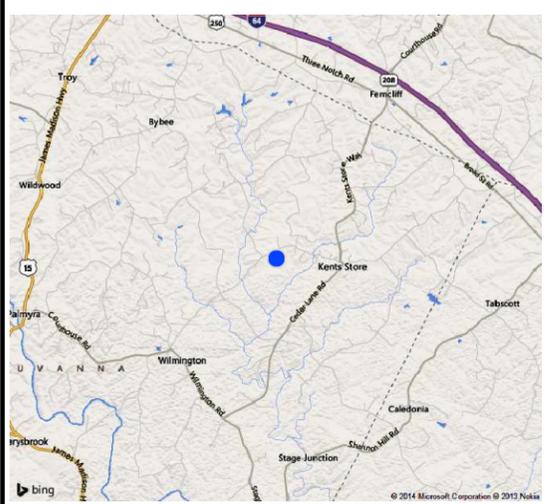
FROM INTERSTATE 64 TAKE EXIT 143 (FERNCLIFF/KENT'S STORE) SOUTH (CR 208/659..IS 659 HEADING SOUTH) TOWARDS KENT'S STORE AT KENT'S STORE (FIRE DEPT WILL BE ON RIGHT AND POST OFFICE ON LEFT) TURN RIGHT ONTO VENABLE RD (CR 601). SITE IS DOWNCR 601 ON RIGHT JUST PAST DOGWOOD DRIVE.

COORDINATE
 LATITUDE: N 37°52'44.86"
 LONGITUDE: W 78°10'00.82"
 ELEVATION: 393.7' NAVD 88

DIRECTIONS TO SITE



VICINITY MAP



LOCATION MAP

SEARCH RING: VA62389
 SITE NAME: KOLCUM
 52 EIGHTY SITE: VA-902
 MARKET: VIRGINIA
 REGION: SOUTH
 ADDRESS: DIRECTLY ACROSS THE ROAD FROM 2834 VENABLE ROAD KENT'S STORE, VA 23084
 TOWER TYPE: MONOPOLE
 TOWER HEIGHT: 199'
 ANTENNA RAD E: 195' AGL
 FLOOD ZONE: NO
 PARENT TRACT OWNER: JOHN KOLCUM
 CONTACT#: REAL ESTATE AGENT MARILYN RILEY (434) 242-0323
 APPLICANT: 52 EIGHTY PARTNERS, LLC
 CONTACT: DALE FINOCCHI (404) 382-5285
 ENGINEER: B&T ENGINEERING. CHAD TUTTLE PH: (918) 587-4630

SITE INFORMATION
POINT TO POINT LAND SURVEYORS
 810 JACKSON STREET, LOCUST GROVE GEORGIA 30248 (P) 678.565.4440

CONSULTANTS

POWER COMPANY: DOMINION 1-866-366-4357
 TELEPHONE COMPANY: PROVIDED VIA MICROWAVE
 WATER SUPPLY: NO SERVICE REQUIRED
 WASTE WATER: NO SERVICE REQUIRED

UTILITY COMPANY
 ZONING : A-1
 JURISDICTION: FLUVANNA COUNTY
 TAX PARCEL#: 22-A-90C
 PARKING: 1 SPACE

ZONING DATA
 ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.
 1. 2010 INTERNATIONAL BUILDING CODE
 2. NATIONAL ELECTRIC CODE (NEC) WITH LOCAL AMENDMENTS LATEST ED.
 3. ANSI/ TIA/ EIA APPLICABLE STANDARDS.
 4. LIFE SAFETY CODE NFPA - 101-2000
 5. AMERICAN INSTITUTE OF STEEL CONSTRUCTION SPECIFICATIONS (AISC)
 6. UNDERWRITERS LABORATORIES (U.L.)
 7. LOCAL BUILDING CODE
 8. CITY/COUNTY ORDINANCES

CODE COMPLIANCE
va811.com
 Dig With GORE
 Call 811 or 1-800-552-7001

CALL BEFORE YOU DIG

FLUVANA COUNTY DIRECTOR OF PLANNING
 APPROVAL: _____
 SIGNATURE DATE

SHEET NO.	DESCRIPTION
T1.00	COVER SHEET
C1.00	LEGEND, ABBREVIATIONS & GENERAL NOTES
C1.10	GENERAL NOTES
C1.20	BOUNDARY INFORMATION & EXISTING FEATURES
C1.30	BOUNDARY INFORMATION & EXISTING FEATURES
C1.40	LEGAL DESCRIPTIONS
C2.00	MASTER SITE PLAN
C2.10	PROPOSED IMPROVEMENTS
C2.20	ACCESS ROAD PLAN
C2.30	ACCESS ROAD PLAN
C3.00	TOWER ELEVATION & DETAILS
C3.01	ENGINEERING DETAILS
C3.10	ENGINEERING DETAILS
C3.11	ENGINEERING DETAILS
C3.20	FENCE DETAILS
C3.30	SIGN DETAILS
E1.00	GROUNDING PLAN
E1.00	GROUNDING DETAILS

SHEET INDEX

B+T GRP
 1717 S. BOULDER AVE. SUITE 300 TULSA, OK 74119 PH: (918) 587-4630 www.btgrp.com
 VIRGINIA CERTIFICATE OF AUTHORIZATION 005047

CHAD TUTTLE
 Lic No. 039105
 5/28/14
 PROFESSIONAL ENGINEER
 REGISTRATION No.: 0402 039105

SR: VA62389
SITE ID: VA-902
SITE NAME: KOLCUM

SHEET TITLE
COVER SHEET

SHEET NUMBER
T1.00

GENERAL CONSTRUCTION NOTES

1. **ORDER OF CONSTRUCTION** - EROSION CONTROL STRUCTURES INDICATED ON THE ATTACHED PLANS SHALL BE ERECTED PRIOR TO THE EXECUTION OF ANY SITE WORK. DRAINAGE STRUCTURES AND SURFACE WATER MANAGEMENT IMPROVEMENTS, IF ANY, SHALL BE CONSTRUCTED DIRECTLY FOLLOWING SITE DEMOLITION AND PREPARATION TASKS.
2. **SEDIMENTATION CONTROL** - SEDIMENTATION CONTROL SHALL BE ACCOMPLISHED DURING CONSTRUCTION THROUGH THE USE OF SILT FENCING PLACED AS SHOWN ON THE ATTACHED PLAN. THE CONTROL DEVICES SHALL BE SET AT THE ONSET OF SITE GRADING TO CONTROL SEDIMENTATION FLOW AND TO PREVENT SILTING OF BOTH ON-SITE AND OFF-SITE AREAS.
3. **EROSION CONTROL** - EROSION CONTROL SHALL BE ACCOMPLISHED THROUGH THE USE OF DOT CLASS "A" PLAIN RIP RAP WITH FILTER FABRIC, SOD OR STRAW MULCH WHICH SHALL BE APPLIED TO ALL AREAS DISTURBED DURING THE CONSTRUCTION PROCESS. EROSION CONTROL STRUCTURES INDICATED ON THE ATTACHED PLANS SHALL BE ERECTED PRIOR TO THE EXECUTION OF ANY SITE WORK. EROSION CONTROL SHALL INCLUDE TEMPORARY AND PERMANENT EROSION CONTROL FEATURES MEETING THE REQUIREMENTS OF THE DOT CONSTRUCTION SPECIFICATIONS.
4. **EXISTING IMPROVEMENTS** - THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING IMPROVEMENTS AND UTILITIES PRIOR TO BID PREPARATION AND THE COMMENCEMENT OF CONSTRUCTION.
5. **CODES AND STANDARDS** - CONSTRUCTION SHALL CONFORM TO THE CODES AND STANDARDS REFERENCED BELOW INCLUDING THE DOT STANDARD SPECIFICATIONS FOR ROAD AND STRUCTURE CONSTRUCTION.
FLUVANNA COUNTY LAND DEVELOPMENT CODE AND TOWER ORDINANCE.
6. **DISTURBED AREAS** - ALL AREAS DISTURBED DURING THE CONSTRUCTION PROCESS SHALL BE STRAW MULCHED FOLLOWING FINAL GRADING. AREAS WITH SLOPES GREATER THAN 4(H):1(V) SHALL BE SEEDED AND STRAW MULCHED. FOR AREAS WITH SLOPES GREATER THAN 3(H):1(V), EROSION CONTROL BLANKETS MEETING THE REQUIREMENTS OF THE DOT SHALL BE UTILIZED.
7. **SEED, SOD AND MULCH** - SEED, SOD AND STRAW MULCH SHALL CONFORM TO THE DOT CONSTRUCTION SPECIFICATIONS. WATER SHALL BE POTABLE FOR GRASSING AND SODDING AND SHALL BE PLACED IN ACCORDANCE WITH THE DOT CONSTRUCTION SPECIFICATION.
8. **RIP RAP** - RIP RAP USED ON THIS PROJECT SHALL MET THE REQUIREMENTS FOR DOT CLASS "A" PLAIN RIP RAP UNLESS OTHERWISE SPECIFIED ELSEWHERE IN THIS PLAN SET. THE RIP RAP SYSTEM SHALL INCLUDE THE PLACEMENT OF FILTER FABRIC. ALL MATERIALS AND INSTALLATION SHALL CONFORM TO THE DOT CONSTRUCTION SPECIFICATIONS.
9. **CLEARING AND GRUBBING** - CLEARING AND GRUBBING SHALL BE PERFORMED WITHIN THE CONSTRUCTION LIMITS AS NOTED ON THE PLANS IN ACCORDANCE WITH THE DOT CONSTRUCTION SPECIFICATIONS. THE CONTRACTOR SHALL EXPECT TO STRIP TO GENERAL DEPTHS OF 6" TO 12". DEEPER STRIPPING MAY BE NECESSARY IN AREAS OF MAJOR ROOT SYSTEMS. WHEREVER PAVEMENT OR BASE COURSE EXISTS WITHIN THE CONSTRUCTION LIMITS, THE SURFACE AND/OR BASES COURSES SHALL BE BROKEN UP FOR THE FULL EXISTING WIDTH AND DEPTH, REMOVED, AND DEPOSITED OFF-SITE.
10. **DEMOLITION** - DEMOLITION DEBRIS FROM EXISTING STRUCTURES, IF ANY, SHALL BE REMOVED AND DEPOSITED OFF-SITE AT AN APPROVED LOCATION.
11. **FILL PLACEMENT** - SOIL MATERIALS FOR FILLING SHALL CONFORM TO AASHTO SOIL GROUPS A-2, A-3 OR A-4 AND SHALL BE PLACED IN TEN (10) INCH LOOSE LIFTS TO THE GRADES SHOWN ON THE PLANS. EACH LIFT SHALL BE COMPACTED TO 100% OF THAT OBTAINED BY COMPACTING A SAMPLE OF MATERIAL IN ACCORDANCE WITH AASHTO T99. BACK FILL SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DOT CONSTRUCTION SPECIFICATIONS.
12. **SUBGRADE WORK** - THE CONTRACTOR SHALL CLEAR AND STRIP THE AREA TO BE IMPROVED AND EXCAVATE TO THE TOP OF THE SUBGRADE. THE TOP OF THE SUBGRADE SHALL BE PROOF ROLLED IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE TO LOCATE AND IDENTIFY SOFT SPOTS. SOIL MATERIALS IN SOFT AREAS SHALL BE REMOVED AND THESE AREAS SHALL BE BACKFILLED AS DIRECTED BY THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL DISPOSE OF THE EXCAVATED SUBGRADE MATERIALS, IF UNSUITABLE FOR FILL, OFF SITE.
13. **STABILIZED SUBGRADE** - SUBGRADE SHALL BE STABILIZED WITH AGGREGATE STABILIZATION CONFORMING TO THE DOT REQUIREMENTS. STABILIZER AGGREGATE SHALL BE IN ACCORDANCE WITH THE DOT. COMPACT THE ENTIRE DEPTH AND WIDTH OF THE STABILIZED SUBGRADE TO A DENSITY EQUAL TO AT LEAST 100% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T99.
14. **BASE COURSE** - MATERIAL FOR THE AGGREGATE BASE COURSE (ABC) SHALL BE DOT APPROVED GRANITE CRUSHER RUN; CRUSHED LIMESTONE; OR LOCALLY AVAILABLE MATERIAL APPROVED BY THE ENGINEER OF RECORD. THE AGGREGATE BASE COURSE SHALL BE COMPACTED TO AT LEAST 100% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T99. **BASE COURSE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE DOT CONSTRUCTION SPECIFICATIONS, INCLUDING LEVEL SURFACES; UNIFORM THICKNESSES; AND STRAIGHT, CLEAN FINISHED EDGES.**
15. **FIELD DENSITIES** - ALL FILL, STABILIZED SUBGRADE, AND THE ABC SHALL BE TESTED FOR FIELD DENSITY. ONE TEST SHALL BE TAKEN EVERY 1,500 SQUARE FEET OR PORTION THEREOF. TESTING SHALL BE PROVIDED IN EACH LIFT OF FILL AT LOCATIONS DESIGNATED BY THE OWNER'S REPRESENTATIVE. A MINIMUM OF TWO COMPACTION TESTS SHALL BE PERFORMED ON THE STABILIZED SUBGRADE AT LOCATIONS DESIGNATED BY THE OWNER'S REPRESENTATIVE.
16. **LAB TESTING** - ALL TESTING SHALL BE PERFORMED BY A QUALIFIED TESTING LAB UNDER THE DIRECTION OF A REGISTERED ENGINEER. TEST RESULTS SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR REVIEW. THE CONTRACTOR SHALL BEAR ALL TESTING EXPENSES.
17. **INSPECTION** - THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED FOR INSPECTION SCHEDULING BEFORE COMMENCING PERTINENT STAGES OF CONSTRUCTION INCLUDING SUBGRADE PROOF ROLLING, STABILIZED SUBGRADE PREPARATION, BASE COURSE PLACEMENT, AND OTHER STAGES REQUIRED FOR APPROVAL. REQUESTS FOR INSPECTION SHALL BE MADE AT LEAST 48 HOURS BEFORE DESIRED INSPECTION TIME.
18. **CAST IN PLACE CONCRETE** - UNLESS OTHERWISE NOTED, ALL CAST IN PLACE CONCRETE SHALL BE A NORMAL WEIGHT (140 PCF), 3 INCH TO 5 INCH SLUMP, 4000 PSI-28 DAY MINIMUM ULTIMATE COMPRESSIVE STRENGTH MIX. ALL CAST IN PLACE CONCRETE PROPORTIONS, MIXING, PLACING, CURING, FORMING, CONSTRUCTION JOINTS AND OTHER CONCRETE WORK SHALL COMPLY WITH THE CURRENT PROVISIONS OF ACI 318 AND ACI 301. CAST IN PLACE CONCRETE SHALL BE FINISHED WITH A STEEL TROWEL FINISH.
19. **REINFORCING** - REINFORCING STEEL FOR CAST IN PLACE CONCRETE SHALL BE ASTM A615 GRADE 60 OR GRADE 40 WWF. ALL REINFORCING STEEL SHALL COMPLY WITH THE CURRENT PROVISIONS OF ACI 318 AND ACI 301 AND THE CRSI DESIGN HANDBOOK.
20. **BUILDING PERMITS** - ALL BUILDING PERMIT COSTS SHALL BE PASSED THROUGH FROM THE CONTRACTOR TO THE OWNER.
21. **POWER COMPANY FEES** - ALL POWER COMPANY FEES SHALL BE PASSED THROUGH FROM THE CONTRACTOR TO THE OWNER.

WORK WITHIN THE RIGHT-OF-WAY

NOTE: THE METHOD AND MANNER OF PERFORMING THE WORK AND THE QUALITIES OF MATERIAL FOR CONSTRUCTION WITHIN THE RIGHT OF WAY SHALL CONFORM TO THE REQUIREMENTS SPECIFIED BY THE PUBLIC WORKS DEPARTMENT AND THE DEPARTMENT OF TRANSPORTATION (DOT). NO WORK SHALL BE DONE NOR MATERIALS USED IN THE CITY, COUNTY AND STATE RIGHT OF WAY, WITHOUT INSPECTION BY THE PUBLIC WORKS DEPARTMENT AND THE DOT RESPECTIVELY, AND THE CONTRACTOR/DEVELOPER SHALL FURNISH EACH DEPARTMENT EVERY REASONABLE FACILITY FOR ASCERTAINING WHETHER THE WORK PERFORMED AND MATERIALS USED ARE IN ACCORDANCE WITH THE REQUIREMENTS AND INTENT OF THE PLANS AND SPECIFICATIONS.



NOTE:
ABSOLUTELY NO PORTION OF THE LEASE PARCEL OR THE FENCED COMPOUND SHALL BE LOCATED OVER ANY FIBER OPTIC CABLES, EXISTING GROUNDING SYSTEMS OR EXISTING UTILITIES.



52 EIGHTY, LLC
5860 CLARION STREET, SUITE 101
CUMMING, GA 30040
PHONE: (404) 382-5280



Site Development Services

NOT TO SCALE

SCALE VERIFICATION

0 | 1"

BAR IS ONE INCH ON ORIGINAL DRAWING.

IF NOT ONE INCH ON THIS SHEET, ADJUST SCALE ACCORDINGLY.

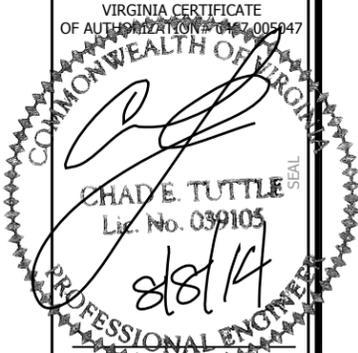
REVISIONS		
NO.	DESCRIPTION	DATE

DATE:	5-24-14
DRAWN:	JAE
CHECKED:	GAM
DESIGNED:	JAE
JOB NUMBER:	319-127-35
CAD FILE: /ENG/5280/TMO VA62389 CD5.DWG	



1717 S. BOULDER AVE.
SUITE 300
TULSA, OK 74119
PH: (918) 587-4630
www.btgrp.com

VIRGINIA CERTIFICATE OF AUTHORIZATION # 0447005947



CHAD E. TUTTLE
Lic. No. 039105
8/8/14

PROFESSIONAL ENGINEER
REGISTRATION
No.: 0402 039105

JOB INFORMATION

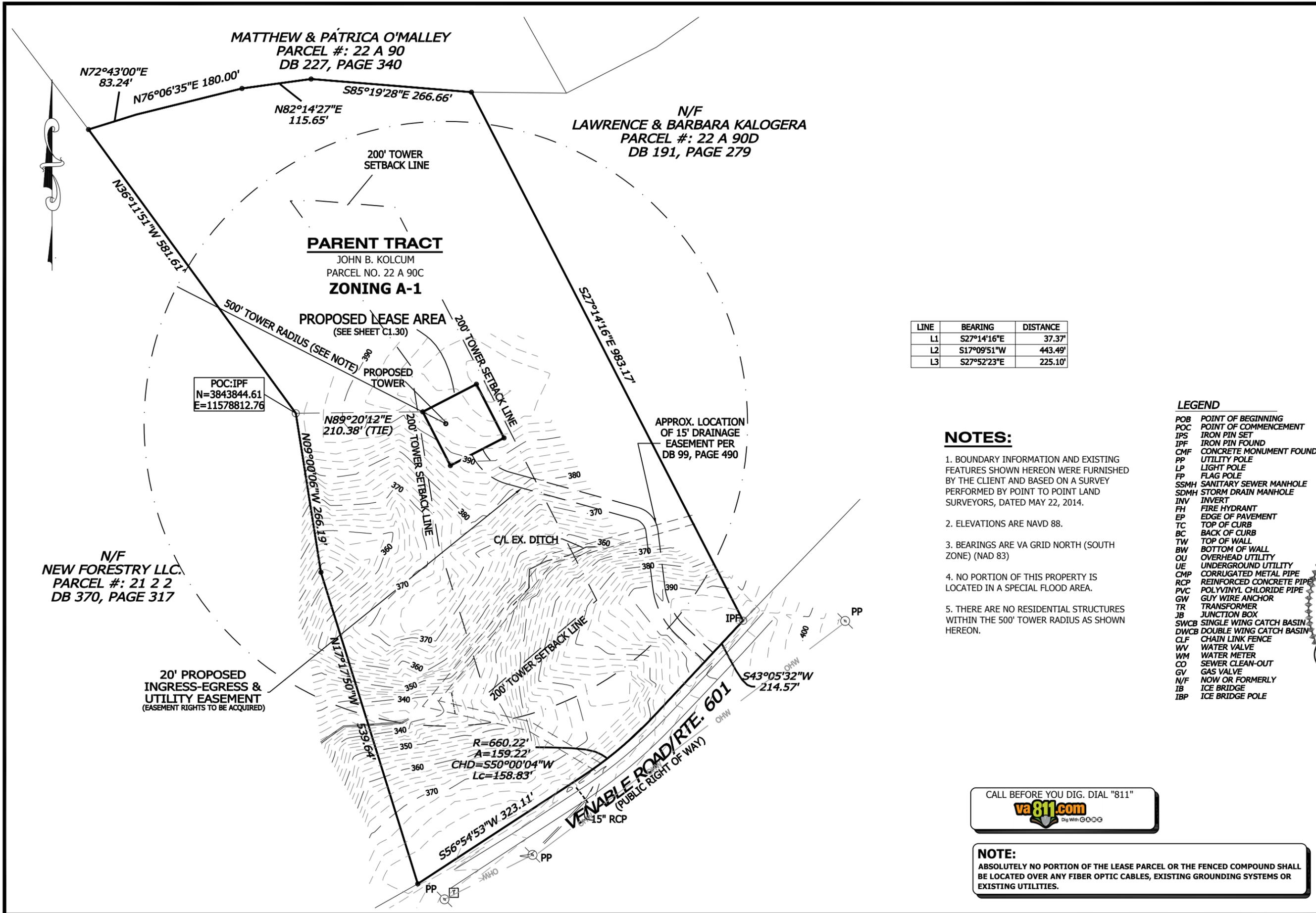
SR: VA62389
SITE ID: VA-902
SITE NAME: KOLCUM

SHEET TITLE

GENERAL NOTES

SHEET NUMBER

C1.10



LINE	BEARING	DISTANCE
L1	S27°14'16\"E	37.37'
L2	S17°09'51\"W	443.49'
L3	S27°52'23\"E	225.10'

NOTES:

- BOUNDARY INFORMATION AND EXISTING FEATURES SHOWN HEREON WERE FURNISHED BY THE CLIENT AND BASED ON A SURVEY PERFORMED BY POINT TO POINT LAND SURVEYORS, DATED MAY 22, 2014.
- ELEVATIONS ARE NAVD 88.
- BEARINGS ARE VA GRID NORTH (SOUTH ZONE) (NAD 83)
- NO PORTION OF THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD AREA.
- THERE ARE NO RESIDENTIAL STRUCTURES WITHIN THE 500' TOWER RADIUS AS SHOWN HEREON.

CALL BEFORE YOU DIG. DIAL "811"
 Dig With Confidence

NOTE:
 ABSOLUTELY NO PORTION OF THE LEASE PARCEL OR THE FENCED COMPOUND SHALL BE LOCATED OVER ANY FIBER OPTIC CABLES, EXISTING GROUNDING SYSTEMS OR EXISTING UTILITIES.

LEGEND

- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- IPS IRON PIN SET
- IPF IRON PIN FOUND
- CMF CONCRETE MONUMENT FOUND
- PP UTILITY POLE
- LP LIGHT POLE
- FP FLAG POLE
- SSMH SANITARY SEWER MANHOLE
- SDMH STORM DRAIN MANHOLE
- INV INVERT
- FH FIRE HYDRANT
- EP EDGE OF PAVEMENT
- TC TOP OF CURB
- BC BACK OF CURB
- TW TOP OF WALL
- BW BOTTOM OF WALL
- OU OVERHEAD UTILITY
- UE UNDERGROUND UTILITY
- CMP CORRUGATED METAL PIPE
- RCP REINFORCED CONCRETE PIPE
- PVC POLYVINYL CHLORIDE PIPE
- GW GUY WIRE ANCHOR
- TR TRANSFORMER
- JB JUNCTION BOX
- SWCB SINGLE WING CATCH BASIN
- DWCB DOUBLE WING CATCH BASIN
- CLF CHAIN LINK FENCE
- WV WATER VALVE
- WM WATER METER
- CO SEWER CLEAN-OUT
- GV GAS VALVE
- N/F NOW OR FORMERLY
- IB ICE BRIDGE
- IBP ICE BRIDGE POLE



52 EIGHTY, LLC
 5860 CLARION STREET, SUITE 101
 CUMMING, GA 30040
 PHONE: (404) 382-5280



Site Development Services
SCALE: 1" = 150'

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REVISIONS		
NO.	DESCRIPTION	DATE

DATE: 5-24-14
 DRAWN: JAE
 CHECKED: GAM
 DESIGNED: JAE
 JOB NUMBER: 319-127-35

CAD FILE: /ENG/5280/TMO VA62389 CD'S.DWG

1717 S. BOULDER AVE.
 SUITE 300
 TULSA, OK 74119
 PH: (918) 587-4630
 www.btgrp.com

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 OF AUTHORIZATION # 040710547

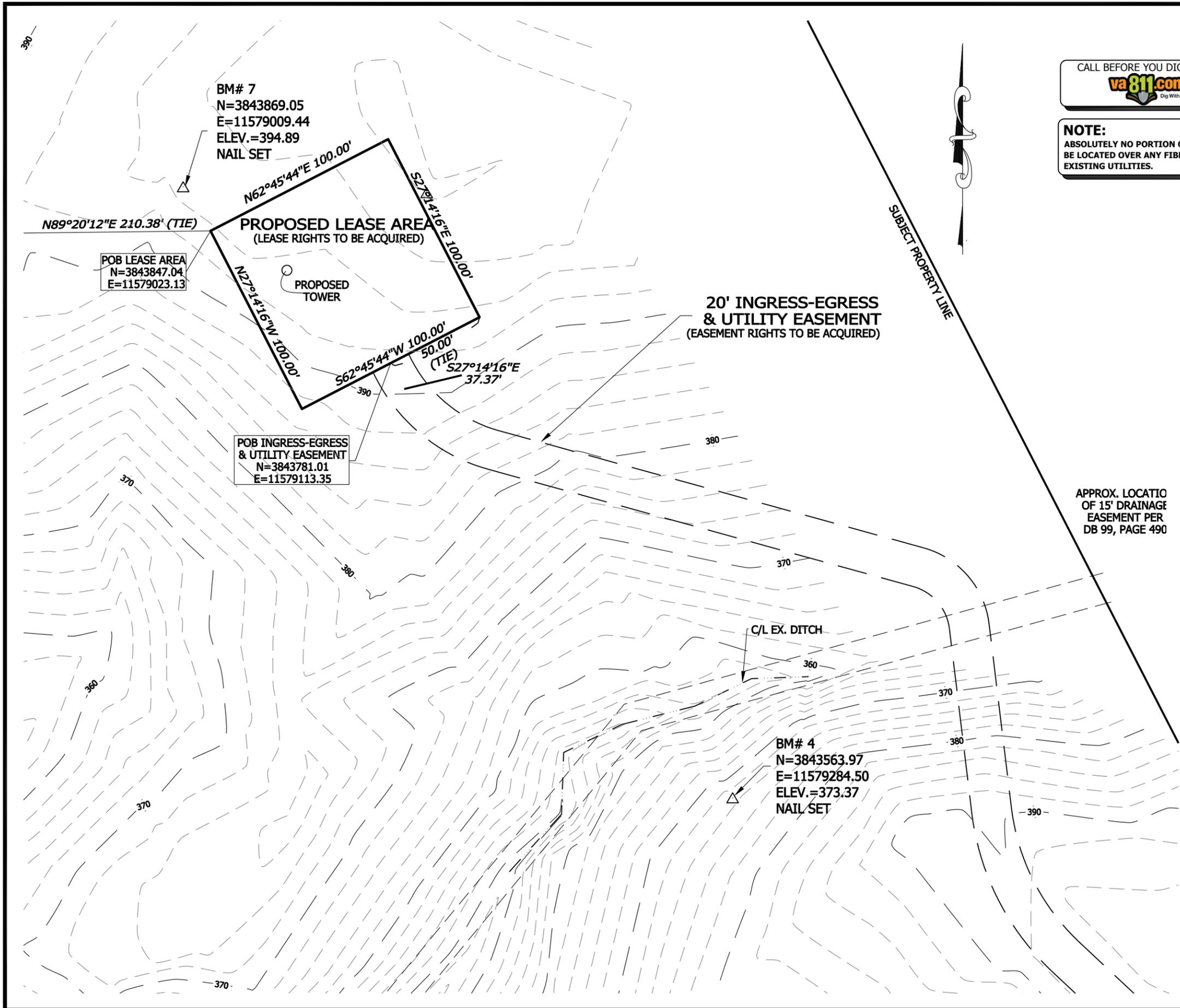
CHAD TUTTLE
 L.L. No. 039105
 8/8/14
 PROFESSIONAL ENGINEER

CHAD TUTTLE
 PROFESSIONAL ENGINEER
 REGISTRATION
 No.: 0402 039105

JOB INFORMATION
SR: VA62389
SITE ID: VA-902
SITE NAME: KOLCUM

SHEET TITLE
BOUNDARY INFORMATION & EXISTING FEATURES

SHEET NUMBER
C1.20



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NOTE:
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52 EIGHTY
 52 EIGHTY, LLC
 5860 CLARION STREET, SUITE 101
 CUMMING, GA 30040
 PHONE: (404) 382-5280

WIRELESS VISION L.L.C.

Site Development Services
SCALE: 1" = 60'

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VIRGINIA CERTIFICATE OF AUTHORIZATION # 0407 006047

Chad E. Tuttle
CHAD E. TUTTLE
 Lic. No. 039105
 5/28/14
 PROFESSIONAL ENGINEER

LEGEND

- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- IPS IRON PIN SET
- IPF IRON PIN FOUND
- CMF CONCRETE MONUMENT FOUND
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- N/F NOW OR FORMERLY
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NOTES:

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2. ELEVATIONS ARE NAVD 88.
3. BEARINGS ARE VA GRID NORTH (SOUTH ZONE) (NAD 83)
4. NO PORTION OF THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD AREA.
5. THERE ARE NO RESIDENTIAL STRUCTURES WITHIN THE 500' TOWER RADIUS AS SHOWN HEREON.

JOB INFORMATION
SR: VA62389
SITE ID: VA-902
SITE NAME: KOLCUM

SHEET TITLE
BOUNDARY INFORMATION & EXISTING FEATURES

SHEET NUMBER
C1.30

LEGAL DESCRIPTIONS

PROPOSED LEASE AREA
52 EIGHTY
"VA62389"

All that tract or parcel of land lying and being located in the Columbia Magisterial District, Fluvanna County, in the State of Virginia and being more particularly described as follows:

Commencing for the same at an iron pipe located at the end of the North 00°51'35" West 266.19 foot line as shown on a plat of the division of the property of Ethel C. and John D. Holiday recorded in the Clerk's Office of the Circuit Court of Fluvanna County in Deed Book 99 Page 490, said place of commencement also having a Virginia State Plane Grid Coordinate (South Zone, NAD83) of North 3843844.61, East 11578812.76; thence running and referenced to said State Plane Grid, North 89°20'12" East 210.38 feet to the True Point of Beginning; said point of beginning having a Virginia State Plane Grid Coordinate (South Zone, NAD83) of North 3843847.04, East 11579023.13; thence running,

1. North 62°45'44" East, 100.00 feet to a point; thence
2. South 27°14'16" East, 100.00 feet to a point; thence
3. South 62°45'44" West, 100.00 feet to a point; thence
4. North 27°14'16" West, 100.00 feet to the place of beginning.

Said tract contains 0.2296 Acres (10,000 square feet) more or less, as shown in a survey prepared for 52 Eighty by POINT TO POINT LAND SURVEYORS, INC. dated May 22, 2014.

PROPOSED 20' INGRESS/EGRESS
& UTILITY EASEMENT
52 EIGHTY
"VA62389"

SEE SURVEY FOR LEGAL DESCRIPTION



NOTE:
ABSOLUTELY NO PORTION OF THE LEASE PARCEL OR THE FENCED COMPOUND SHALL BE LOCATED OVER ANY FIBER OPTIC CABLES, EXISTING GROUNDING SYSTEMS OR EXISTING UTILITIES.

52 EIGHTY

52 EIGHTY, LLC
5860 CLARION STREET, SUITE 101
CUMMING, GA 30040
PHONE: (404) 382-5280

WIRELESS VISION L.L.C.

Site Development Services

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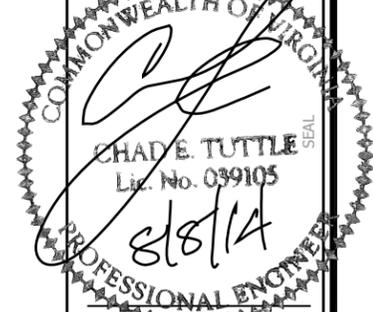
SCALE VERIFICATION
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REVISIONS		
NO.	DESCRIPTION	DATE

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CHECKED:	GAM
DESIGNED:	JAE
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1717 S. BOULDER AVE.
SUITE 300
TULSA, OK 74119
PH: (918) 587-4630
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VIRGINIA CERTIFICATE OF AUTHORIZATION # 0402005047

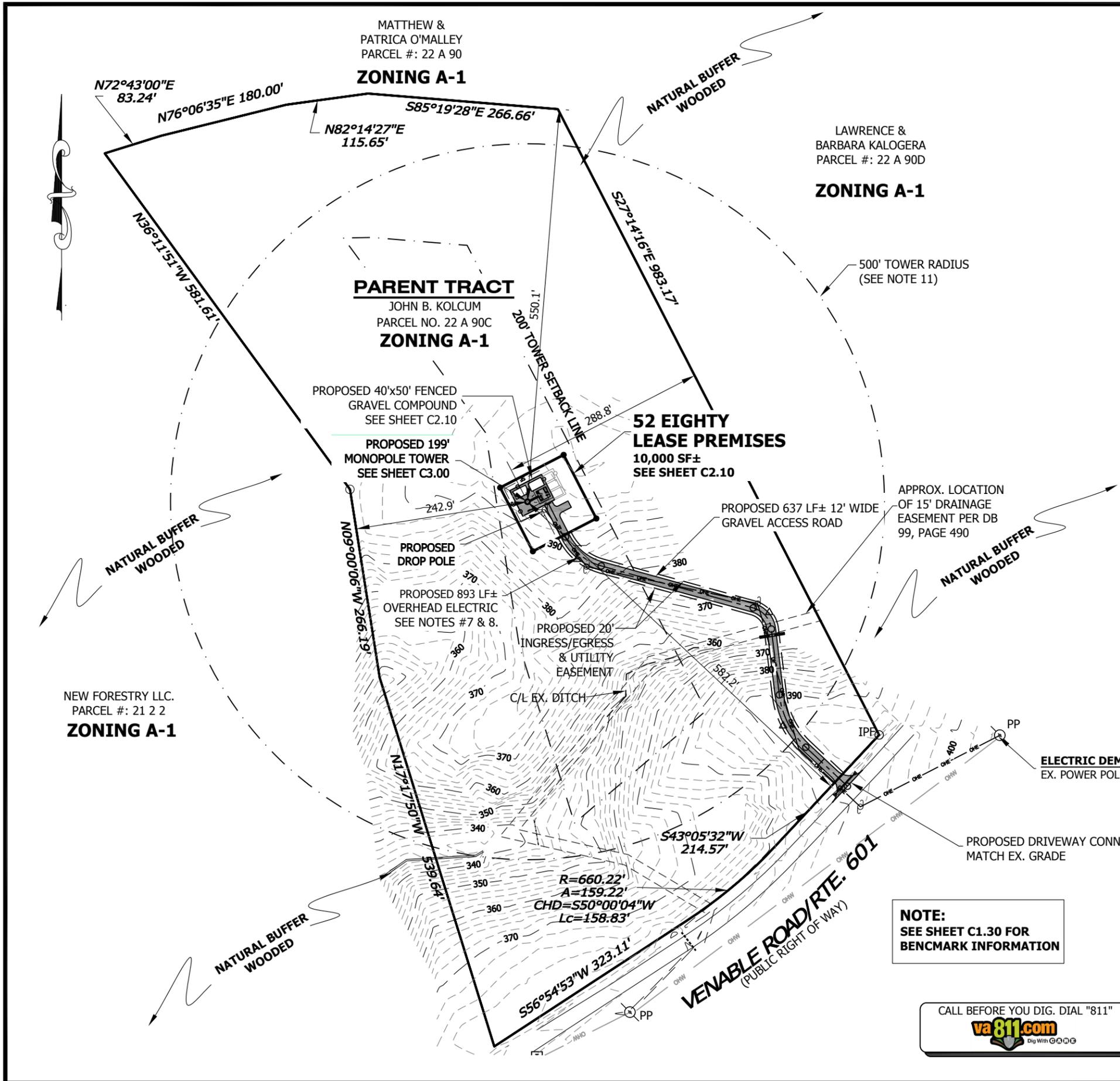


CHAD TUTTLE
PROFESSIONAL ENGINEER
REGISTRATION
No.: 0402 039105

JOB INFORMATION
SR: VA62389
SITE ID: VA-902
SITE NAME: KOLCUM

SHEET TITLE
LEGAL DESCRIPTIONS

SHEET NUMBER
C1.40



NOTES:

- SEE LEGEND, ABBREVIATIONS AND GENERAL NOTES ON SHEET T1.00, C1.00 & C1.10.
- TOWER LATITUDE, LONGITUDE AND ELEVATION WERE FURNISHED BY CLIENT.
- 199' MONOPOLE TOWER.
CENTER OF TOWER:
NAD 83

LATITUDE: N 37°52'44.86"
LONGITUDE: W 78°10'00.82"
ELEVATION: 393.7' NAVD 88
- THE PERPENDICULAR DISTANCES FROM THE CENTER OF THE PROPOSED TOWER TO THE PARENT TRACT BOUNDARY LINES ARE BASED ON SURVEY DATA PROVIDED BY THE CLIENT:

NORTH: 550.1'±
EAST: 288.8'±
SOUTH: 582.2'±
WEST: 242.9'±
- THE CONTRACTOR SHALL FIELD-VERIFY THE LOCATION OF ALL EXISTING ABOVE GROUND AND UNDERGROUND IMPROVEMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY NECESSARY RELOCATION OR REPAIR OF UNDERGROUND IMPROVEMENTS DUE TO DAMAGE CAUSED DURING CONSTRUCTION.
- ALL SITE WORK SHALL BE CAREFULLY COORDINATED BY THE CONTRACTOR WITH LOCAL GAS, ELECTRIC, TELEPHONE AND ANY OTHER UTILITY COMPANY HAVING JURISDICTION OVER THIS PROJECT.
- OVERHEAD UTILITIES ARE ENCOURAGED TO MINIMIZE CONSTRUCTION COST. THE PLACEMENT OF NEW POWER POLES SHALL BE COORDINATED WITH SERVICE PROVIDER PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- TELCO SERVICE WILL BE PROVIDED BY A MICROWAVE BACKHAUL NETWORK.
- WHEN UNDERGROUND ELECTRIC SERVICE IN 2-4" SCH 40 PVC CONDUIT. INSTALL IN ACCORDANCE WITH OSHA AND ALL APPLICABLE CODES.
- THERE ARE NO RESIDENTIAL STRUCTURES WITHIN THE 500' TOWER RADIUS AS SHOWN HEREON.

SITE DATA:			
DESCRIPTION	SF	AC	%
LEASE PREMISES	10,000	0.230	
TOTAL PROJECT AREA	10,000	0.230	100.0
IMPERVIOUS AREA	680	0.016	6.80
GRAVEL SURFACE	2,067	0.048	20.67
OPEN AREA	7,253	0.166	72.53
GRAVEL ACCESS ROAD	7,644		
THE TOTAL DISTURBED AREA ASSOCIATED WITH THE PROPOSED DEVELOPMENT IS APPROXIMATELY 16,298 SF.			

NOTE:
SEE SHEET C1.30 FOR BENCHMARK INFORMATION

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52 EIGHTY, LLC
5860 CLARION STREET, SUITE 101
CUMMING, GA 30040
PHONE: (404) 382-5280

WIRELESS VISION L.L.C.
Site Development Services
SCALE: 1" = 150'

SCALE VERIFICATION
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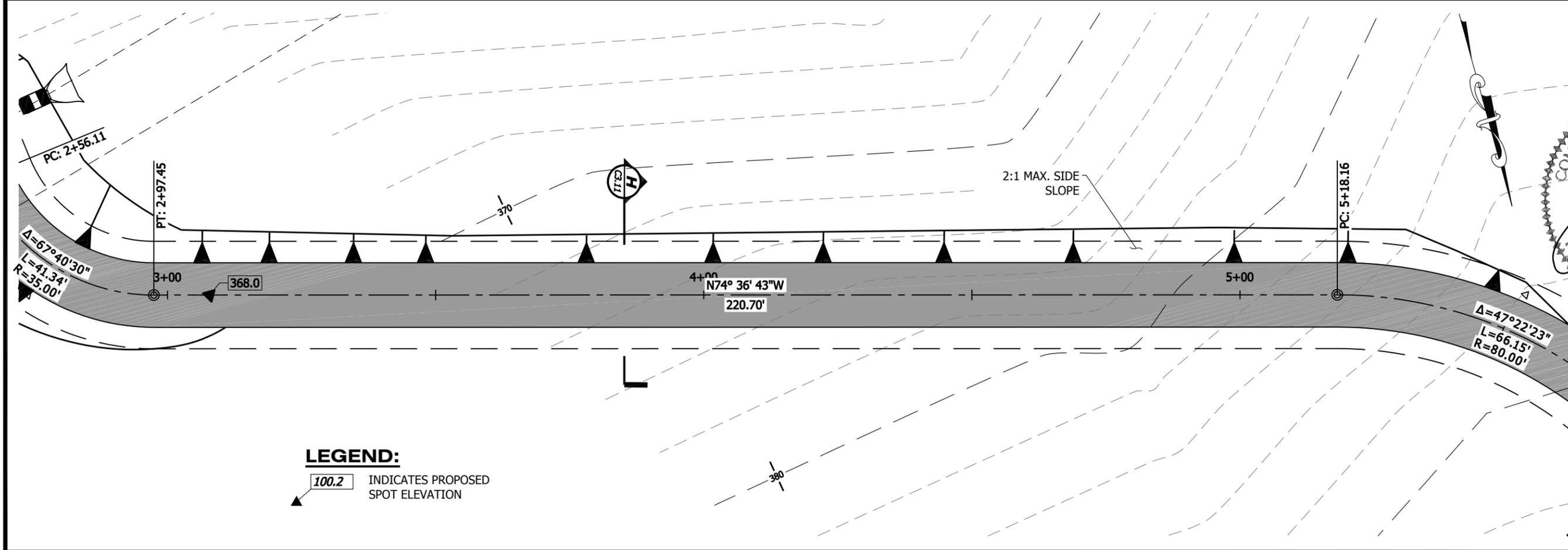
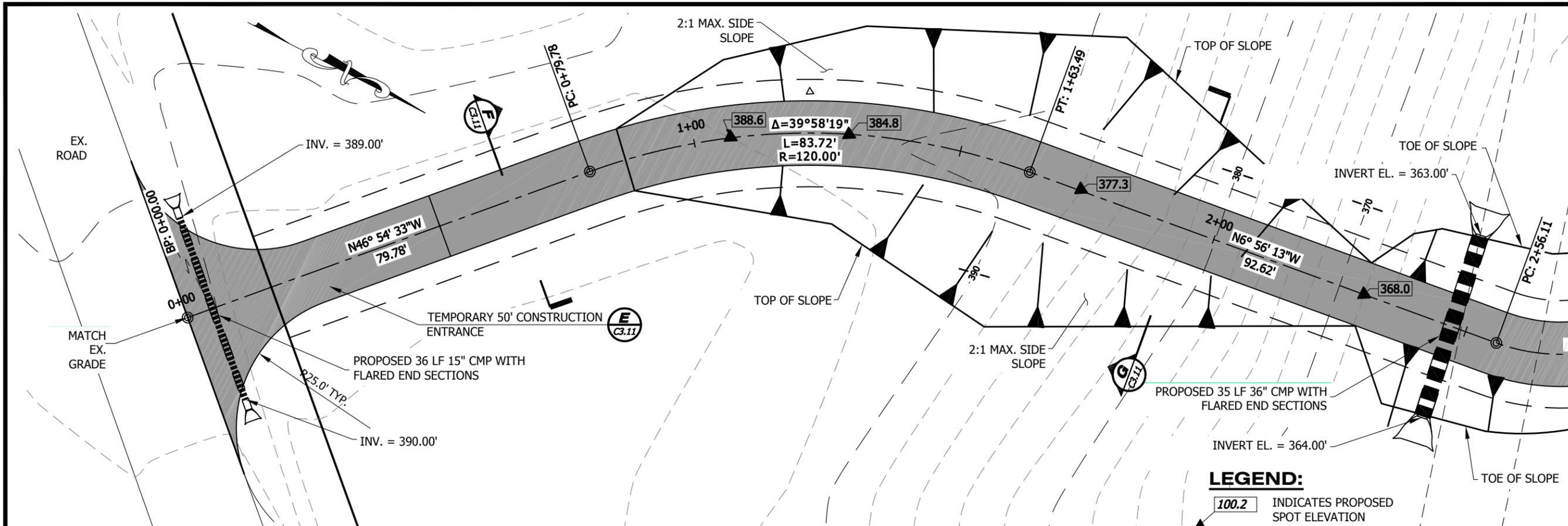
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JOB NUMBER:	319-127-35
CAD FILE: /ENR/5280/TMO VA62389 CD'S.DWG	

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SUITE 300
TULSA, OK 74119
PH: (918) 587-4630
www.btgrp.com

VIRGINIA CERTIFICATE OF AUTHORIZATION 4407 000047

CHAD E. TUTTLE
Lic. No. 039105
8/14

JOB INFORMATION	
SR: VA62389	SITE ID: VA-902
SITE NAME: KOLCUM	
SHEET TITLE	
MASTER SITE PLAN	
SHEET NUMBER	
C2.00	



52 EIGHTY

52 EIGHTY, LLC
5860 CLARION STREET, SUITE 101
CUMMING, GA 30040
PHONE: (404) 382-5280

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Site Development Services

SCALE: 1"=20'

SCALE VERIFICATION

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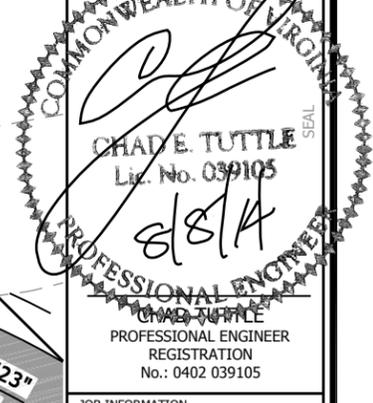
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SUITE 300
TULSA, OK 74119
PH: (918) 587-4630
www.btgrp.com

VIRGINIA CERTIFICATE OF AUTHORIZATION #4470000187



CHAD TUTTLE
PROFESSIONAL ENGINEER
REGISTRATION No.: 0402 039105

JOB INFORMATION

SR: VA62389
SITE ID: VA-902
SITE NAME: KOLCUM

SHEET TITLE

ACCESS RD. PLAN

SHEET NUMBER

C2.20

LEGEND:
100.2 INDICATES PROPOSED SPOT ELEVATION

LEGEND:
100.2 INDICATES PROPOSED SPOT ELEVATION

52 EIGHTY

52 EIGHTY, LLC
5860 CLARION STREET, SUITE 101
CUMMING, GA 30040
PHONE: (404) 382-5280

WIRELESS VISION L.L.C.

Site Development Services

SCALE: 1"=20'

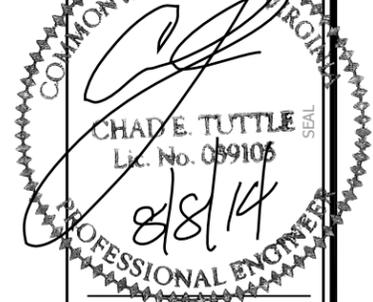
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SUITE 300
TULSA, OK 74119
PH: (918) 587-4630
www.btgrp.com

VERIFIED TO BE DATE OF AUTHORIZATION# 040700047

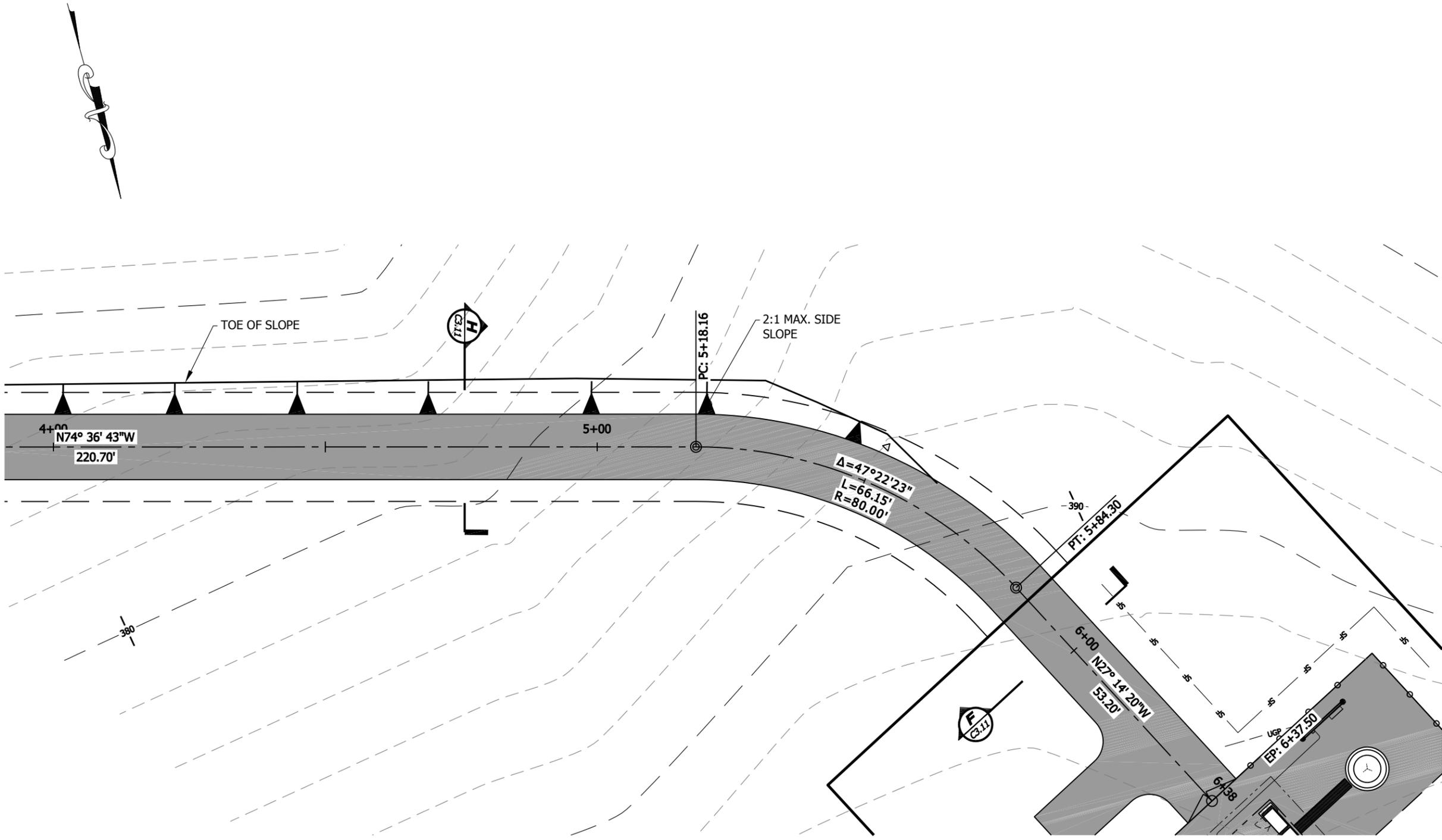


CHAD TUTTLE
PROFESSIONAL ENGINEER
REGISTRATION
No.: 0402 039105

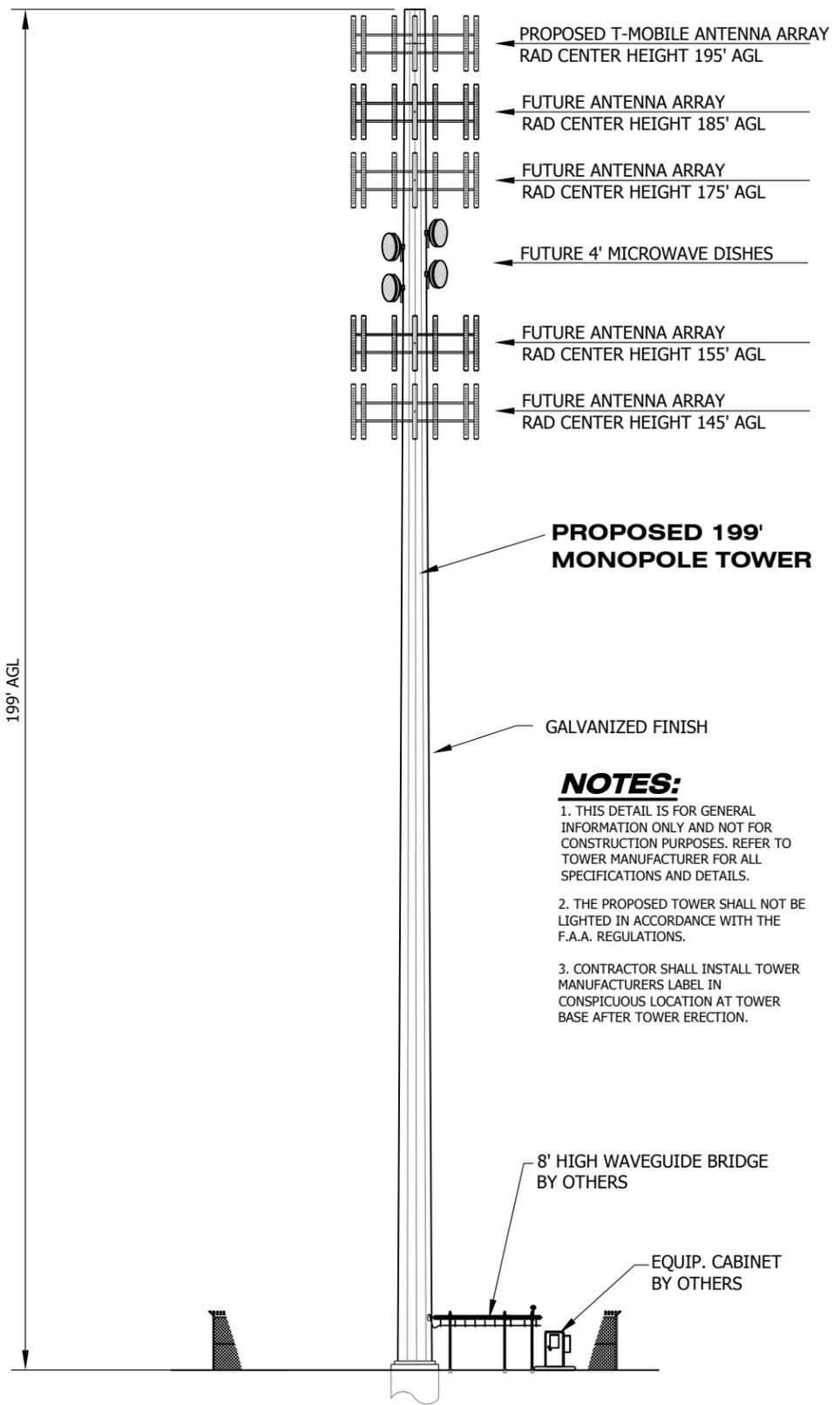
JOB INFORMATION
SR: VA62389
SITE ID: VA-902
SITE NAME: KOLCUM

SHEET TITLE
ACCESS RD. PLAN

SHEET NUMBER
C2.30



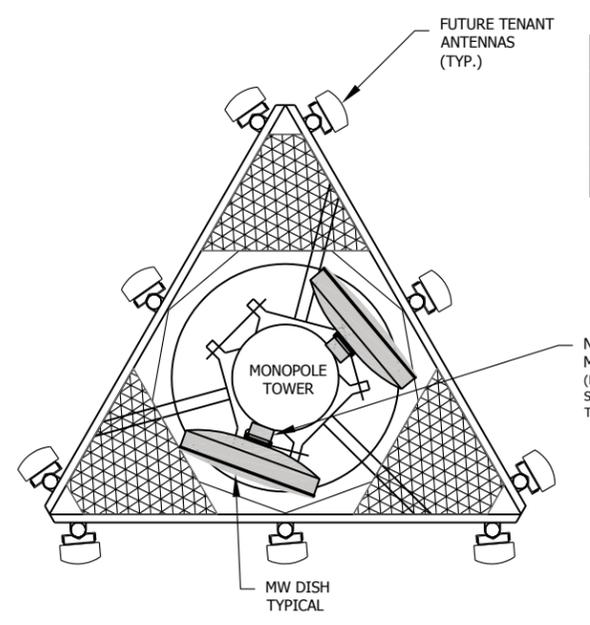
LEGEND:
100.2 INDICATES PROPOSED SPOT ELEVATION



NOTES:

1. THIS DETAIL IS FOR GENERAL INFORMATION ONLY AND NOT FOR CONSTRUCTION PURPOSES. REFER TO TOWER MANUFACTURER FOR ALL SPECIFICATIONS AND DETAILS.
2. THE PROPOSED TOWER SHALL NOT BE LIGHTED IN ACCORDANCE WITH THE F.A.A. REGULATIONS.
3. CONTRACTOR SHALL INSTALL TOWER MANUFACTURERS LABEL IN CONSPICUOUS LOCATION AT TOWER BASE AFTER TOWER ERECTION.

MONOPOLE TOWER ELEVATION VIEW N.T.S. **A**



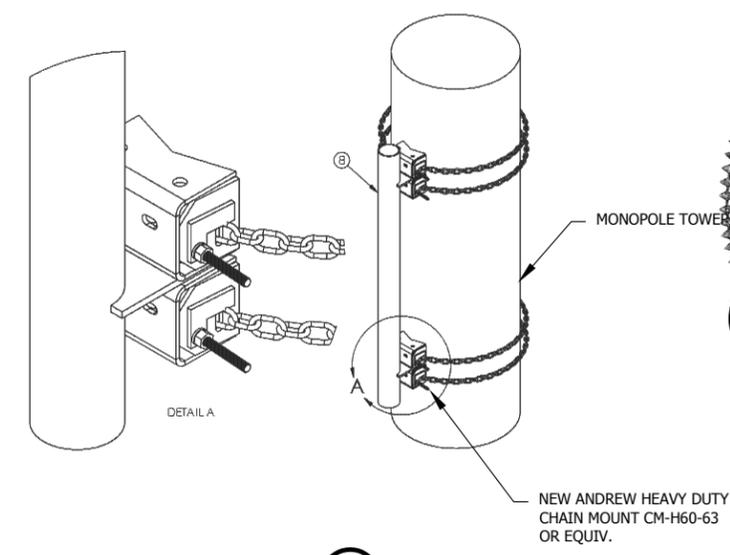
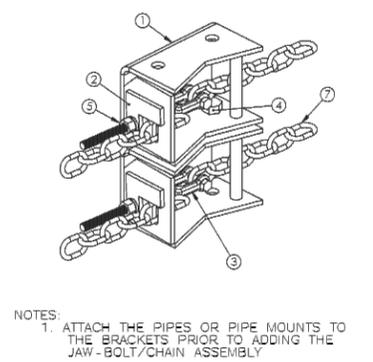
ANTENNA & CABLE SCHEDULE							
	AZIMUTH	HEIGHT AGL	ANTENNA TYPE	MFG & ANTENNA MODEL NO.	QTY.	FEEDER TYPE	TOTAL FEEDER LENGTH # OF FEEDER(S)
4' MW DISH	TBD	TBD	MW	ANDREW VHLPX4-11	4	TBD	TBD

NOTE:
FOR ANTENNA ORIENTATION AND NUMBER OF ANTENNAS SEE SHEET A-1

ANTENNA LAYOUT N.T.S. **B**

ITEM	PART NO.	DESCRIPTION	QTY	WEIGHT
1	CM.01	CHAIN MOUNT ANCHOR	4	5.25
2	CM.03	CHAIN LOCK	4	0.27
3	CM.04	1/2" RIGHT HAND THREAD JAW	4	0.55
4	G8-0516A	5/8" X 1-3/4" GALV BOLT KIT (A325)	4	0.25
5	GWL-04	1/2" GALV LOCK WASHER	4	0.01
6	GN-04	1/2" GALV HEX NUT (C2)	4	0.04
7	G4-0-XXX	G-40 CHAIN (SEE TABLE)	4	
8	IMT-XXX	PIPE MOUNT		

PART NUMBER	WEIGHT	PIPE MOUNT	QTY	CHAIN	CHAIN LENGTH
CM-H30-B	52.12	NONE	0	G4-0-96	96"
CM-H30-S	116.62	MT-395	1	G4-0-96	96"
CM-H90-B	75.12	NONE	0	G4-0-192	192"
CM-H90-S	140.62	MT-395	1	G4-0-192	192"



HEAVY DUTY CHAIN MOUNT N.T.S. **C**

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52 EIGHTY
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CUMMING, GA 30040
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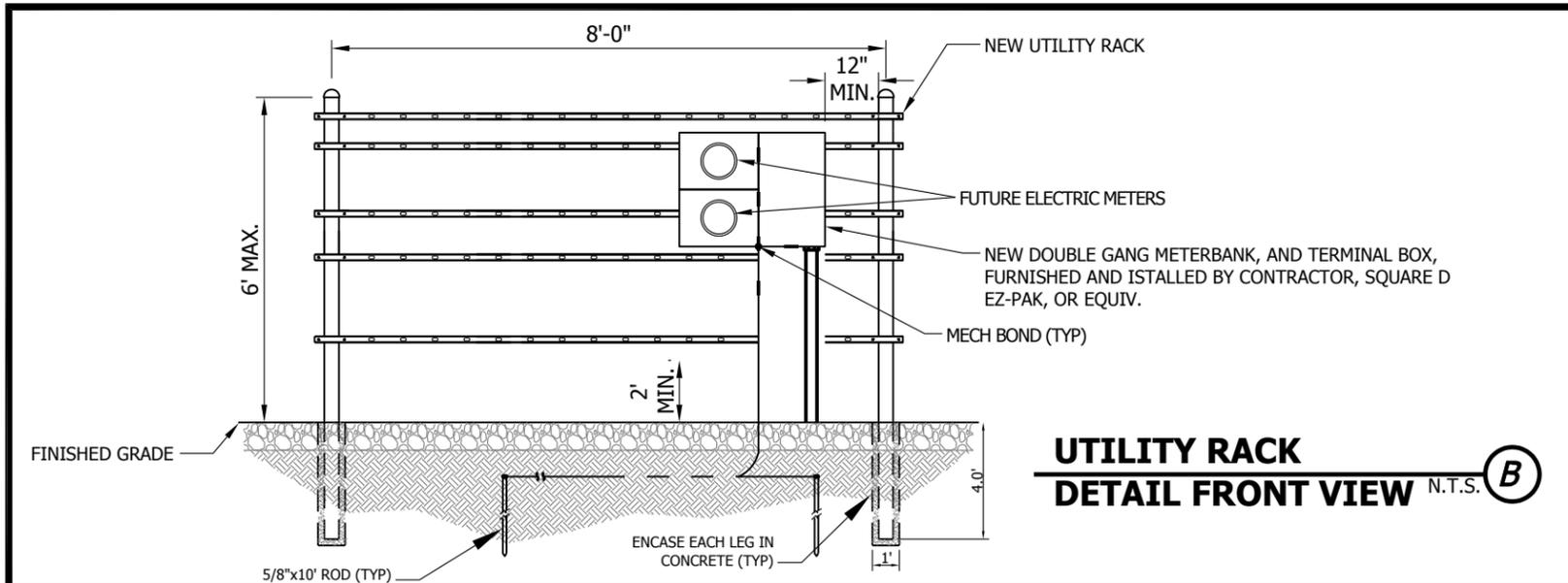
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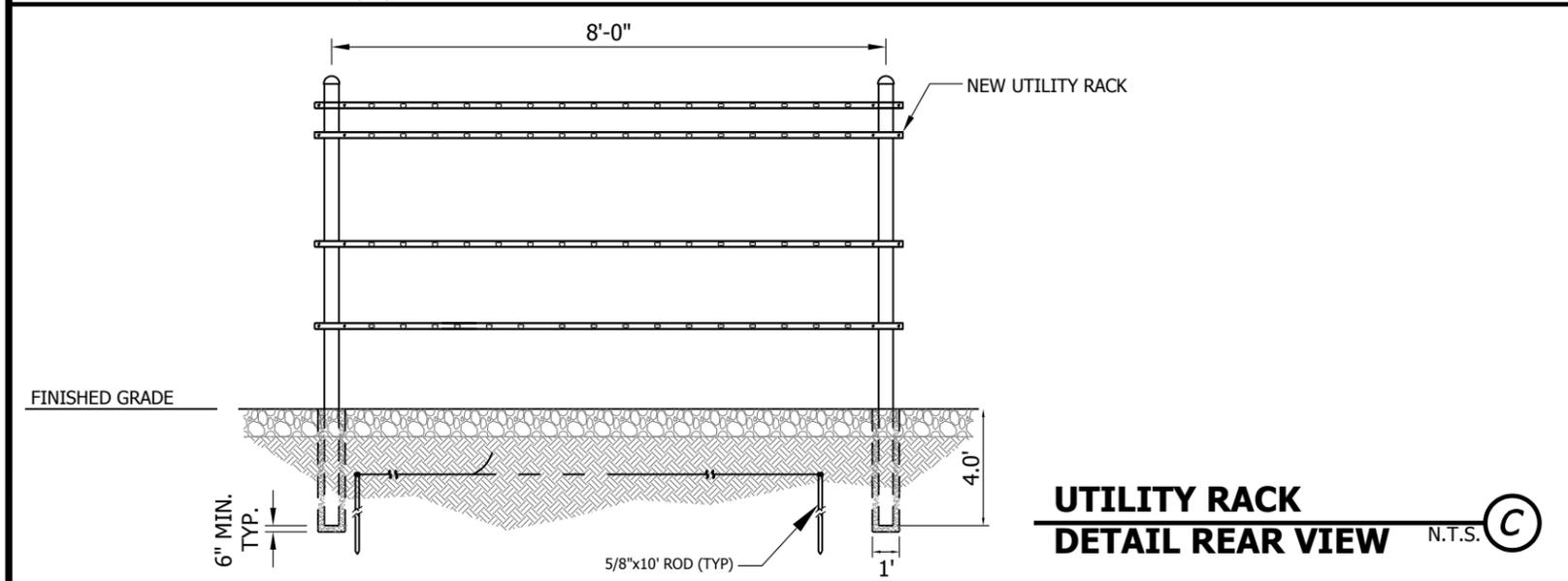
VIRGINIA CERTIFICATE OF AUTHORITY #0407 005047
CHAD E. TUTTLE
Lic. No. 069105
PROFESSIONAL ENGINEER
REGISTRATION No.: 0402 039105

JOB INFORMATION
SR: VA62389
SITE ID: VA-902
SITE NAME: KOLCUM

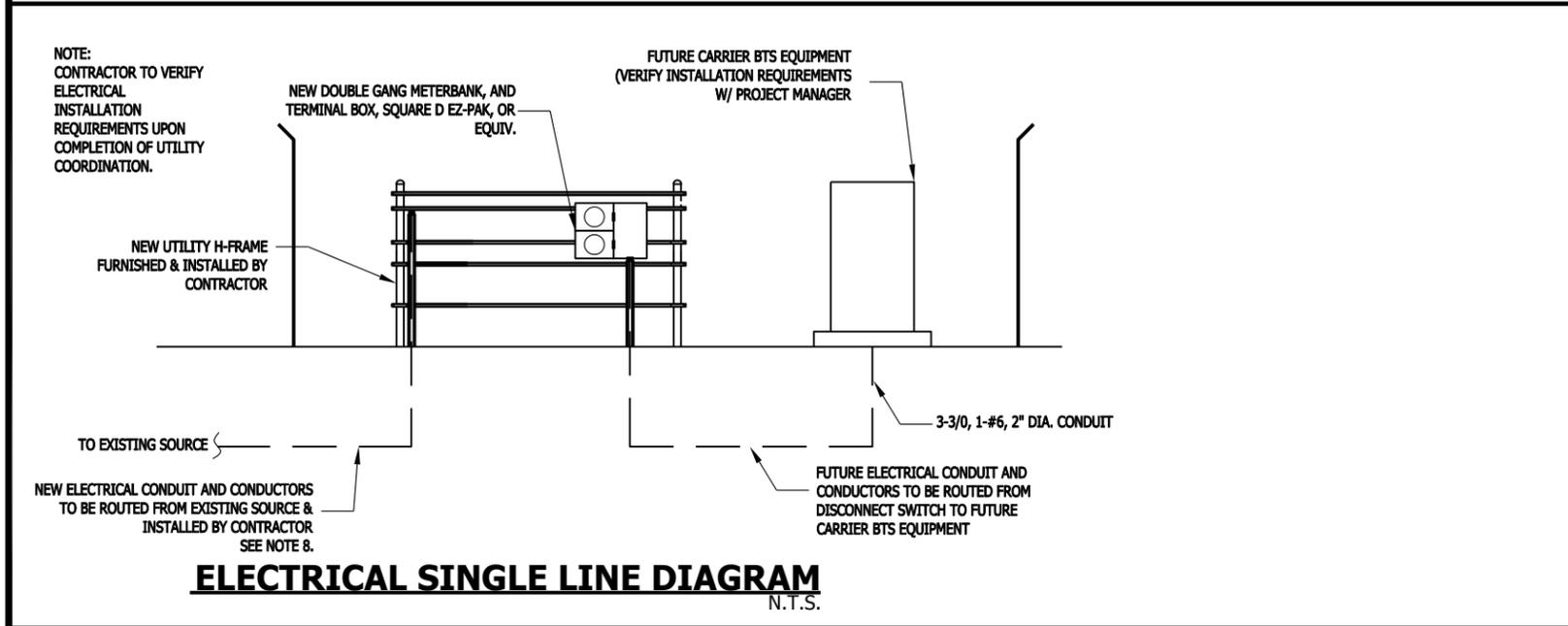
SHEET TITLE
TOWER ELEVATION & ANTENNA DETAILS
SHEET NUMBER
C3.00



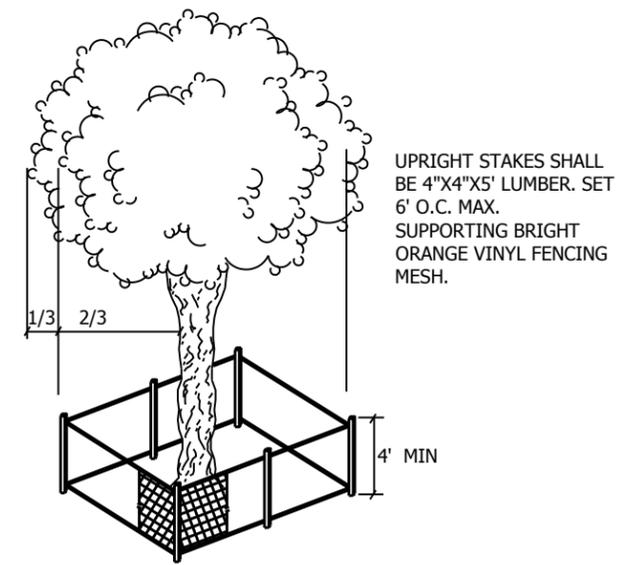
**UTILITY RACK
DETAIL FRONT VIEW** N.T.S. (B)



**UTILITY RACK
DETAIL REAR VIEW** N.T.S. (C)



ELECTRICAL SINGLE LINE DIAGRAM N.T.S.



TREE BARRICADE DETAIL (D)

CONSTRUCTION NOTES:

- (1) TREE BARRICADE SHOULD BE INSTALLED PRIOR TO ANY SITE CONSTRUCTION (CLEARING, GRADING, ETC.) AND SHALL REMAIN UNTIL CONSTRUCTION IS COMPLETE. NO STORING OF FILL DIRT OR BUILDING MATERIALS IS ALLOWED WITHIN THE BARRICADES.
- (2) BARRIERS TO REMAIN IN PLACE UNTIL PROJECT COMPLETION, INCLUDING LANDSCAPING.
- (3) ALL ROOTS LARGER THAN 1" ENCOUNTERED DURING SITE EXCAVATION SHALL BE CUT CLEANLY AND RECOVERED WITH SOIL.

SITE UTILITIES NOTES:

- 1. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY FOR FINAL AND EXACT WORK/MATERIALS REQUIREMENTS AND CONSTRUCT TO UTILITY COMPANY PLANS AND SPECIFICATIONS ONLY. CONTRACTOR SHALL FURNISH AND INSTALL ALL CONDUIT, PULL WIRES, CABLES, PULL BOXES, CONCRETE ENCASEMENT OF CONDUIT (IF REQUIRED), TRANSFORMER PAD, BARRIERS, POLE RISERS, TRENCHING, BACKFILL, PAY ALL UTILITY COMPANY FEES AND INCLUDE ALL REQUIREMENTS IN SCOPE OF WORK.
- 2. ELECTRICAL CONTRACTOR SHALL VERIFY EXACT ROUTE OF ELECTRICAL CONDUITS.
- 3. INSTALL (2) 5/8"x10' CW GROUND RODS (MIN. 10' O.C.)
- 4. CONNECT METER ENCLOSURE AND RACK TO GROUND RODS WITH #2 BARE COPPER.
- 5. BOND TELCO BOX TO GROUND WITH MIN. #2 BARE COPPER.
- 6. MODULAR METER PACKAGE SHALL HAVE A MINIMUM IAC RATING OF 42 KA AT 240V.
- 7. ALL HARDWARE TO BE "HOT DIPPED" GALVANIZED STEEL OR STAINLESS STEEL.
- 8. CONTRACTOR SHALL COORDINATE ELECTRIC SERVICE WITH POWER COMPANY. PROVIDE POWER COMPANY APPROVED CONDUCTORS AS REQUIRED TO PROVIDE 600 AMP SERVICE TO THE PROPOSED 52 EIGHTY FACILITY.



NOTE:
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52 EIGHTY
52 EIGHTY, LLC
5860 CLARION STREET, SUITE 101
CUMMING, GA 30040
PHONE: (404) 382-5280

WIRELESS VISION L.L.C.
Site Development Services
NOT TO SCALE

SCALE VERIFICATION
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REVISIONS		
NO.	DESCRIPTION	DATE

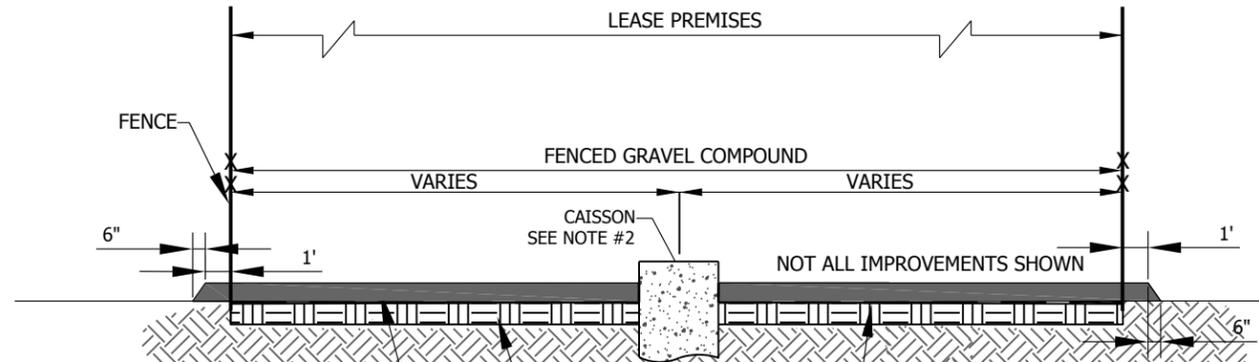
DATE:	5-24-14
DRAWN:	JAE
CHECKED:	GAM
DESIGNED:	JAE
JOB NUMBER:	319-127-35
CAD FILE:	/ENG/5280/TMO VA62389 CD'S.DWG

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SUITE 300
TULSA, OK 74119
PH: (918) 587-4630
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VIRGINIA CERTIFICATE OF AUTHORIZATION # 0407600047
CHAD E. TUTTLE
L.L.C. No. 039105
8/8/14
PROFESSIONAL ENGINEER
CHAD TUTTLE
PROFESSIONAL ENGINEER
REGISTRATION
No.: 0402 039105

JOB INFORMATION
SR: VA62389
SITE ID: VA-902
SITE NAME: KOLCUM

SHEET TITLE
ENGINEERING DETAILS
SHEET NUMBER
C3.01



- NOTES:**
- MIRAFI 500X WOVEN POLYPROPYLENE GEOTEXTILE FABRIC SHALL BE PLACED UNDER ALL GRAVEL SURFACES.
 - REFERENCE TOWER FOUNDATION DRAWINGS FOR CONSTRUCTION OF PROPOSED TOWER CAISSON.
 - SOIL POISON** - ALL FINISH SUBGRADE SURFACES LAYING BENEATH THE COMPOUND GRAVEL SURFACE SHALL RECEIVE A LEGAL FULL STRENGTH APPLICATION OF PRAMITOL 5PS SOIL TREATMENT HERBICIDE. THE CONTRACTOR SHALL PROVIDE PRODUCT APPLICATION IN ACCORDANCE WITH ALL OF THE MANUFACTURER'S SPECIFICATIONS. APPLICATION SHALL OCCUR ON BARE SOIL, AFTER THE INSTALLATION OF THE LIGHTNING PROTECTION SYSTEM, AND IMMEDIATELY PRIOR TO THE CONSTRUCTION OF THE BASE COURSE. THIS PRODUCT SHALL BE HANDLED IN STRICT ACCORDANCE WITH THE ENVIRONMENTAL SAFETY PRACTICES NOTE 3. AS LISTED ON SHEET C1.00.

6" COMPACTED SUBGRADE COMPACTED TO 98% OF THE MOD. PROCTOR MAXIMUM DRY DENSITY

6" CRUSHER RUN ABC OR LOCALLY AVAILABLE MATERIAL APPROVED BY ENGINEER OF RECORD COMPACTED TO 98% OF THE MOD. PROCTOR MAXIMUM DRY DENSITY (SEE NOTE 14, SHEET C1.10)

GRAVEL COMPOUND SECTION



52 EIGHTY, LLC
5860 CLARION STREET, SUITE 101
CUMMING, GA 30040
PHONE: (404) 382-5280



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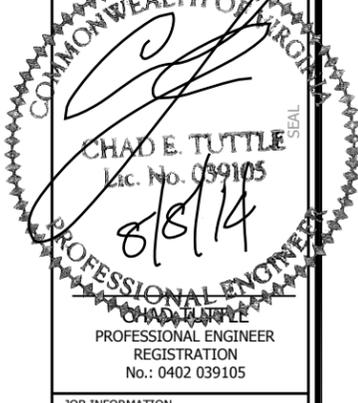
REVISIONS		
NO.	DESCRIPTION	DATE

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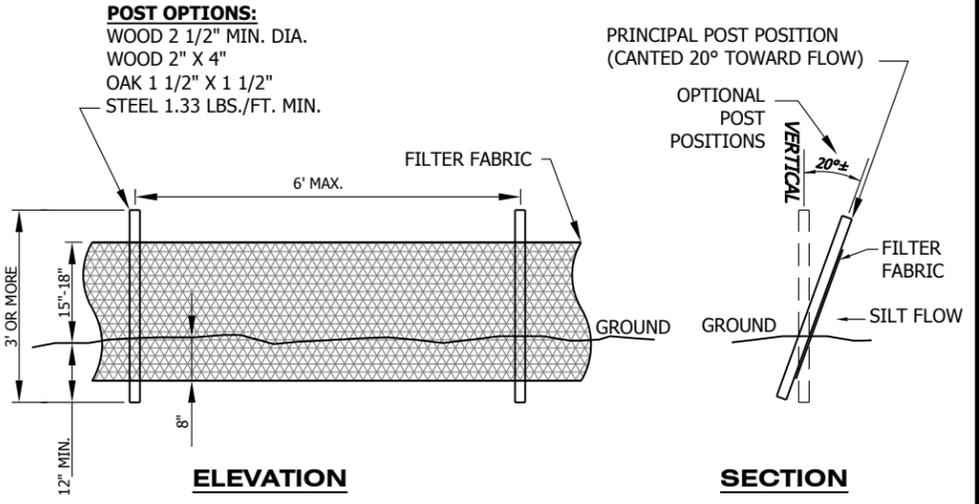
VIRGINIA CERTIFICATE OF AUTHORITY
No.: 0402 039105



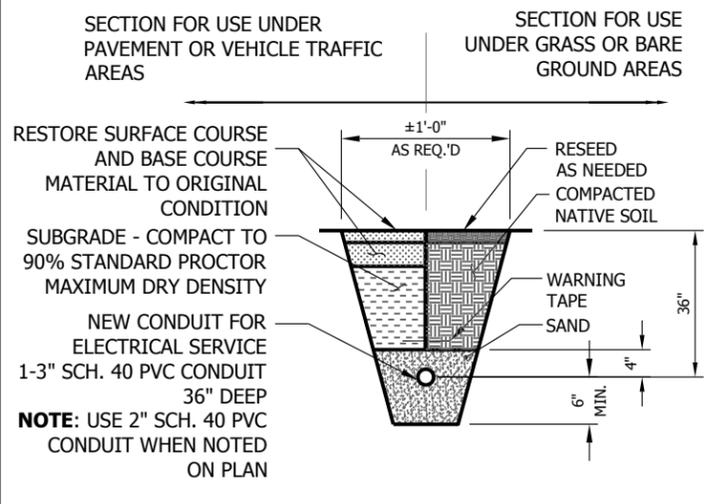
JOB INFORMATION
SR: VA62389
SITE ID: VA-902
SITE NAME: KOLCUM

SHEET TITLE
ENGINEERING DETAILS

SHEET NUMBER
C3.10



SILT FENCE DETAIL

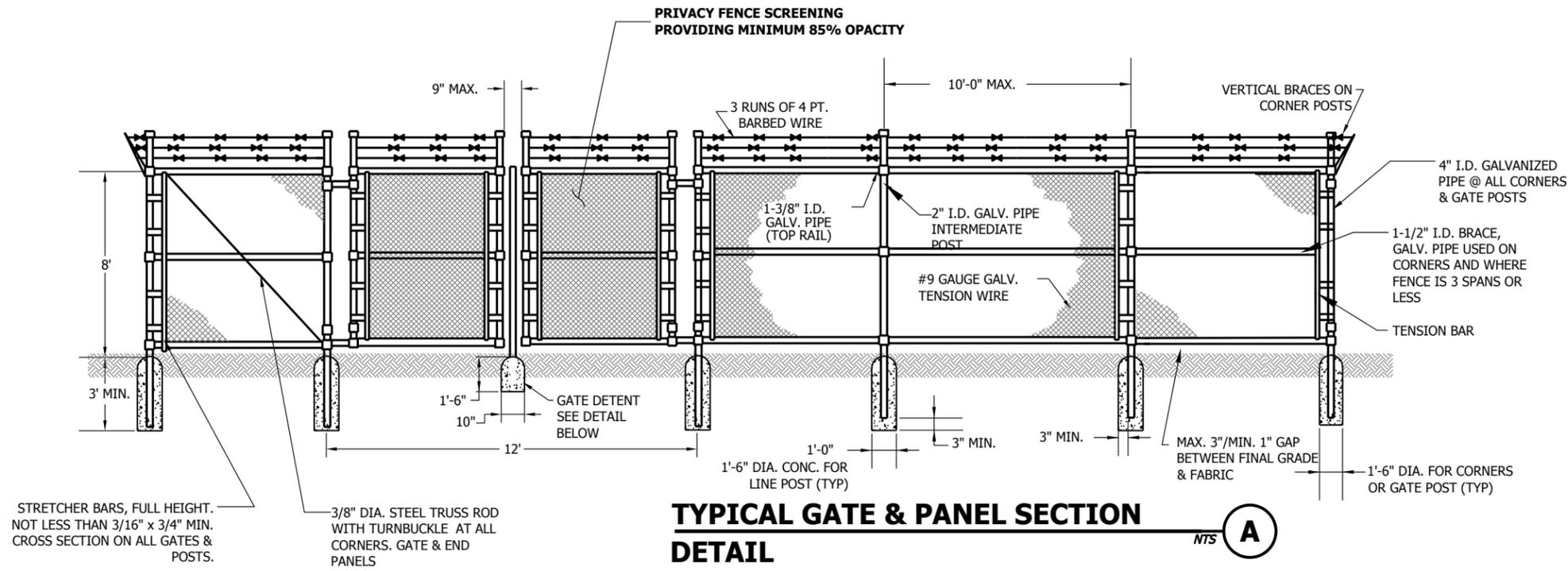


UTILITY TRENCH DETAIL



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NOTE:
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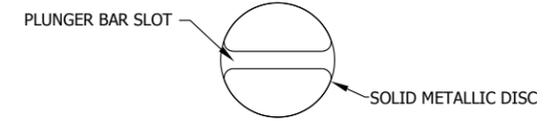
TYPICAL GATE & PANEL SECTION DETAIL A

1. SCOPE:
 - 1.1 THIS SECTION COVERS THE REQUIREMENTS FOR THE MATERIALS AND THE CONSTRUCTION OF SITE FENCING, ACCESS ROAD GATES AND CATTLE GUARDS. SEE SITE PLAN AND DRAWINGS FOR DETAILS.
2. SPECIAL REQUIREMENTS
 - 2.1 ALL WIRE, FABRIC, FITTINGS, HARDWARE AND STEEL MEMBERS USED FOR SITE AREA FENCING, AND ACCESS ROAD GATES SHALL BE HOT DIPPED GALVANIZED OR OTHER APPROVED NON-CORROSIVE MATERIAL.
 - 2.2 ALL NON-CORROSIVE MATERIAL SHALL BE APPROVED BY THE PROJECT MANAGER.
 - 2.3 ANY DAMAGE TO GALVANIZING OR NON-CORROSIVE COATING DURING CONSTRUCTION SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S RECOMMENDED METHODS.
3. FENCE POSTS
 - 3.1 LOCATION OF CORNER POSTS SHALL BE DETERMINED FROM STAKES AND PROPERTY PINS INSTALLED BY THE REGISTERED LAND SURVEYOR. IF THE STAKES ARE NOT PRESENT OR DO NOT CONFORM TO THE SITE PLAN, CONSULT WITH THE PROJECT MANAGER.
 - 3.2 CORNERS AND GATE POST FOR SITE SHALL BE 4" (INSIDE DIA.) GALVANIZED PIPE. LINE POST SHALL BE 2" (INSIDE DIA.) GALVANIZED PIPE.
 - 3.3 CORNER POSTS SHALL BE SET WITHIN ONE INCH (1") OF DIMENSIONS INDICATED ON THE SITE PLAN.
 - 3.4 FENCE POSTS SHALL BE VERTICALLY PLUMB IN ALL PLANES WITHIN 1/2 INCH (1/2").
 - 3.5 CORNER POST FOUNDATIONS SHALL BE A MINIMUM THREE FEET (3') DEEP OR SIX INCHES (6") BELOW THE FROST LINE, WHICHEVER IS GREATER, WITH MINIMUM THREE INCH (3") CLEARANCE BETWEEN BOTTOM OF POST AND BOTTOM OF THE HOLE.
 - 3.6 CORNER POST FOUNDATION FOR LINE POSTS SHALL BE 12 INCHES (12") IN DIAMETER. CORNER POST FOUNDATION FOR GATE AND CORNER POSTS SHALL BE 18 INCHES (18") IN DIAMETER.
 - 3.7 CORNER POSTS AND GATE POSTS SPACING SHALL BE EQUAL WITH A TWELVE FOOT (12') MAXIMUM SPACING. GATE POST SPACING AND SPECIFIC LOCATIONS SHALL BE IN ACCORDANCE WITH SITE PLAN AND SHALL BE VERIFIED WITH PROJECT MANAGER.
 - 3.8 ALL POSTS EXCEPT GATE POSTS SHALL BE CAPPED WITH A COMBINATION CAP AND BARB WIRE SUPPORTING ARM. GATE POSTS SHALL BE TWELVE INCHES (12") HIGHER THAN CORNER OR LINE POSTS TO PROVIDE FOR TERMINATION OF BARBED WIRE. GATE POSTS SHALL BE CAPPED WITH STANDARD CAP.
 - 3.9 ALL CORNER, GATE AND END PANELS SHALL HAVE MINIMUM 3/8" DIAMETER DIAGONAL TRUSS RODS WITH TURNBUCKLES. HORIZONTAL BRACE RODS, 1-1/2" INSIDE DIMENSION PIPE, SHALL BE INSTALLED BETWEEN POSTS.
 - 3.10 A TOP RAIL (1-3/8" I.D.) GALVANIZED PIPE SHALL BE INSTALLED BETWEEN POSTS.
 - 3.11 ALL FOUR CORNERS POSTS AND BOTH GATE POSTS SHALL BE CONNECTED TO THE SITE GROUNDING SYSTEM (REFER TO GROUNDING SYSTEM STANDARD).
4. FABRIC
 - 4.1 FENCE FABRIC SHALL BE EIGHT FOOT (8') HIGH, UNLESS OTHERWISE SPECIFIED, #9 GAUGE, GALVANIZED CHAIN LINK FABRIC WITH TWISTED TOP SELVAGE AND KNUCKLED BOTTOM SELVAGE.
 - 4.2 FABRIC SHALL BE TENSIONED PER MANUFACTURER'S RECOMMENDATIONS TO PRESENT A NEAT APPEARANCE. A MAXIMUM THREE INCH (3") GAP SHALL BE PERMITTED BETWEEN FABRIC AND FINAL GRADE.
 - 4.3 FABRIC SHALL BE SECURED AT CORNER AND GATE POSTS USING STRETCHER BARS AND TENSION BAND CLIPS.
 - 4.4 FABRIC SHALL BE SECURED TO THE TOP RAIL AND BRACE RODS USING TIE CLIPS.

4.5 THREE (3) RUNS OF 4-POINT GALVANIZED BARBED WIRE SHALL BE INSTALLED ALONG TOP OF FENCE. BARBED WIRE SHALL BE TENSIONED PER MANUFACTURER'S RECOMMENDATIONS TO PRESENT A NEAT APPEARANCE.

5. GATE
 - 5.1 LOCATION OF GATE SHALL CONFORM TO THE SITE PLAN. GATE SIZE SHALL BE A MINIMUM TWELVE FEET (12') ACROSS.
 - 5.2 ALL JOINTS BETWEEN TUBULAR GATE MEMBERS SHALL BE WELDED OR HEAVY FITTINGS PROVIDING RIGID AND WATERTIGHT CONNECTIONS.
 - 5.3 GATE HINGES SHALL PROVIDE FOR 180 DEGREE RADIUS GATE SWING. ALL HINGE NUTS SHALL BE ON THE INSIDE AND DOUBLE-NUT TO DETER UNAUTHORIZED ENTRY.
 - 5.4 PLUNGER BAR-TYPE GATE LATCH SHALL BE INSTALLED ON DOUBLE GATES AND SHALL FUNCTION PROPERLY. PLUNGER BAR LENGTH SHALL BE THE SAME HEIGHT AS THE GATE. A NON-CLOGGING GATE DETENTION ADAPTABLE TO THE PLUNGER BAR SHALL BE INSTALLED SET IN CONCRETE; SHALL HAVE A SLOTTED SOLID METALLIC DISC TOP; SET IN CONCRETE; SHALL FUNCTION PROPERLY. SEE GATE DETENT DETAIL BELOW.
 - 5.5 GATE STOPS SHALL BE INSTALLED AND SHALL HOLD GATE IN "OPEN" POSITION.
 - 5.6 BARBED WIRE GUARD SHALL BE INSTALLED ON TOP OF GATES. ADEQUATE CLEARANCE SHALL BE MAINTAINED TO ALLOW GATE OPERATION.
 - 5.7 GATE SHALL BE INSTALLED PLUMB AND SHALL OPEN AND CLOSE FREELY.

NOTE: IN MOST CASES, FINAL GRADE IS APPLIED PRIOR TO FENCE INSTALLATION. THEREFORE; ALL SPOILS REMOVED TO INSTALL THE FENCE POSTS AND FENCE ACCESSORIES SHALL BE PLACED ON PLASTIC OR OTHER MEANS TO PREVENT DEBRIS FROM BLEMISHING SITE AESTHETICS. REMOVAL OF MATERIAL SHALL BE THE RESPONSIBILITY OF THE FENCE CONTRACTOR INCLUDING ANY EXCESS FENCE MATERIAL. ALL GRAVEL SURFACES SHALL BE MAINTAINED LEVEL WITH STRAIGHT CLEAN EDGES. (SEE NOTE 14 SHEET C1.10)



GATE DETENT DETAIL
PLAN VIEW

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NOTE:
 ABSOLUTELY NO PORTION OF THE LEASE PARCEL OR THE FENCED COMPOUND SHALL BE LOCATED OVER ANY FIBER OPTIC CABLES, EXISTING GROUNDING SYSTEMS OR EXISTING UTILITIES.

52 EIGHTY
 52 EIGHTY, LLC
 5860 CLARION STREET, SUITE 101
 CUMMING, GA 30040
 PHONE: (404) 382-5280

WIRELESS VISION L.L.C.
 Site Development Services
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REVISIONS		
NO.	DESCRIPTION	DATE

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DRAWN:	JAE
CHECKED:	GAM
DESIGNED:	JAE
JOB NUMBER:	319-127-35

CAD FILE: /ENG/5280/TMO VA62389 CD'S.DWG

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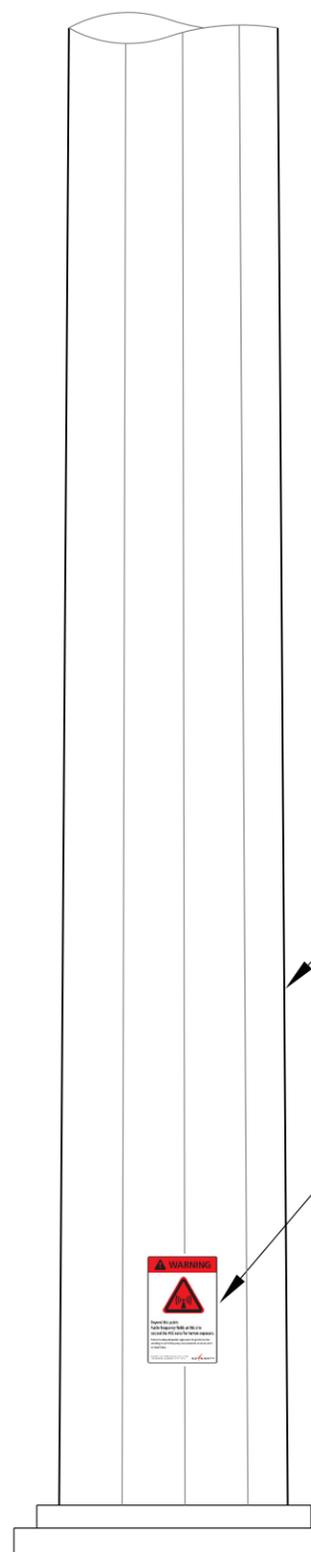
VIRGINIA CERTIFICATE OF AUTHORIZATION # 0407 005047

CHAD E. TUTTLE
 Lic. No. 039105
 5/18/14
 PROFESSIONAL ENGINEER
 REGISTRATION No.: 0402 039105

JOB INFORMATION
SR: VA62389
SITE ID: VA-902
SITE NAME: KOLCUM

SHEET TITLE
FENCE DETAILS

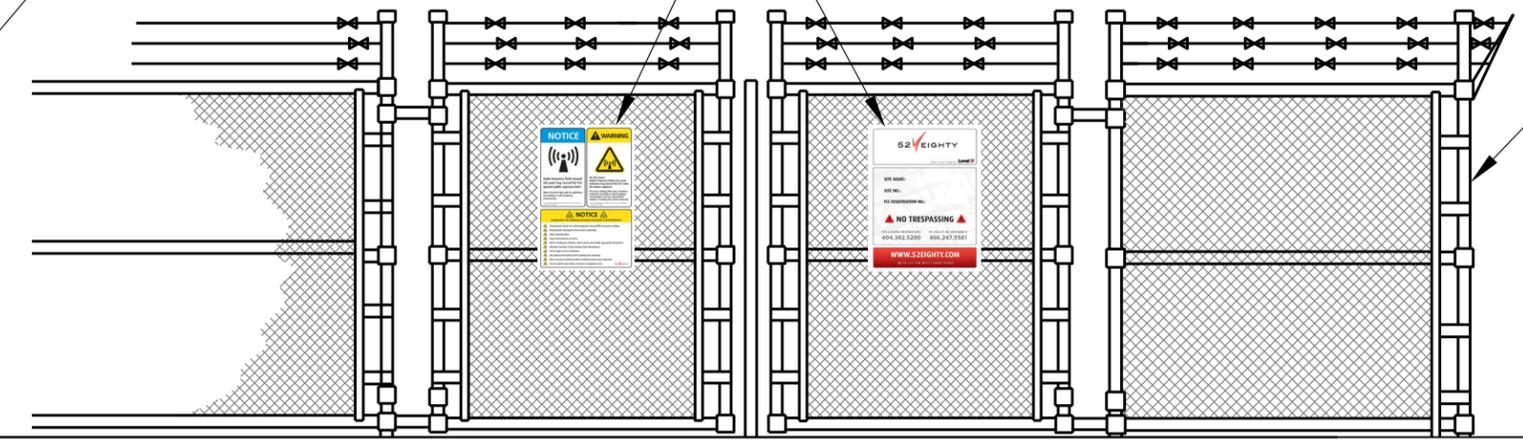
SHEET NUMBER
C3.20



3 DECAL SIGNS SPACED 120° APART AROUND TOWER BASE.

POSITION SIGNS ON GATE AS SHOWN

FENCE



WARNING

**Beyond this point:
Radio frequency fields at this site
exceed the FCC rules for human exposure.**

Failure to obey all posted signs and site guidelines for working in radio frequency environments could result in serious injury.

In accordance with Federal Communications Commission rules on radio frequency emissions 47 CFR 1.1307(b).

NOTICE

Radio frequency fields beyond this point may exceed the FCC general public exposure limit.

Obey all posted signs and site guidelines for working in radio frequency environments.

In accordance with Federal Communications Commission rules on radio frequency emissions 47 CFR 1.1307(b).

WARNING

On this tower:
Radio frequency fields near some antennas may exceed the FCC rules for human exposure.

Personnel climbing this tower should be trained for working in radio frequency environments and use a personal RF monitor if working near active antennas.

In accordance with Federal Communications Commission rules on radio frequency emissions 47 CFR 1.1307(b).

NOTICE

GUIDELINES FOR WORKING IN RADIO FREQUENCY ENVIRONMENTS

- All personnel should have electromagnetic energy (EME) awareness training.
- All personnel entering this site must be authorized.
- Obey all posted signs.
- Assume all antennas are active.
- Before working on antennas, notify owners and disable appropriate transmitters.
- Maintain minimum 3 feet clearance from all antennas.
- Do not stop in front of antennas.
- Use personal RF monitors while working near antennas.
- Never operate transmitters without shields during normal operation.
- Do not operate base station antennas in equipment room.

52 EIGHTY

FIBER TO THE TOWER BY **Level3**

SITE NAME: KOLCUM

SITE NO.: VA-902

FCC REGISTRATION NO.:

NO TRESPASSING

FOR LEASING INFORMATION: **404.382.5280** IN CASE OF AN EMERGENCY: **866.247.5581**

WWW.52EIGHTY.COM

WE'VE GOT THE BEST CONNECTIONS.

NOTES:
1. SIGNS PROVIDED BY 52 EIGHTY.

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NOTE:
ABSOLUTELY NO PORTION OF THE LEASE PARCEL OR THE FENCED COMPOUND SHALL BE LOCATED OVER ANY FIBER OPTIC CABLES, EXISTING GROUNDING SYSTEMS OR EXISTING UTILITIES.

52 EIGHTY

52 EIGHTY, LLC
5860 CLARION STREET, SUITE 101
CUMMING, GA 30040
PHONE: (404) 382-5280

WIRELESS VISION L.L.C.

Site Development Services

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REVISIONS		
NO.	DESCRIPTION	DATE

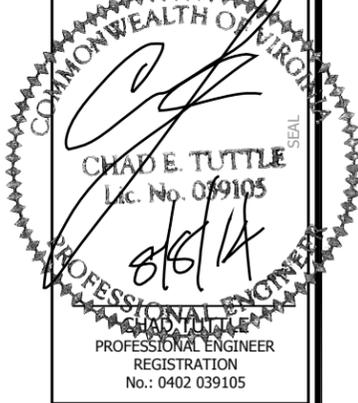
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JOB NUMBER:	319-127-35

CAD FILE: /ENG/5280/TMO VA62389 CD5.DWG

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VIRGINIA CERTIFICATE OF AUTHORIZATION # 0407 005947



JOB INFORMATION

SR: VA62389
SITE ID: VA-902
SITE NAME: KOLCUM

SIGN DETAILS

SHEET NUMBER

C3.30



52 EIGHTY, LLC
5860 CLARION STREET, SUITE 101
CUMMING, GA 30040
PHONE: (404) 382-5280



Site Development Services
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0 1"
BAR IS ONE INCH ON ORIGINAL DRAWING.
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REVISIONS		
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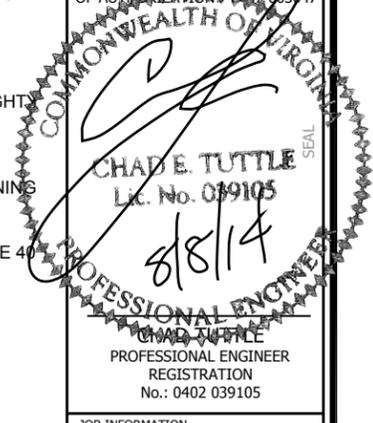
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CHAD E. TUTTLE
Lic. No. 039105
8/8/14
PROFESSIONAL ENGINEER
REGISTRATION
No.: 0402 039105

JOB INFORMATION

SR: VA62389
SITE ID: VA-902
SITE NAME: KOLCUM

SHEET TITLE
GROUNDING PLAN

SHEET NUMBER
E1.00

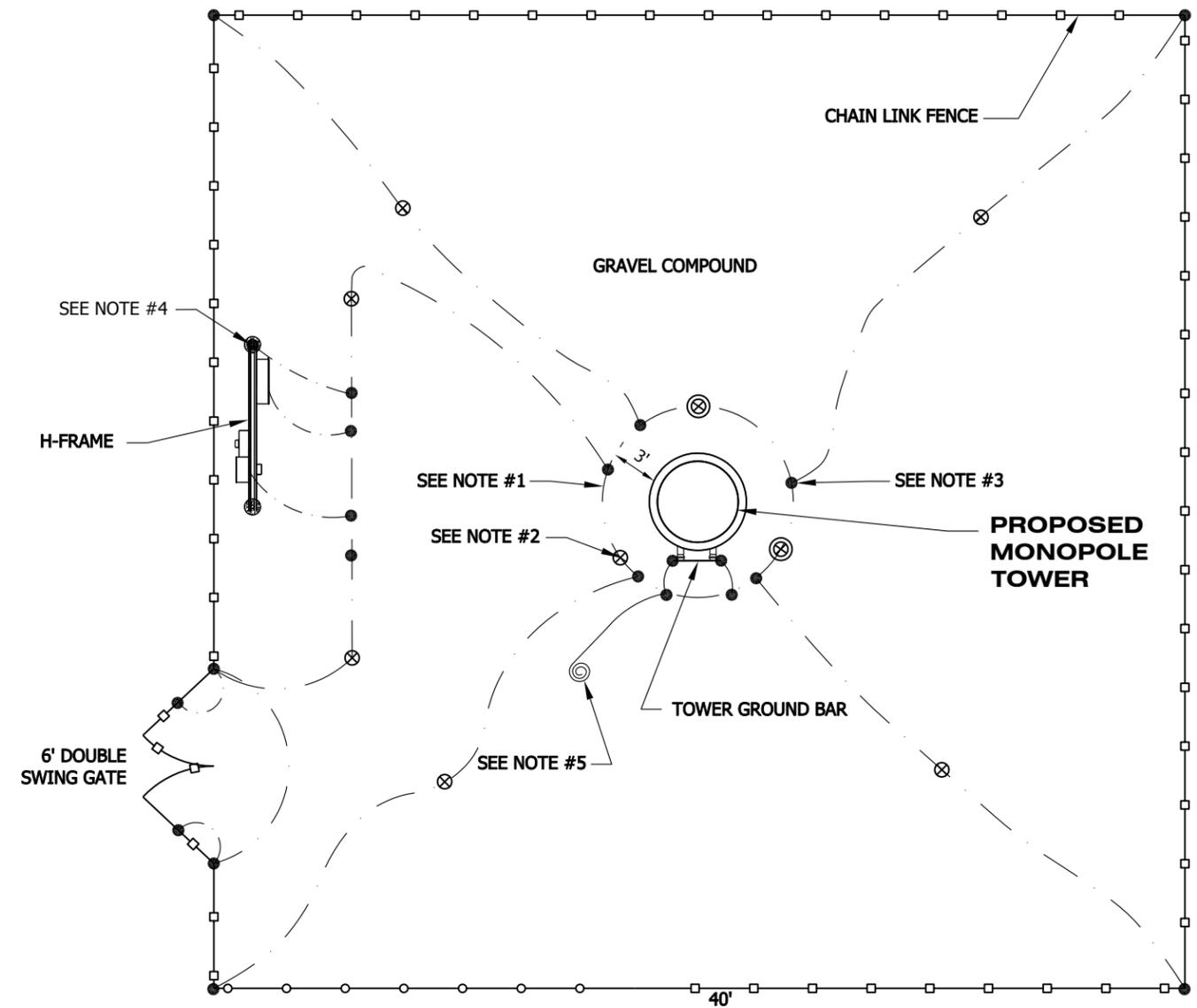
GROUNDING NOTES:

- ALL GROUNDING WORK, MATERIALS AND INSTALLATION SHALL COMPLY WITH LATEST EDITION OF THE NEC ARTICLE 250, AND SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CODE SPECIFICATIONS.
- USE #2 AWG SOLID BARE TINNED COPPER CONDUCTOR WIRE FOR ABOVE GRADE GROUNDING AND FOR THE BELOW GRADE GROUNDING AS INDICATED ON THE DRAWINGS.
- ROUTE GROUNDING CONDUCTORS ALONG THE SHORTEST AND STRAIGHTEST PATH POSSIBLE, EXCEPT AS OTHERWISE INDICATED. GROUNDING LEADS SHOULD NEVER BE BENT AT RIGHT ANGLES. ALWAYS ACCOMPLISH CORNERS AND BENDS WITH A MINIMUM 12" RADIUS.
- THE GROUND ELECTRODE SYSTEM CONSISTS OF DRIVEN THREADED GROUND RODS 5/8" DIA. X 10' UNIFORMLY SPACED AT APPROXIMATELY 20' INTERVALS SPACED AROUND THE TOWER FOUNDATION. THE GROUND RODS SHALL BE 5/8" DIAMETER COPPER CLAD STEEL. THE RODS SHALL BE INTERCONNECTED WITH AWG #2 BARE SOLID CONDUCTOR BURIED A MINIMUM 36" BELOW THE SURFACE OF THE SOIL AND TWO FEET FROM THE FOUNDATION, UNLESS NOTED OTHERWISE. IN AREAS SUBJECT TO FREEZING, THE EXTERIOR GROUND RING SHALL BE AT LEAST 6" BELOW THE FROST LINE.
- THE BACK FILL MATERIAL SHALL BE FREE OF STONES AND THOROUGHLY COMPACTED IN LAYERS NOT EXCEEDING 12" IN DEPTH.
- WHEN EARTH RESISTANCE TESTS INDICATE THAT THE SOIL IS ABOVE THE MINIMUM ALLOWABLE RESISTANCE, THE CONTRACTOR SHALL ESTIMATE THE TYPE, NUMBER, AND CONFIGURATION OF THE EARTH ELECTRODES NECESSARY TO ACHIEVE THE REQUIRED SYSTEM RESISTANCE. THE CONTRACTOR SHALL ALSO CONSIDER SITE SPECIFIC APPROACHES FOR IMPROVING EARTH RESISTANCE INCLUDING THE METHODS LISTED BELOW:
 - LENGTHEN THE EARTH ELECTRODE.
 - USE MULTIPLE THREADED, COUPLED RODS.
 - ONLY UPON PRIOR OWNER APPROVAL, TREAT THE SOIL.
 - ONLY UPON PRIOR APPROVAL, USE CHEMICAL RODS.
- THE CONTRACTOR MUST TEST THE COMPLETED GROUND SYSTEM AND CERTIFY IN WRITING THAT THE NEW GROUNDING SYSTEM RESISTANCE IS EQUAL TO OR LESS THAN FIVE (5) OHMS. THE CONTRACTOR MUST INCLUDE IN THE BID SUFFICIENT MATERIALS TO ACHIEVE GROUNDING RESISTANCE EQUAL TO OR LESS THAN FIVE (5) OHMS.
- THE CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION FOR THE GROUNDING SYSTEM SO AS NOT TO DISTURB EXISTING UNDERGROUND IMPROVEMENTS SUCH AS UTILITY SERVICE LINES, AND EXISTING GROUNDING SYSTEMS. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS OF UNDERGROUND ELECTRIC AND TELEPHONE SERVICE CONDUITS.
- ALL EXTERNAL GROUND CONNECTIONS SHALL BE EXOTHERMICALLY WELDED. ALL EXOTHERMIC WELDS TO THE BURIED GROUND RING SHALL BE PARALLEL TYPE, EXCEPT FOR THE GROUND RODS, WHICH ARE TO BE TEE EXOTHERMIC WELDS. REPAIR ALL GALVANIZED SURFACES THAT HAVE BEEN DAMAGED BY EXOTHERMIC WELDING. USE SPRAY GALVANIZER SUCH AS HOLUB LECTROSOL #15-501.
- ALL METALLIC COMPONENTS ON THE SITE MUST BE CONNECTED TO THE GROUND RING. THIS INCLUDES CONDUITS USED TO DELIVER TELCO AND POWER UTILITY LINES TO THE SITE.
- RUN ALL GROUNDING CONDUCTORS IN AN ORGANIZED MANNER, UTILIZE C-TAPPING PER 52 EIGHTY SPECIFICATIONS WHERE POSSIBLE TO REDUCE THE NUMBER OF GROUND WIRES. AVOID THE CROSSING OF CONDUCTORS WHENEVER POSSIBLE.
- INSTALL ALL GROUNDING CONDUCTORS IN A DOWNWARD SLOPE TO ACHIEVE MAXIMUM LIGHTNING PROTECTION.
- ALL GROUNDING CONDUCTORS FROM THE TOWER ARE TO BE ROUTED THROUGH 3/4" SCHEDULE 40 PVC. PVC SHALL EXTEND FROM THE EXOTHERMIC WELD TO A MINIMUM 24" BELOW GRADE.

NOTE:
CONTRACTOR SHALL NEVER BEND CONDUCTORS AND MUST ALWAYS UTILIZE CLEAN SWOOPS WITH A MINIMUM 12" RADIUS. CONTRACTOR SHALL NEVER CADWELD TO A TOWER LEG. ALWAYS WELD TO THE TOP OF THE BASE PLATE.



NOTE:
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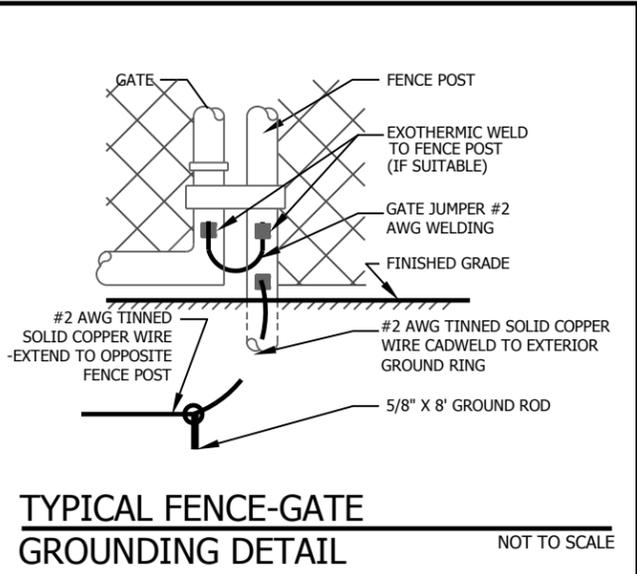


NOTES:

- #2 SOLID TINNED COPPER WIRE.
- 5/8" x 10' COPPER CLAD STEEL RODS.
- ALL CONNECTIONS TO BE CADWELDED.
- CONNECT GROUND SYSTEM TO H-FRAME POST.
- GROUND WIRE COIL FOR BTS GROUND, TYP. MASTER GROUND BAR.

LEGEND:

- ⊗ 5/8" x 10' COPPER CLAD STEEL GROUND ROD WITH INSPECTION SLEEVE
- ⊗ 5/8" x 10' COPPER CLAD STEEL GROUND ROD
- EXOTHERMIC WELD
- #2 SOLID TINNED COPPER WIRE



TOWER GROUNDING SCHEMATIC

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Scale: 1:9027.977411

Date: 08/20/2014

Printed By:

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Existing Antenna Locations

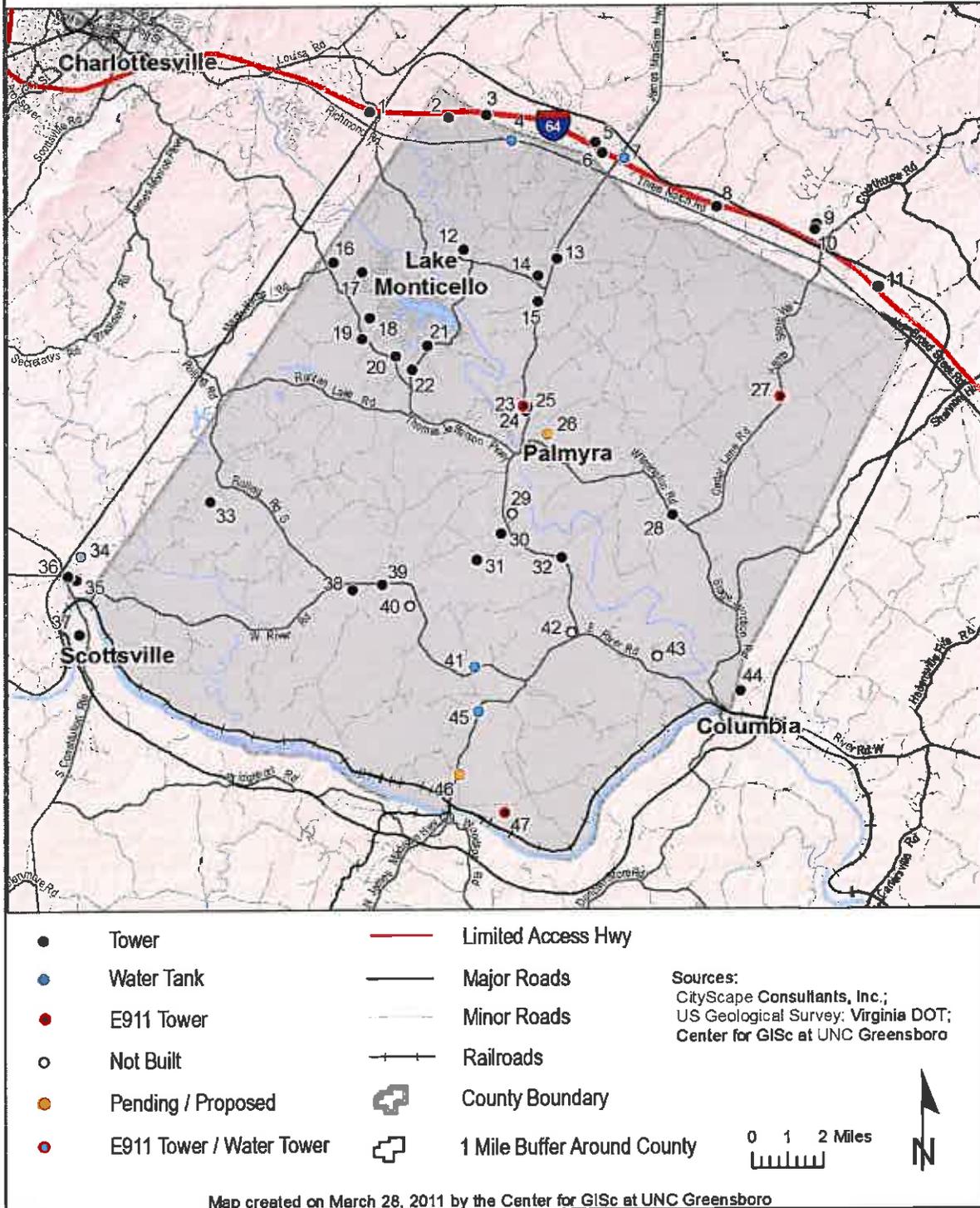
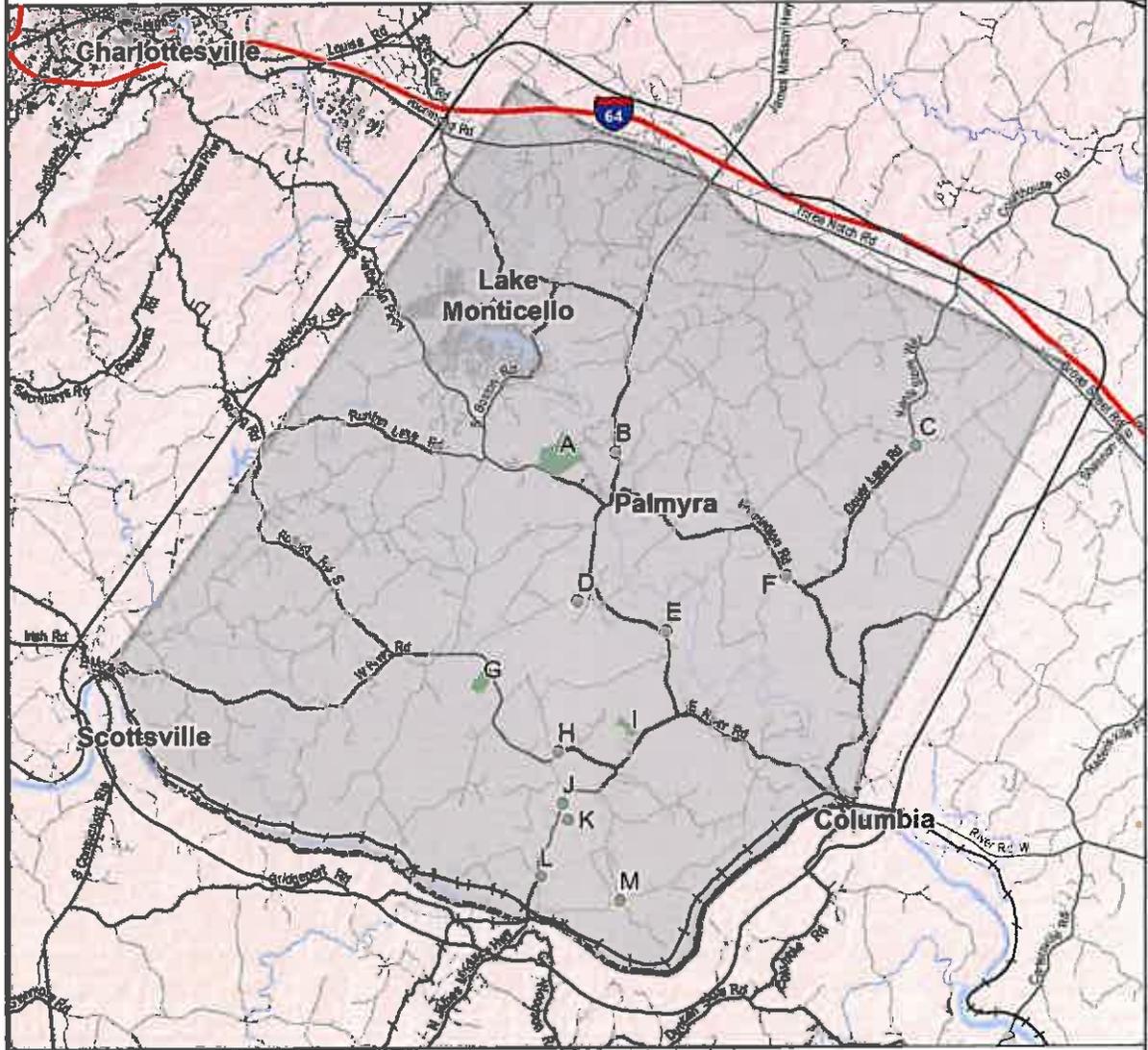


Figure 41: Existing Wireless Telecommunications Inventory

County Owned Property



	County Parcel Potentially Suitable for Site		Limited Access Hwy	Sources: CityScape Consultants, Inc.; US Geological Survey; Virginia DOT; Center for GISc at UNC Greensboro
	County Boundary		Major Roads	
	1 Mile Buffer Around County		Minor Roads	
			Railroads	



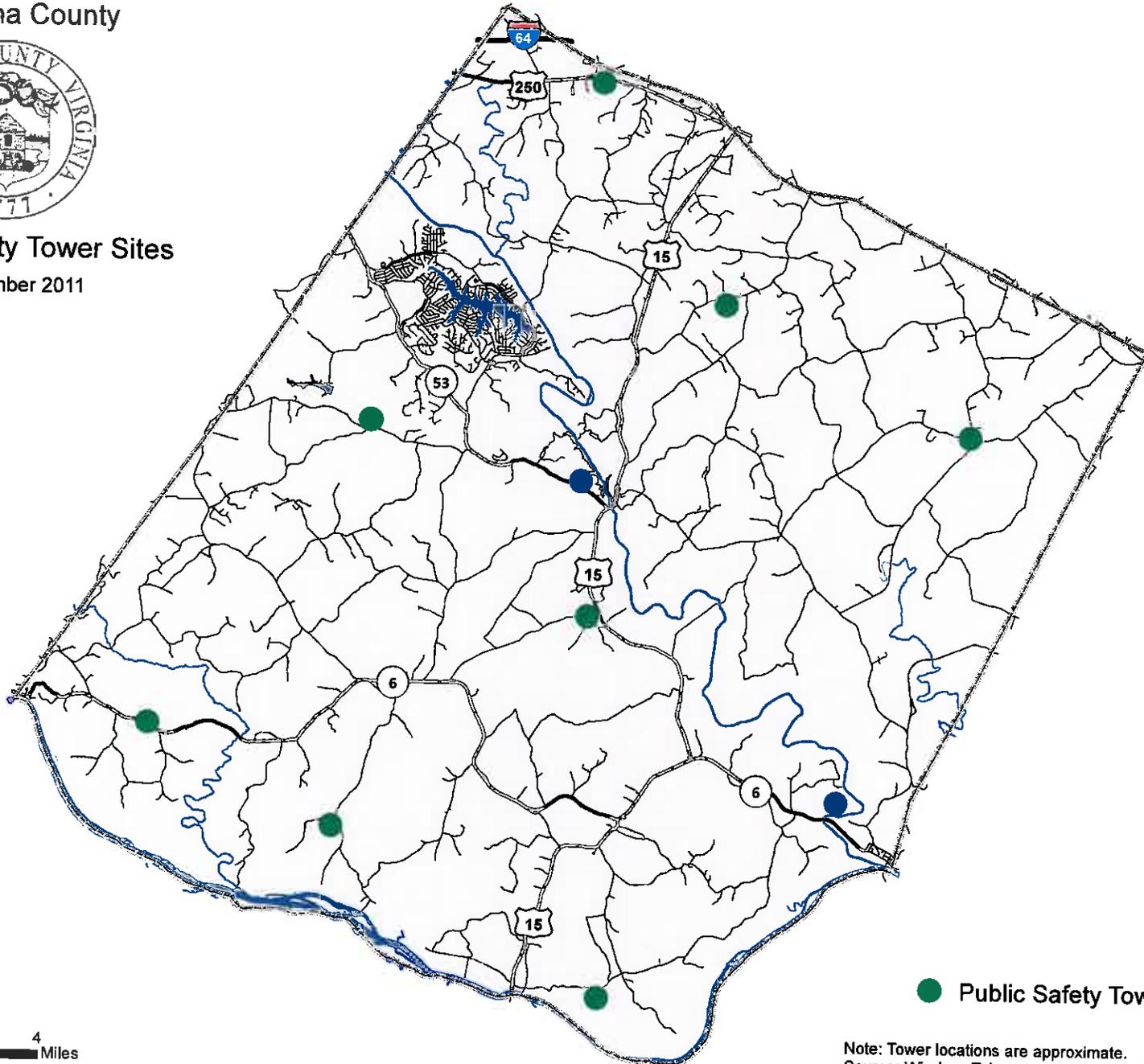
Map created on April 11, 2011 by the Center for GISc at UNC Greensboro

Figure 42: County-owned lands

Fluvanna County

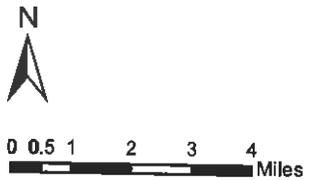


Public Safety Tower Sites December 2011



● Public Safety Tower Sites

Note: Tower locations are approximate.
Source: Wireless Telecommunications Facilities Master Plan





COUNTY OF FLUVANNA

“Responsive & Responsible Government”

P.O. Box 540 Palmyra, VA 22963 (434) 591-1910 FAX (434) 591-1911 www.co.fluvanna.va.us

July 23, 2014

Dale G. Finocchi, 52-Eighty Partners, LLC
2028 Walker Avenue
Greensboro, NC 27403

Delivered via email

Re: TRC comments SUP 14:06 (52-Eighty Partners, LLC) Construct 195’ telecomm monopole, Tax Map: 53-A-56

901

Dear Applicant:

The following comments are the result of the Technical Review Committee meeting.

1. The E & S inspector asked how much area will need to be cleared?
2. Planning staff stated that the consultant’s report was forthcoming and their comments would be part of the staff report; To date we have from the consultant:
 - 1) You are the Applicant identified as 52-Eighty; will you be the tower owner, or T-Mobile or another party? The County has a compliance statement of FCC rules which can be certified by the carrier or the tower owner. The statement is in your letter, but that is only acceptable if 52 is the owner, otherwise the compliance statements must come from T-Mobile
 - 2) You indicate 195 foot RAD, your search ring is 0.5 miles; could someone explain the diameter of the ring when space between sites is as substantial?

Additionally- a site development plan will be required that includes screening the ground equipment.

3. VDOT stated to Install Low Volume Commercial Entrances (12 ft. minimum wide, 25 ft. minimum entrance radii, minimum 15” diameter 24 ft. long entrance culverts and gravel entrance surface) at connection of proposed cell tower access roads to existing State Roads. If gates are installed to control access to the site, position them at least 30 ft. off the edge of pavement of the State Road to allow for vehicles entering the site to safely pull out of the State Road and open and close the gate. Flag/Mark the location of the proposed entrances that will serve the cell tower sites. After the entrance locations are marked, VDOT will check the locations for sight distance.

Please provide any other materials or documentation that is to be included in the Planning Commission packet by **Friday, August 8, 2014**. Submitting revisions by this deadline will place your request on the **August 27, 2014** Planning Commission agenda.

If you have any questions or need additional information, please contact me at 434-591-1910.

Sincerely,

A handwritten signature in black ink, appearing to read "Steve Tugwell". The signature is written in a cursive style with a long, sweeping tail on the "w".

Steve Tugwell
Senior Planner
Dept. of Planning & Community Development

Cc: Paul V. Beyer, Et. Al., 2358 Bremo Road, Fork Union, VA 23055

State of Virginia
Telecommunications Site Review
New Support Structure

CityScape

Consultants, Inc.

7050 W. Palmetto Park Road #15-652
 Boca Raton, FL 33433-3483
 Phone: 877-438-2851 • Fax: 877-220-4593

August 6, 2014

Received

Mr. Steven Tugwell
 Senior Planner, Planning & Zoning
 Fluvanna County
 132 Main Street
 Palmyra, Virginia 22963

AUG 07 2014

Planning Dept.

RE: T-Mobile Wireless Application – Site: VA62389
52-Eighty, LLC Site VA-902 - Kolcum

Dear Mr. Tugwell,

At your request, on behalf of Fluvanna County, Virginia (“County”), CityScape Consultants, Inc. (“CityScape”) in its capacity as telecommunications consultant for the County, has considered the merits of an application submitted by 52-Eighty, LLC (“Owner”) on behalf of T-Mobile Wireless (“Applicant”), to construct a new one hundred ninety-nine (199) foot monopole type tower which is proposed to accommodate up to six (6) personal wireless service providers and at least one (1) microwave dish, see *figure 1*. There is insufficient room for a top mounted lightning rod, which cannot be installed without exceeding the FAA height limits. T-Mobile has been aggressive recently in developing new telecommunications facilities nationwide and this is one (1) of three (3) proposed new facilities in Fluvanna County. The initial submittal did not include sufficient documentation for the County to proceed with processing of the application. The primary concern was the lack of a justification statement from a qualified personal wireless service provider and once T-Mobile provided the required documentation, see *figure 2*, the application process began and the remaining deficiencies, which will be discussed later, can be met within the time frame required in the County Ordinance. The application contained minor discrepancies in other areas, which will also be addressed herein. The proposed new support structure will be owned by 52-Eighty, LLC and will be located on property owned by John B. Kolcum and has a physical address of either 3226 or 48831 Venable Road near Kent’s Store in Fluvanna County, Virginia, see *figure 3*.

The proposed new facility will expedite T-Mobile’s ability to bring new Third Generation (3G) and Fourth Generation (4G) electronic communication capabilities. Currently T-Mobile has limited facilities within Central Virginia. All wireless communications systems depend on the concept of frequency resource reuse to achieve greater capacities. With some technologies, the individual channel frequencies are reused every few cells, but not too closely, since interference would result. In many other systems, power from one base station interferes with other base stations, impacting network capacity. Therefore, it is undesirable for wireless phones to communicate with more than a few base stations simultaneously. The current wireless development stage is toward high speed wireless broadband implementation and all service providers are advancing this same technology. Fluvanna County maintains a hierarchy and all applicants shall confirm a proposed facility cannot effectively be located on County property.

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 Virginia New Structure**

The Applicant must submit a search ring showing the site location will meet the requirements to justify the need for a new facility; confirm the facility will not meet network objectives if shifted to County property; and demonstrate the proposed location meets the specific service area, see *figure 4*. For the subject site VA62389, there were 2 possible Fluvanna County candidates; 3.47 miles and 2.09 miles. Both are of significant distance to be eliminated. Usually a distance of approximately $\frac{1}{2}$ mile from the center of a search ring for an antenna elevation of 195 feet would be the outside limit. Additional controlling factors do apply, such as terrain or the direction from the center of the ring. The Applicant provided their comments regarding possible alternative candidates, see *figure 5*. Currently 'Kolcum' and most of the northwest sector of the County does not have sufficient service from T-Mobile along with most other carriers. The current signal level for T-Mobile is depicted in *figure 6*.

The Applicant has proposed to top mount their antennas for an approximate signal radiation center of one hundred ninety-five (195) feet, see *figure 7*, which will provide a reasonable coverage area over the rolling hills topography, and furthermore will provide a reasonable service level to hand-off subscribers between the adjacent T-Mobile facilities; therefore meeting the requirements for network development in the region, see *figure 7*.

The Owner supplied a letter of compliance with all FCC standards regarding human exposure to Radio Frequency energy, and the Applicants will comply with all aspects of FCC rules regarding interference, see *figure 9*. CityScape is aware that this facility will operate in both the 800-megahertz and 1900-megahertz spectrum and could be an interference concern to Public Safety operations. For the reasons listed below and depending on elimination of the Virginia Power Company Tower, it will be the opinion of the undersigned that:

- The proposed facility is required because of generally accepted and adequately demonstrated technological reasons and is essential in order for T-Mobile to alleviate a signal coverage issue to provide new wireless communications service; and
- T-Mobile's submissions indicate there is a substantial service void in the general area surrounding the subject site and that the addition of new service at a height of 195 feet will help relieve these concerns. Therefore the proposed location will sufficiently accomplish satisfactory service, and there are no reasonable alternative technologies to accommodate the Applicant's needs without the construction of a new facility; and,
- The proposed new site is supported by the Fluvanna County Telecommunications Master Plan

All designs and plans for the proposed new facilities were developed according to accepted practices of RF propagation engineering and the persons completing all work are sufficiently qualified within their disciplines. CityScape anticipates this plan, if built as designed, should be sufficient to allow an improvement of regular cellular service to T-Mobile subscribers, in addition the proposed changes will increase the ability for citizens to utilize higher speed internet. Properly locating the site will justify the proposed construction of a new support structure.

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The submitted application contained the below deficiencies at the time of the CityScape review:

1. **There were no balloon tests.** Balloon tests provide the surrounding citizens with the best ability to understand any impact caused by the proposed new facility; and,
2. **Inconsistent Street Addresses.** The Owner and Applicant provided two different street addresses. The T-Mobile letter is the qualifying document and confirmation is required that the location is the same as was accepted by T-Mobile; and,
3. **Equipment Ground Compound.** There are inconsistencies in the submitted Construction Drawings regarding the specific monopole location, the electrical riser and the access gate on the property. Pages C1-20, C1.30, C2.00, C2.10 do not agree with E1.00, see *figure 10*.

Based on review and discussions with the Applicant, CityScape confirms a new support structure is required not only for proposed new T-Mobile equipment, but will be needed for additional wireless carriers in the near future. Therefore, CityScape recommends the application; with the tower height of one hundred ninety five (195) feet should be approved with the following conditions:

1. The Owner shall provide the correct street address and T-Mobile shall confirm the proposed site is acceptable; and,
2. The Owner submit corrected ground compound drawings; and,
3. The Owner shall clarify no lightning rod will be installed; and,
4. The Owner submit satisfactory National Environmental Policy Act (NEPA) and State Historic Preservation Office (SHPO) documentation; and,
5. The Applicant shall certify all access ports will be sufficiently sealed to prevent infiltration or habitation by any type of wildlife; and,

Respectfully submitted,

A handwritten signature in blue ink, appearing to read "R. Edwards", is written over a horizontal line.

Richard L. Edwards
FCC Licensed
PCIA Certified
CityScape Consultants, Inc.

T-Mobile Wireless Application VA62389
 52-Eighty, LLC - Site Name VA-902 Kolcum
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 Virginia New Structure

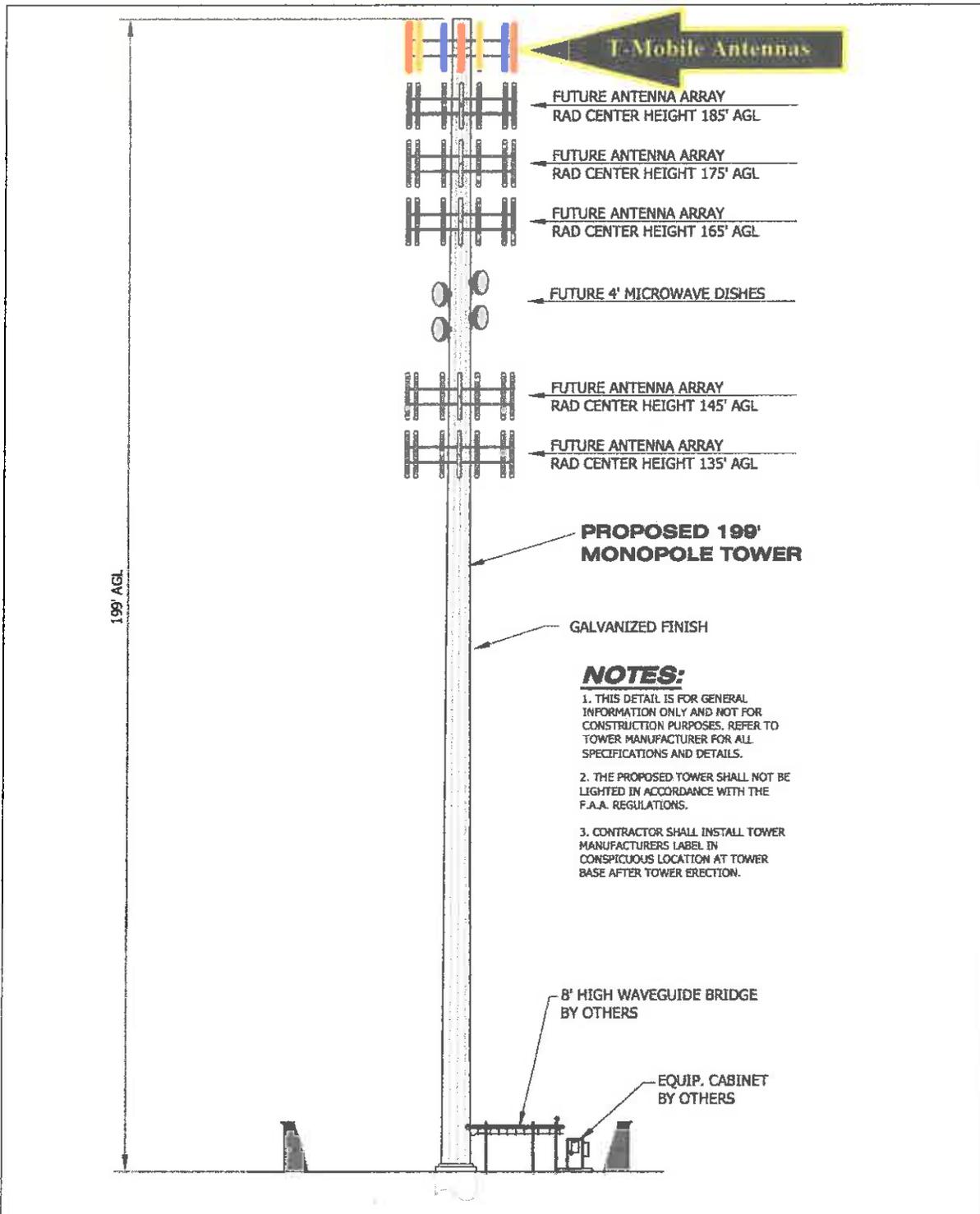


Figure 1. Tower Elevation

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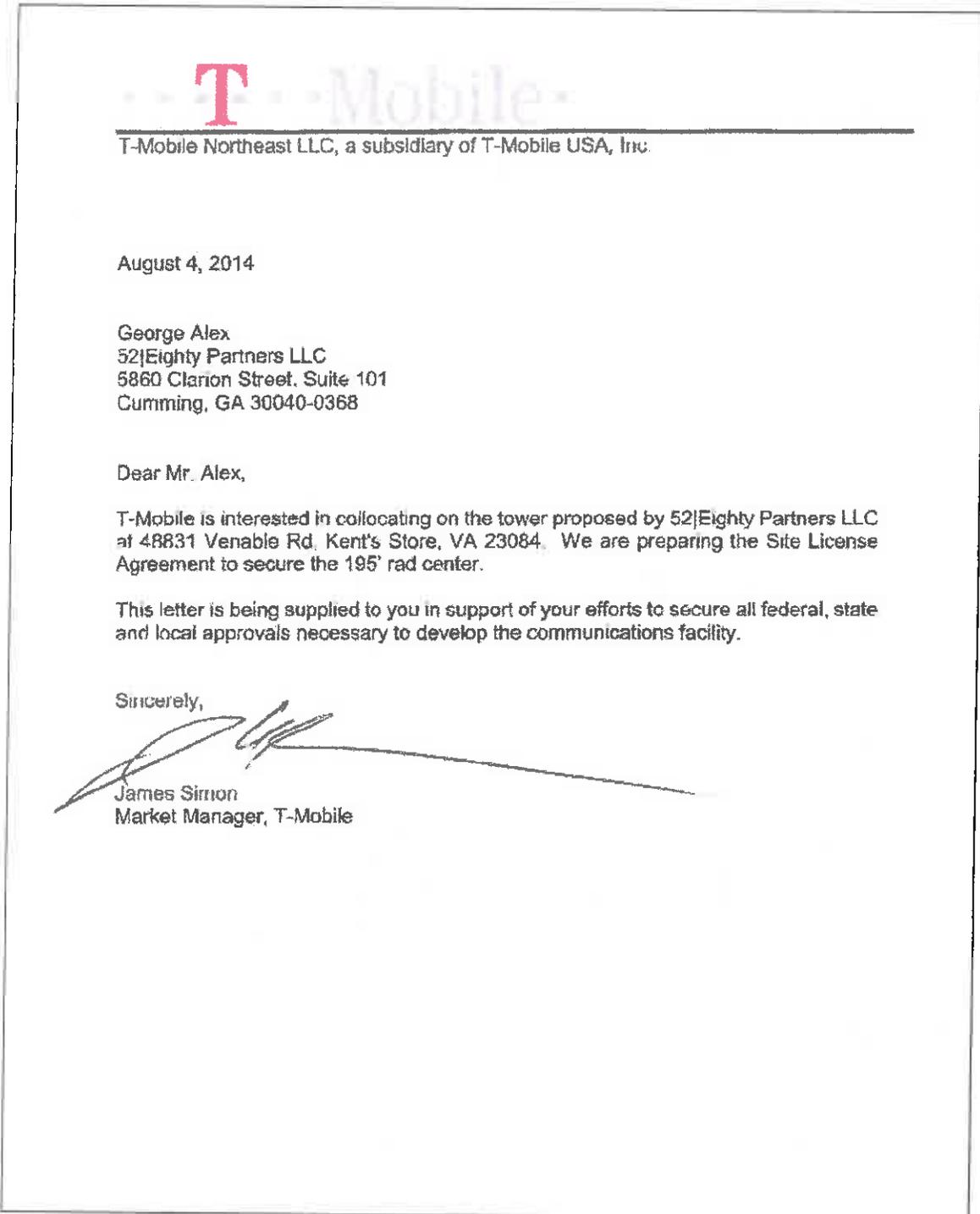


Figure 2. T-Mobile Authorization

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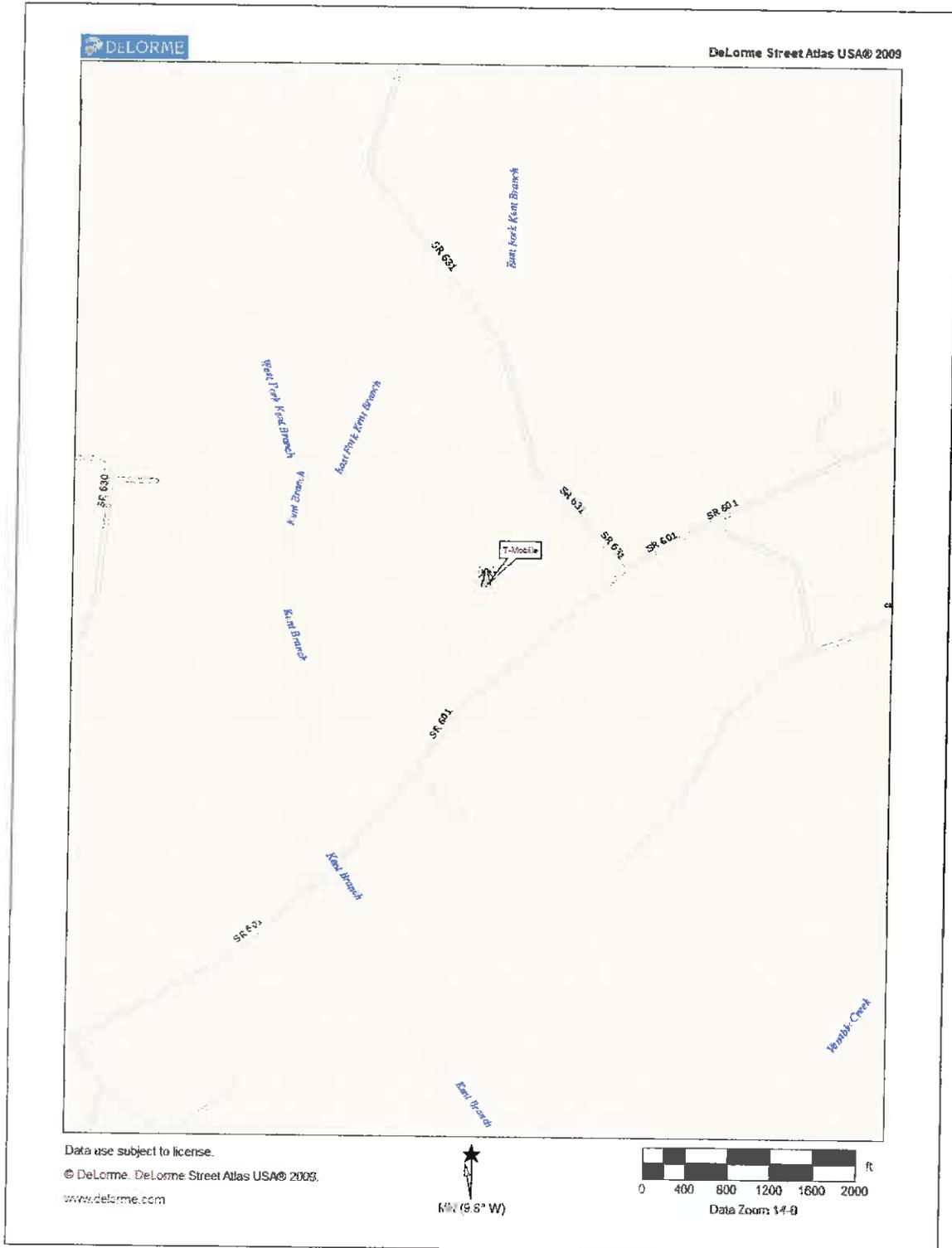


Figure 3. Site Location

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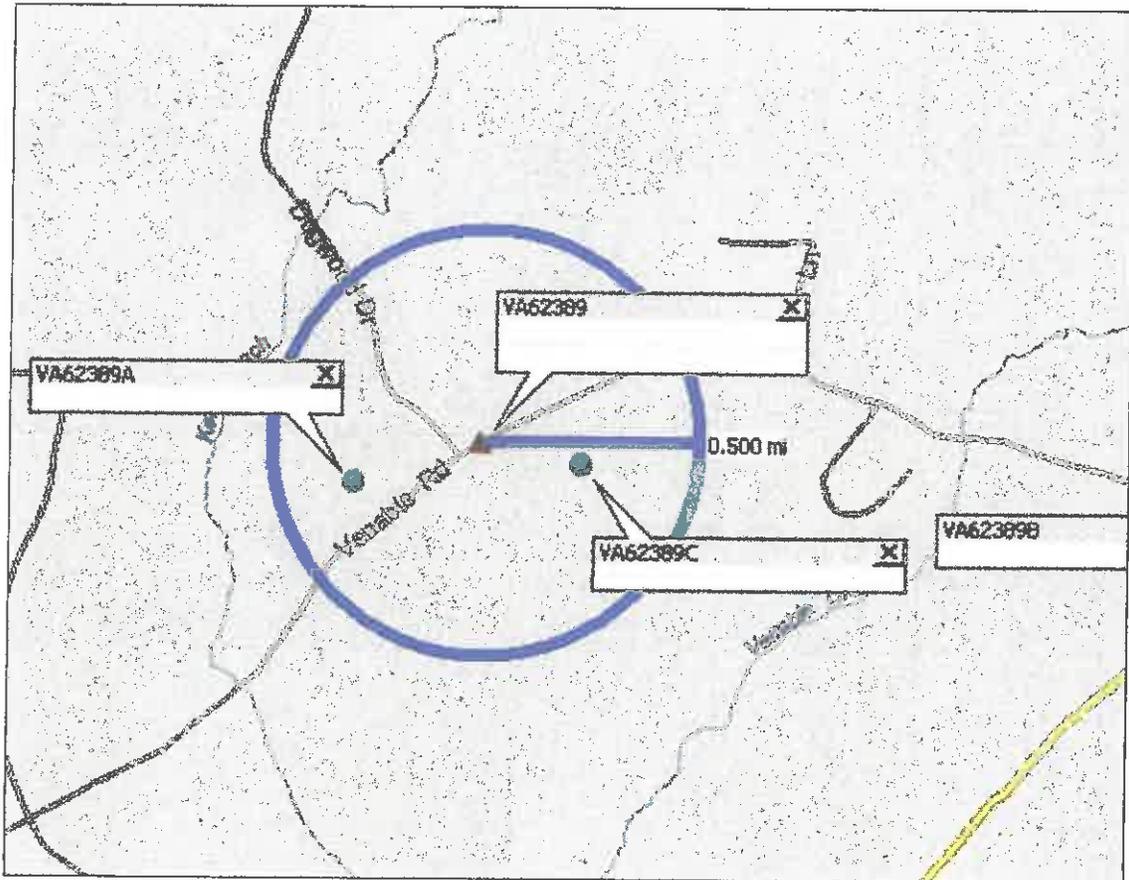


Figure 4. Site Search Ring

3: (VA-902 Kolcum) 37 52 44.86 -78 10 00.82

Regarding County site C; notwithstanding its distance from our location, this site is also not viable from a code perspective. It cannot meet the setback requirements, fall zone, or separation from residential structures. Additionally it should be noted the nearby county tower at the fire station is planned to be abandoned and dismantled and the County EMS plans to locate on our proposed tower for both Transmit and Receive.

Figure 5. Owner Statement on Use of County Property

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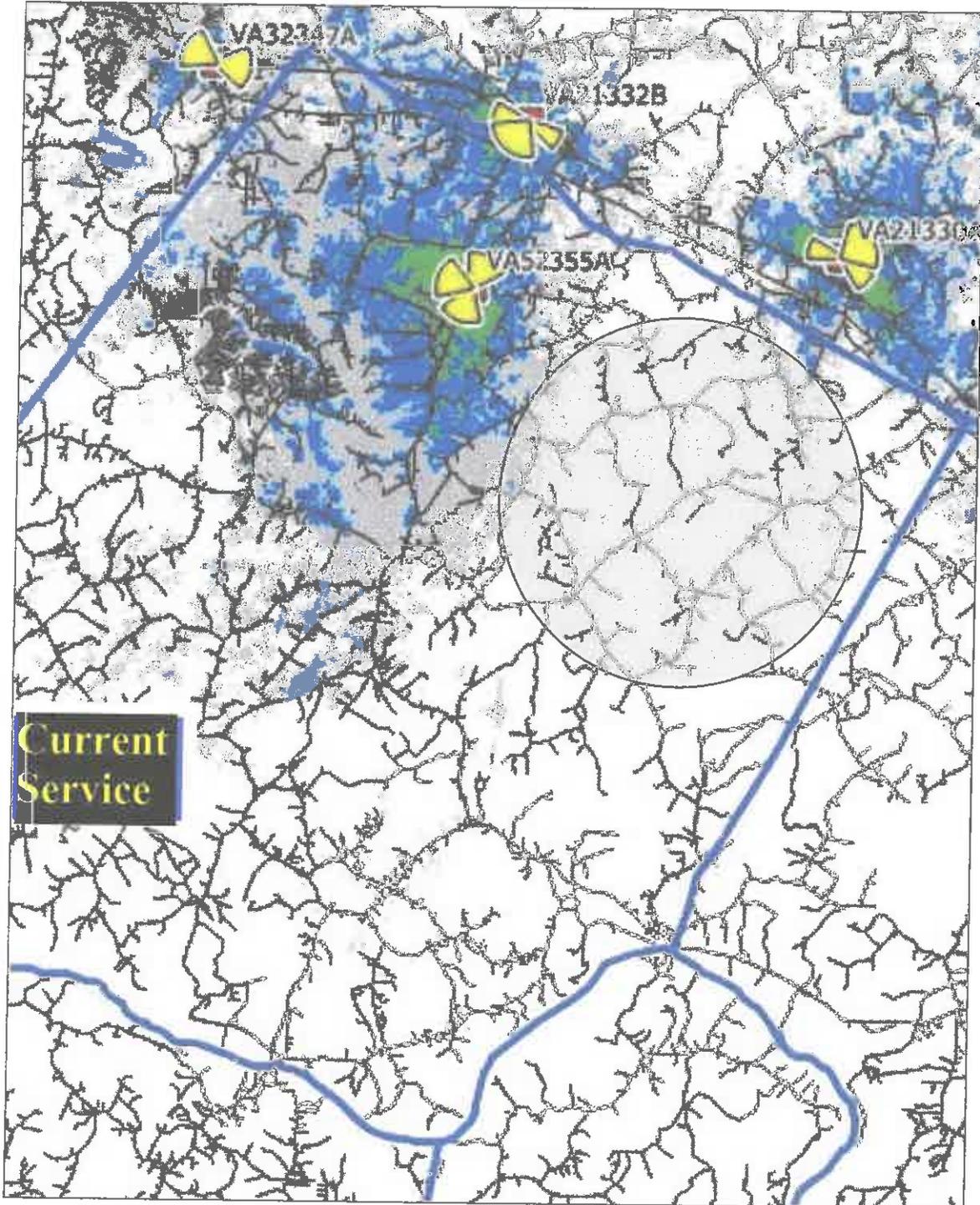


Figure 6. Current Service
(Grey Indicates Target)

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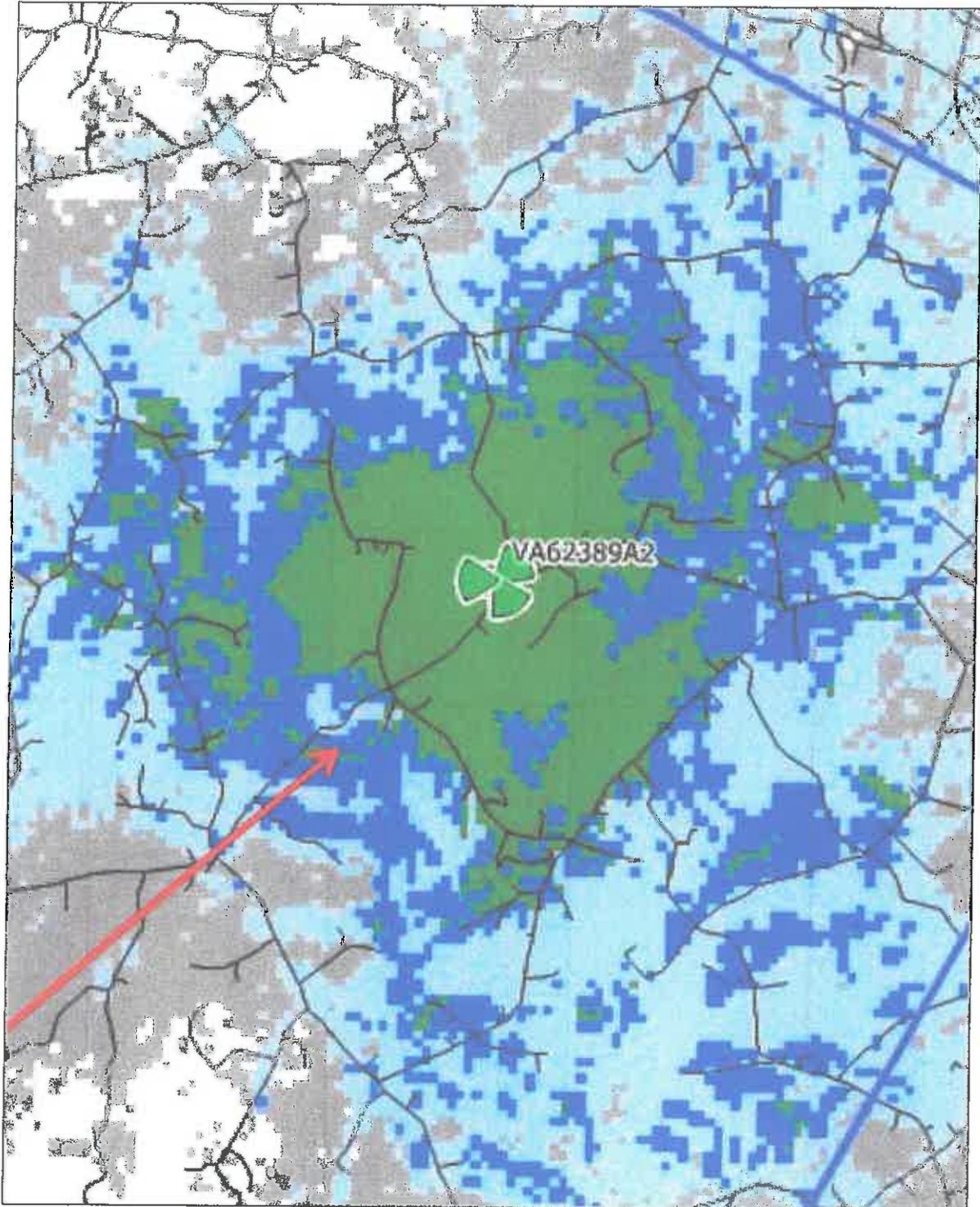


Figure 7. Projected New Service

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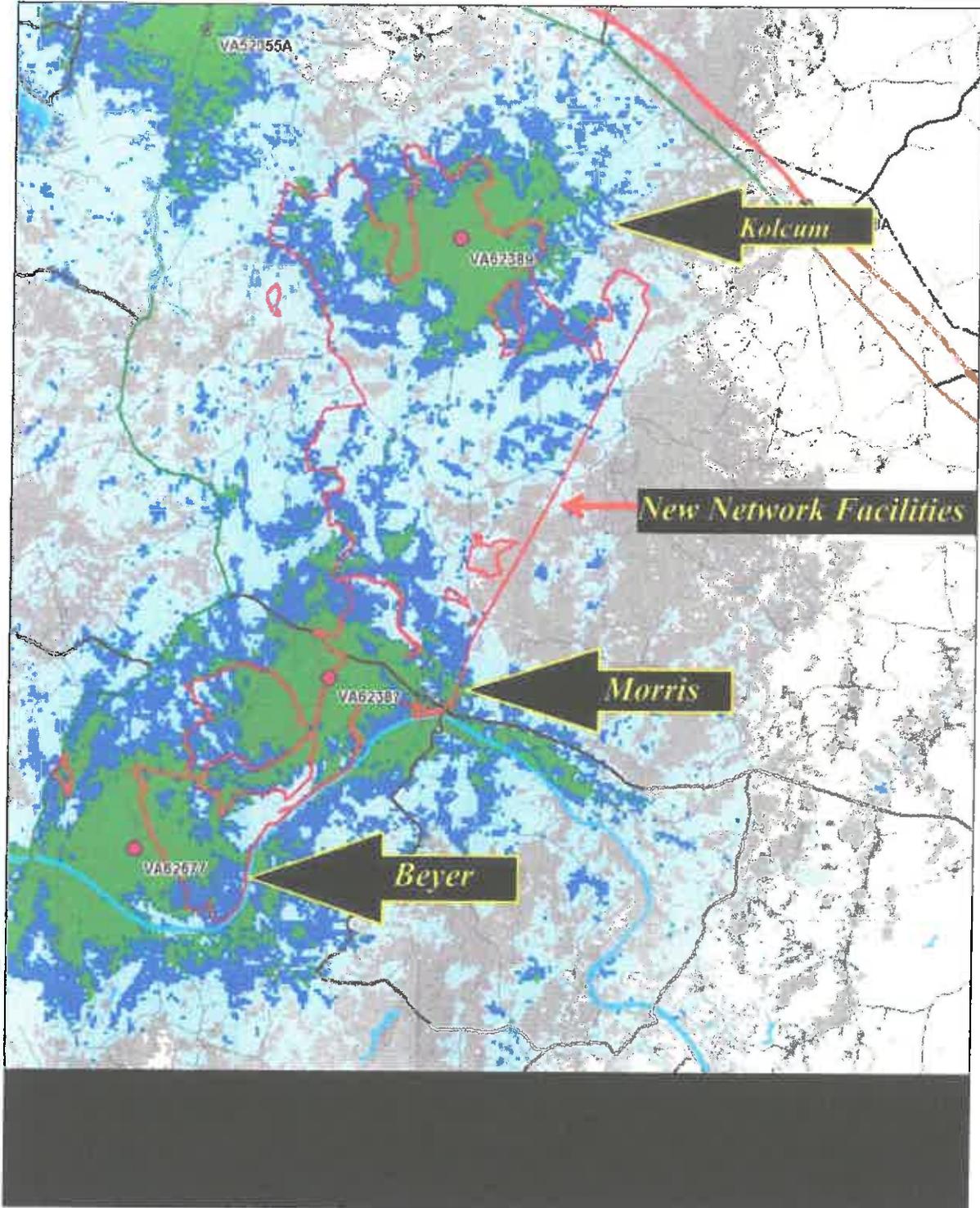


Figure 8. Projected Network Service in Northwest Fluvanna County

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Telecommunications Site Review
 Virginia New Structure

July 3, 2014

Steve Tugwell
 Senior Planner
 Fluvanna County Virginia
 132 Main Street
 PO BOX 540
 Palmyra, VA 22963

RE Application for 3 TASF's located at
48831 3226 Venable Road, Kent's Store, VA 23084 Fork Union Kolcum
7791 Bremono Road, Fork Union, VA 23055
2268 Bremono Road, Fork Union, VA 23055

Dear Mr. Tugwell.

Enclosed are the documents required for the submittal per the SUP Application, Communications Facility Application Checklist, and Fluvanna County Zoning Code.

..Edited for content..

The proposed towers will be designed to withstand wind speeds and forces as required by State and local building regulations as well as those standards defined by the American National Standards Association (ANSA) specifications. The Company carries extensive liability insurance and typically agrees as part of our leases to assume responsibility for certain damages or injuries resulting from our operations.

As a part of all 52-Eighty, LLC tower construction projects, 52-Eighty Partners, LLC will ensure that FCC licensed users of the structure will file for certifications required by the Federal Communications Commission (FCC) that attest to the fact that the proposed communication facility complies with all current FCC rules and regulations for non-ionizing electromagnetic radiation (NIER) regarding human exposure levels. Page C3 30 of the development plans indicates the location that required signage would be placed on the gate of the facility and on the base of the tower.

The effect of wireless (cellular/digital/pcs) radio frequencies on AM and FM signals, TV transmissions, and other commonly used portions of the radio spectrum is considered negligible by the industry's regulatory agencies. 52-Eighty Partners, LLC will ensure that all FCC licensed providers will adhere to all applicable FCC rules regarding radio-frequency interference. Should there be any question, concern, or complaint that any interference is occurring 52-Eighty Partners, LLC will ensure the suspected interfering party procure a co-location interference analysis report from a qualified firm and take whatever corrective action is required to maintain FCC compliance.

Please feel free to contact me anytime by phone or email as indicated below.

Sincerely,

Dale Finocchi
 Sr. Director of Development
 52-Eighty Partners, LLC
 P. 404-382-5285
 C. 336-681-6166
 F: 866-659-4989

52 Eighty, LLC | 5860 Clarion Street, Suite 101 | Cumming, GA 30041
 P. 404.382.5285 | C: 336 681.6166 | F: 866.659.4989

Figure 9. Human Exposure and Interference Compliance Statements

