

AGENDA
FLUVANNA COUNTY PLANNING COMMISSION
Work Session
Former Board of Supervisors Room
October 8, 2014
7:00 P.M.

PLANNING COMMISSION WORK SESSION

- 1. Open the Work Session (Mr. Barry Bibb, Chairman)**
- 2. Planning Director comments**
- 3. Public Comment (Limited to Three Minutes per Speaker)**
- 4. Review of ZMP 14:03 Proposed I&J Homebuilders, LLC rezoning request (A-1 to R-3) (application attached)**
- 5. Capital Improvement Plan Ranking Recommendations**
- 6. Adjourn**



COMMONWEALTH OF VIRGINIA
COUNTY OF FLUVANNA
Application for Rezoning

Received

SEP 02 2014

Planning Dept.

Owner of Record: Steger Investments LLC (9-4-11) **Applicant of Record:** I & J Home Builders LLC

E911 Address: 3321 Fosters Branch Charlottesville, VA 22911 **E911 Address:** 21708 James Madison Highway Troy, VA 22974

Phone: _____ **Fax:** _____ **Phone:** 434-591-1100 **Fax:** _____

Email: _____ **Email:** ijackson2272@gmail.com

Representative: Shimp Engineering PC (Justin Shimp, PE) **Note: If applicant is anyone other than the owner of record, written authorization by the owner designating the applicant as the authorized agent for all matters concerning the request shall be filed with this application.**

E911 Address: 201 East Market Street Suite M Charlottesville, VA 22901

Phone: 434-953-6116 **Fax:** _____

Email: justin@shimp-engineering.com

Tax Map and Parcel(s): 9-A-11, 11B, 11F, and 11G **Deed Book Reference:** 868-684 and 868-693

Acreage: 30.47 **Zoning:** A-1 Agricultural **Deed Restrictions?** No Yes (Attach copy)

Location of Parcel: 1/2 mile east of main gate to Lake Monticello on south side of Lake Monticello Road (SR 618)

Requested Zoning: R-3 Residential **Proposed use of Property:** Single-fam. residential (48 units max.) and commercial center (20,000 sf)

Affidavit to Accompany Petition for Rezoning

By signing this application, the undersigned owner/applicant authorizes entry onto the property by County Employees, the Planning Commission, and the Board of Supervisors during the normal discharge of their duties in regard to this request.

I/We, being duly sworn, depose and say that we are Owner/Contract Owner of the property involved in this application and that we have familiarized ourselves with the rules and regulations of the Zoning Ordinance with respect to preparing and filing this application, and that the foregoing statements and answers herein contained and the information on the attached map to the best of our ability present the argument on behalf of the application herewith requested and that the statements and information above referred to are in all respects true and correct to the best of our knowledge.

Date: 9-1-2014 **Signature of Owner/Applicant:** *Jack Johnson*

Subscribed and sworn to before me this 1st **day of** SEPTEMBER, 2014 **Register #** 7500832

My commission expires: DECEMBER 31st 2015 **Notary Public:** *Annika Ann Dunbar*

All plats must be folded prior to submission to the Planning Department for review. Rolled plats will not be accepted.

OFFICE USE ONLY	
Date Received: 9/2/14	Pre-Application Meeting: _____
PH Sign Deposit Received: \$90 9.2.14	Application #: ZMP 14 : 003
\$1,000 plus \$50 for per acre plus mailing costs fee paid: Mailing Costs: \$20.00 Adjacent Property Owner(APO) after 1st 15, Certified Proffer or Master Plan Amendment: \$750.00 plus mailing costs	
Election District: _____	Planning Area: Palmyra
Public Hearings	
Planning Commission	
Advertisement Dates: 10.9.14 + 10.16.14	Advertisement Dates: 11.6.14 + 11.13.14
APO Notification: 10.8.14	APO Notification: 11.5.14
Date of Hearing: 10.22.14	Date of Hearing: 11.19.14
Decision: _____	Decision: _____

Fluvanna County Department of Planning & Community Development * Box 540 * Palmyra, VA 22963 * (434)591-1910 * Fax (434)591-1911

This form is available on the Fluvanna County website: www.fluvannacounty.org



COMMONWEALTH OF VIRGINIA
COUNTY OF FLUVANNA
Application for Rezoning

Owner of Record: Rivanna Investments LLC 9-A-11B, 11F, 11G **Applicant of Record:** I & J Home Builders LLC
E911 Address: 600 Peter Jefferson Place **E911 Address:** 21700 James Madison Highway
Charlottesville, VA 22911 **Troy, VA 22974**
Phone: _____ **Phone:** 434-591-1100 **Fax:** _____
Email: _____ **Email:** ijackson2272@gmail.com

Representative: Shimp Engineering PC (Justin Shimp, PE)
E911 Address: 201 East Market Street Suite M
Charlottesville, VA 22901
Phone: 434-953-6116 **Fax:** _____
Email: justin@shimp-engineering.com

Tax Map and Parcel(s): 9-A-11, 11B, 11F, and 11G **Deed Book Reference:** 868-684 and 868-693
Acreage: 30.47 **Zoning:** A-1 Agricultural **Deed Restrictions?** No Yes (Attach copy)

Location of Parcel: 1/2 mile east of main gate to Lake Monticello on south side of Lake Monticello Road (SR 618)

Requested Zoning: R-3 Residential **Proposed use of Property:** Single-fam. residential (48 units max.) and commercial center (20,000 sf)

Note: If applicant is anyone other than the owner of record, written authorization by the owner designating the applicant as the authorized agent for all matters concerning the request shall be filed with this application.
 Is property in Agricultural Forestal District? No Yes
 If Yes, what district: _____

Affidavit to Accompany Petition for Rezoning

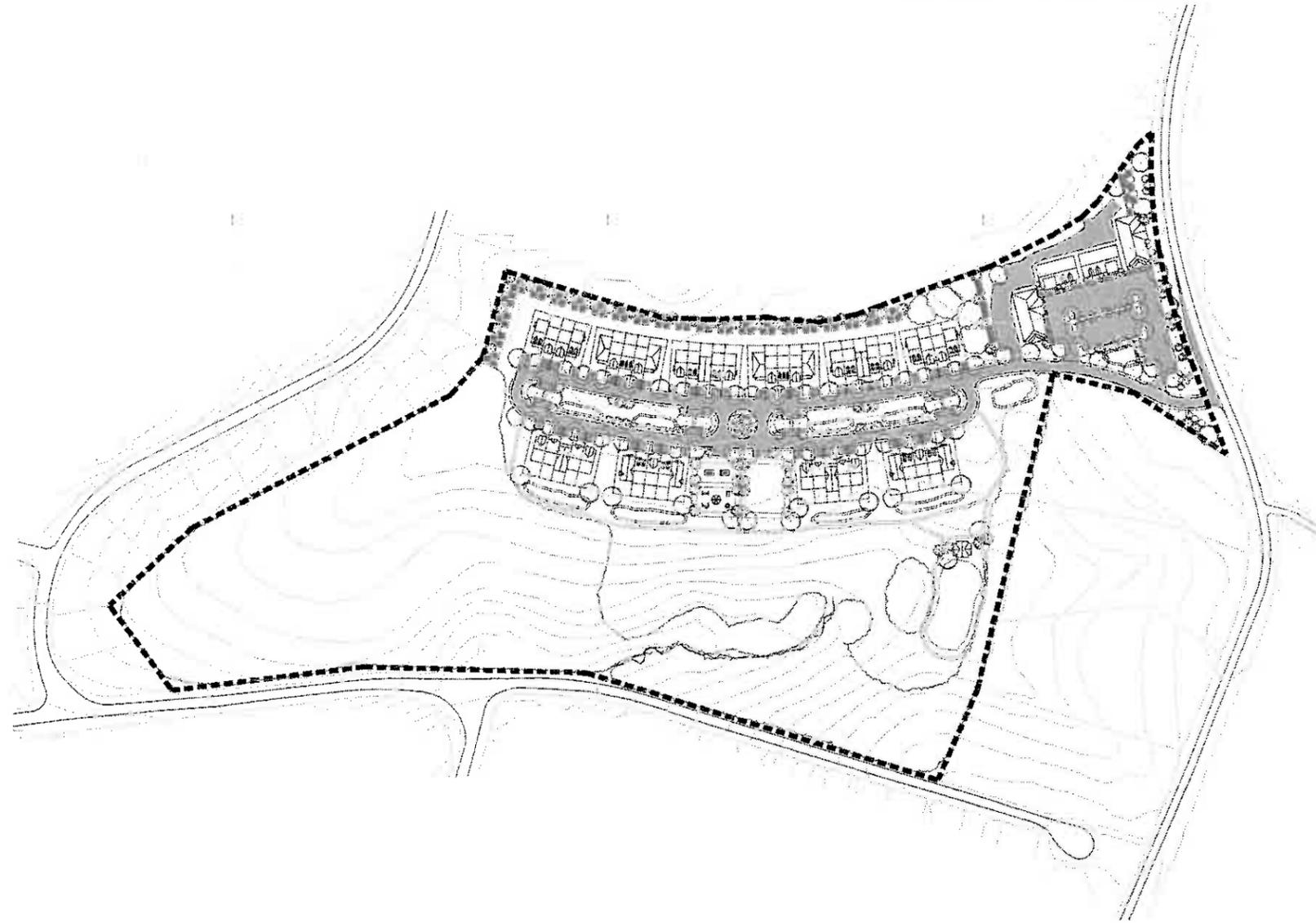
By signing this application, the undersigned owner/applicant authorizes entry onto the property by County Employees, the Planning Commission, and the Board of Supervisors during the normal discharge of their duties in regard to this request.
 I/We, being duly sworn, depose and say that we are Owner/Contract Owner of the property involved in this application and that we have familiarized ourselves with the rules and regulations of the Zoning Ordinance with respect to preparing and filing this application, and that the foregoing statements and answers herein contained and the information on the attached map to the best of our ability present the argument on behalf of the application herewith requested and that the statements and information above referred to are in all respects true and correct to the best of our knowledge.

Date: 9/1/14 **Signature of Owner/Applicant:** [Signature]
Subscribed and sworn to before me this 1st **day of** SEPTEMBER **20** 14 **Register #** 7506032
My commission expires: DECEMBER 31st 2015 **Notary Public:** [Signature]

All plats must be folded prior to submission to the Planning Department for review. Rolled plats will not be accepted.

OFFICE USE ONLY	
Date Received:	Pre-Application Meeting:
PH Sign Deposit Received:	Application #: ZMP _____
\$1,000 plus \$50 for per acre plus mailing costs fee paid: Mailing Costs: \$20.00 Adjacent Property Owner(APO) after 1st 15, Certified Proffer or Master Plan Amendment: \$750.00 plus mailing costs	
Election District:	Planning Area:
PUBLIC HEARINGS	
Planning Commission	Board of Supervisors
Advertisement Dates:	Advertisement Dates:
APO Notification:	APO Notification:
Date of Hearing:	Date of Hearing:
Decision:	Decision:

PRELIMINARY MASTER PLAN FOR LAFAYETTE VILLAGE



TAX MAP 9, SECTION A, PARCEL 11, 11B, 11F, and 11G
PALMYRA MAGISTERIAL DISTRICT
FLUVANNA COUNTY, VIRGINIA
September 2, 2014



201 EAST MAIN STREET, SUITE M
CHARLOTTESVILLE, VA 22902
(434) 207-8086

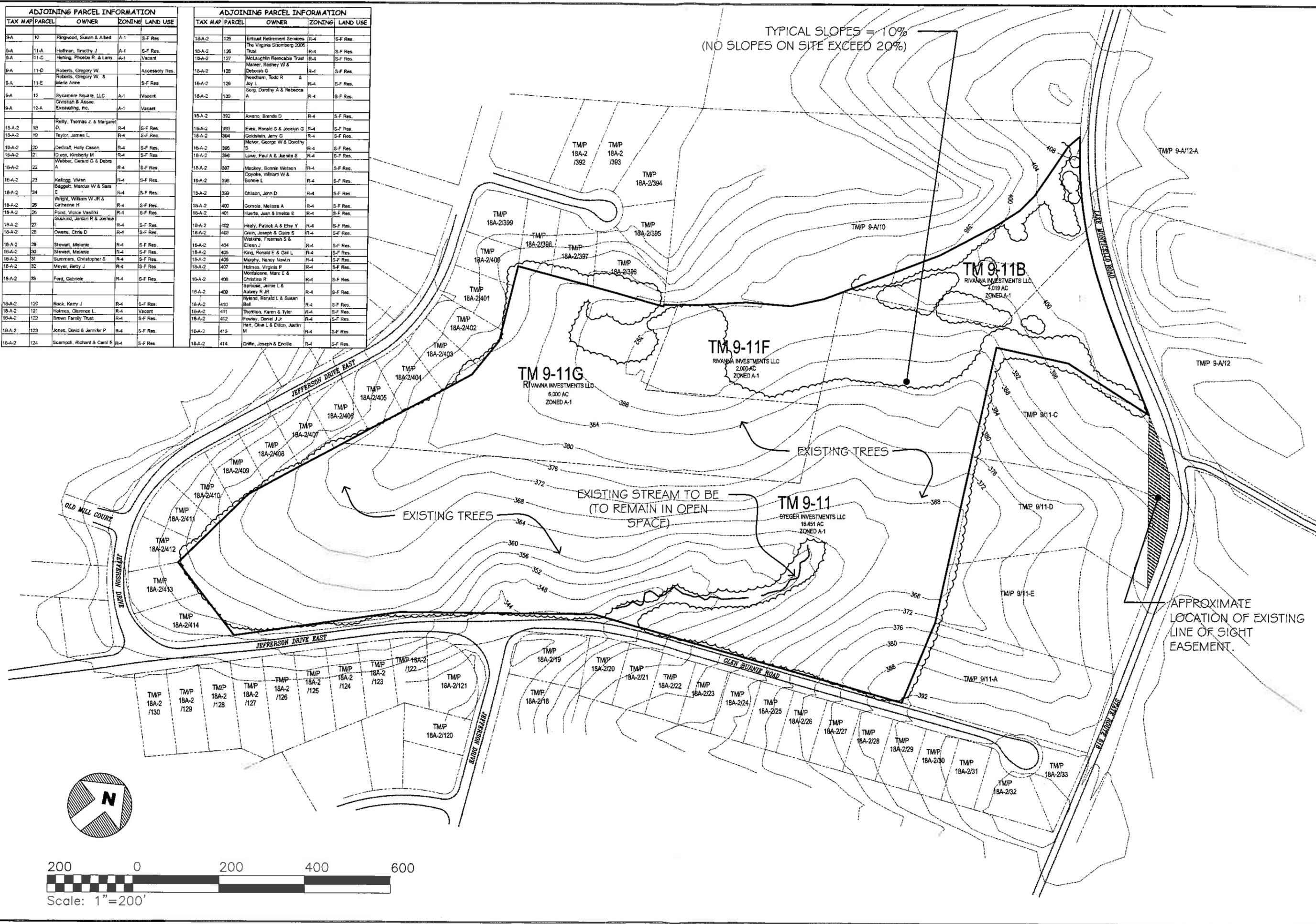
SHEET INDEX

- C1 - COVER SHEET
- C2 - EXISTING CONDITIONS
- C3 - PRELIMINARY MASTER PLAN
- C4 - OPEN SPACE PLAN
- C5 - TRANSPORTATION & UTILITY PLAN
- C6 - DESIGN GUIDELINES AND DETAILS

ADJOINING PARCEL INFORMATION			
TAX MAP PARCEL	OWNER	ZONING	LAND USE
9A	10	Ringwood, Susan & Albert	A-1 S-F Res.
9A	11-A	Hoffman, Timothy J	A-1 S-F Res.
9A	11-C	Hening, Phoebe R & Larry	A-1 Vacant
9A	11-D	Roberts, Gregory W.	Accessory Res.
9A	11-E	Roberts, Gregory W. & Marie Anne	S-F Res.
9A	12	Sycamore Square, LLC	Vacant
9A	12-A	Christian & Assoc. Excavating, Inc.	Vacant
18-A-2	18	Rolly, Thomas J. & Margaret D.	R-4 S-F Res.
18-A-2	19	Taylor, James L.	R-4 S-F Res.
18-A-2	20	DeGraft, Holly Cason	R-4 S-F Res.
18-A-2	21	Dixon, Kimberly M	R-4 S-F Res.
18-A-2	22	Walton, Gerard G & Debra A	R-4 S-F Res.
18-A-2	23	Kellogg, Vivian	R-4 S-F Res.
18-A-2	24	Baggett, Marcus W & Sara E	R-4 S-F Res.
18-A-2	25	Wright, William W JR & Catherine H	R-4 S-F Res.
18-A-2	26	Pond, Vickie Vasili	R-4 S-F Res.
18-A-2	27	Guskind, Jordan R & Joshua L	R-4 S-F Res.
18-A-2	28	Owens, Chris D	R-4 S-F Res.
18-A-2	29	Stewart, Melanie	R-4 S-F Res.
18-A-2	30	Stewart, Melanie	R-4 S-F Res.
18-A-2	31	Summers, Christopher S	R-4 S-F Res.
18-A-2	32	Meyer, Betty J	R-4 S-F Res.
18-A-2	33	Ford, Gabriele	R-4 S-F Res.
18-A-2	120	Rock, Kerry J	R-4 S-F Res.
18-A-2	121	Holmes, Clarence L	R-4 Vacant
18-A-2	122	Brown Family Trust	R-4 S-F Res.
18-A-2	123	Jones, David & Jennifer P	R-4 S-F Res.
18-A-2	124	Scempoll, Richard & Carol E	R-4 S-F Res.

ADJOINING PARCEL INFORMATION			
TAX MAP PARCEL	OWNER	ZONING	LAND USE
18-A-2	125	Entrust Retirement Services	R-4 S-F Res.
18-A-2	126	The Virginia Stromberg 2005 Trust	R-4 S-F Res.
18-A-2	127	McLaughlin Revocable Trust	R-4 S-F Res.
18-A-2	128	Mateer, Rodney W & Deborah G	R-4 S-F Res.
18-A-2	129	Nepsham, Todd R & Jay L	R-4 S-F Res.
18-A-2	130	Song, Dorothy A & Rebecca A	R-4 S-F Res.
18-A-2	352	Awano, Brendi D	R-4 S-F Res.
18-A-2	353	Eves, Ronald S & Jocelyn G	R-4 S-F Res.
18-A-2	364	Goldstein, Jerry G	R-4 S-F Res.
18-A-2	365	McVior, George W & Dorothy S	R-4 S-F Res.
18-A-2	366	Love, Paul A & Janita S	R-4 S-F Res.
18-A-2	367	Mackey, Bonnie Watson	R-4 S-F Res.
18-A-2	368	Oyoko, William W & Bonnie L	R-4 S-F Res.
18-A-2	369	Ohlson, John D	R-4 S-F Res.
18-A-2	400	Gonzalez, Melissa A	R-4 S-F Res.
18-A-2	401	Huerta, Juan & Imelda B	R-4 S-F Res.
18-A-2	402	Healy, Patrick A & Eley Y	R-4 S-F Res.
18-A-2	403	Grain, Joseph & Claire S	R-4 S-F Res.
18-A-2	404	Walsh, Freeman S & Eileen J	R-4 S-F Res.
18-A-2	405	King, Ronald E & Gail L	R-4 S-F Res.
18-A-2	406	Murphy, Nancy Nowlin	R-4 S-F Res.
18-A-2	407	Holmes, Virginia P	R-4 S-F Res.
18-A-2	408	Mondalosso, Marc E & Christine R	R-4 S-F Res.
18-A-2	409	Sprouse, James L & Audrey R JR	R-4 S-F Res.
18-A-2	410	Hylton, Ronald L & Susan B	R-4 S-F Res.
18-A-2	411	Thomson, Karen & Tyler	R-4 S-F Res.
18-A-2	412	Fowley, Daniel J J	R-4 S-F Res.
18-A-2	413	Hart, Olive L & Dillon, Justin M	R-4 S-F Res.
18-A-2	414	Shinn, Joseph & Enelle	R-4 S-F Res.

TYPICAL SLOPES = 10%
(NO SLOPES ON SITE EXCEED 20%)



SHIMP ENGINEERING, P.C.

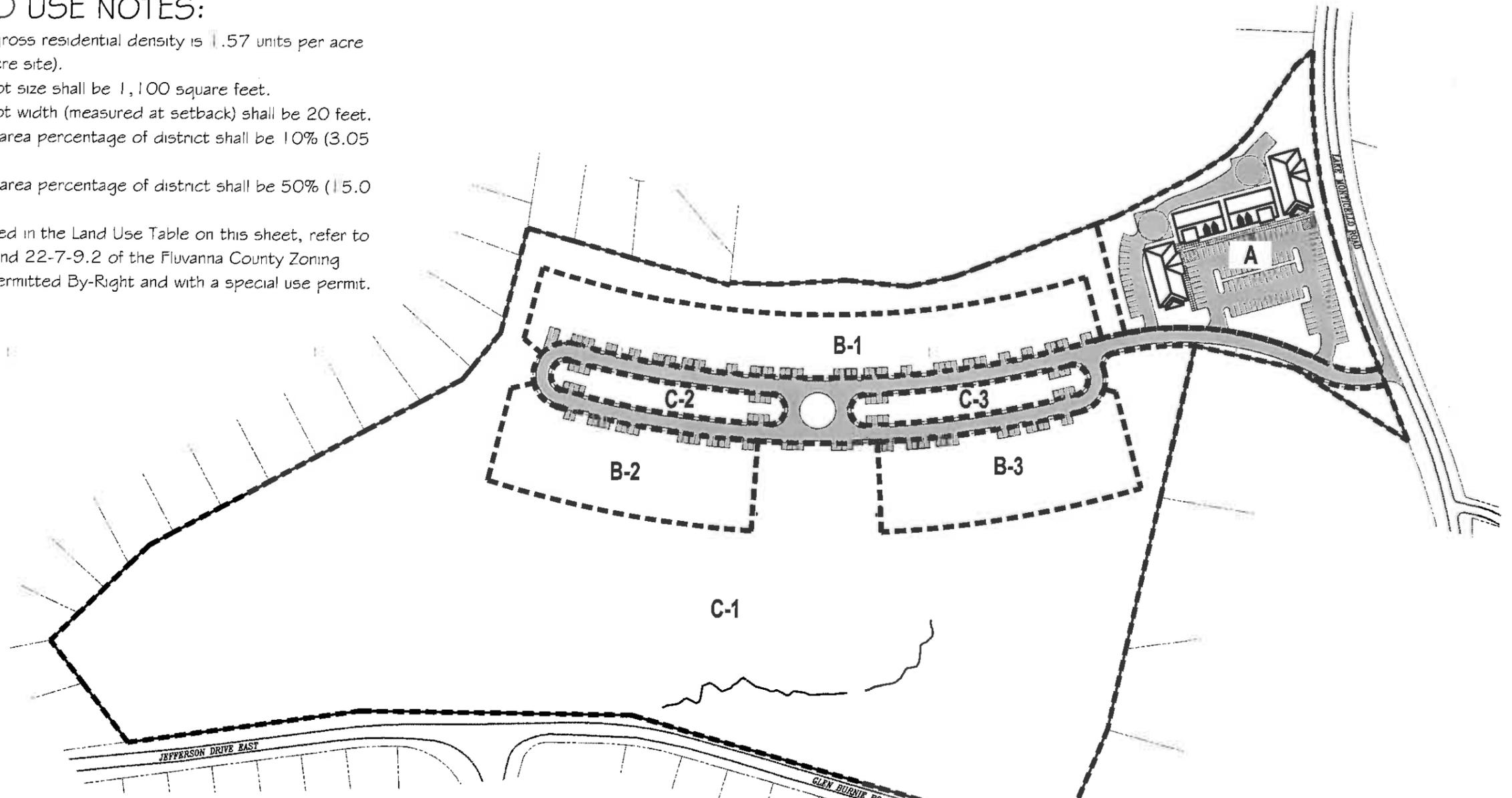
Rev	Date	Description

PRELIMINARY MASTER PLAN FOR:
LARA YETTE MILLAGE

Date	09/02/
Scale	1" = 200'
Sheet No.	20
File No.	14

LAND USE NOTES:

- Maximum permitted gross residential density is 1.57 units per acre (48 units on 30.5 acre site).
- Minimum residential lot size shall be 1,100 square feet.
- Minimum residential lot width (measured at setback) shall be 20 feet.
- Maximum commercial area percentage of district shall be 10% (3.05 acres).
- Minimum open space area percentage of district shall be 50% (15.0 acres).
- Unless otherwise noted in the Land Use Table on this sheet, refer to Sections 22-7-9.1 and 22-7-9.2 of the Fluvanna County Zoning Ordinance for uses permitted By-Right and with a special use permit.



LAND USE TABLE

BLOCK	PERMITTED LAND USE	ACREAGE	TOTAL ACRES	MAXIMUM RESIDENTIAL DENSITY (UNITS)	MAXIMUM COMMERCIAL DENSITY (SQUARE FEET)	PERCENTAGE OF DISTRICT**
A	COMMERCIAL	2.8	2.8	0	30,000	9%
B-1	SINGLE-FAMILY RESIDENTIAL*	2.3	5.3	48	0	17%
B-2	SINGLE-FAMILY RESIDENTIAL*	1.5				
B-3	SINGLE-FAMILY RESIDENTIAL*	1.5				
C-1	OPEN SPACE	19.7	20.5	0	0	67%
C-2	OPEN SPACE	0.4				
C-3	OPEN SPACE	0.4				
ROAD RIGHT-OF-WAY	N/A	1.9	1.9	N/A	N/A	6%
TOTAL R-3 DISTRICT			30.5	48	30,000	100%

* Note: PERMITTED SINGLE FAMILY RESIDENTIAL USES INCLUDE: TOWNHOMES, SINGLE-FAMILY ATTACHED, SINGLE-FAMILY DETACHED, GROUP HOMES, AND ACCESSORY DWELLINGS. MULTI AND TWO FAMILY DWELLINGS ARE PROHIBITED.

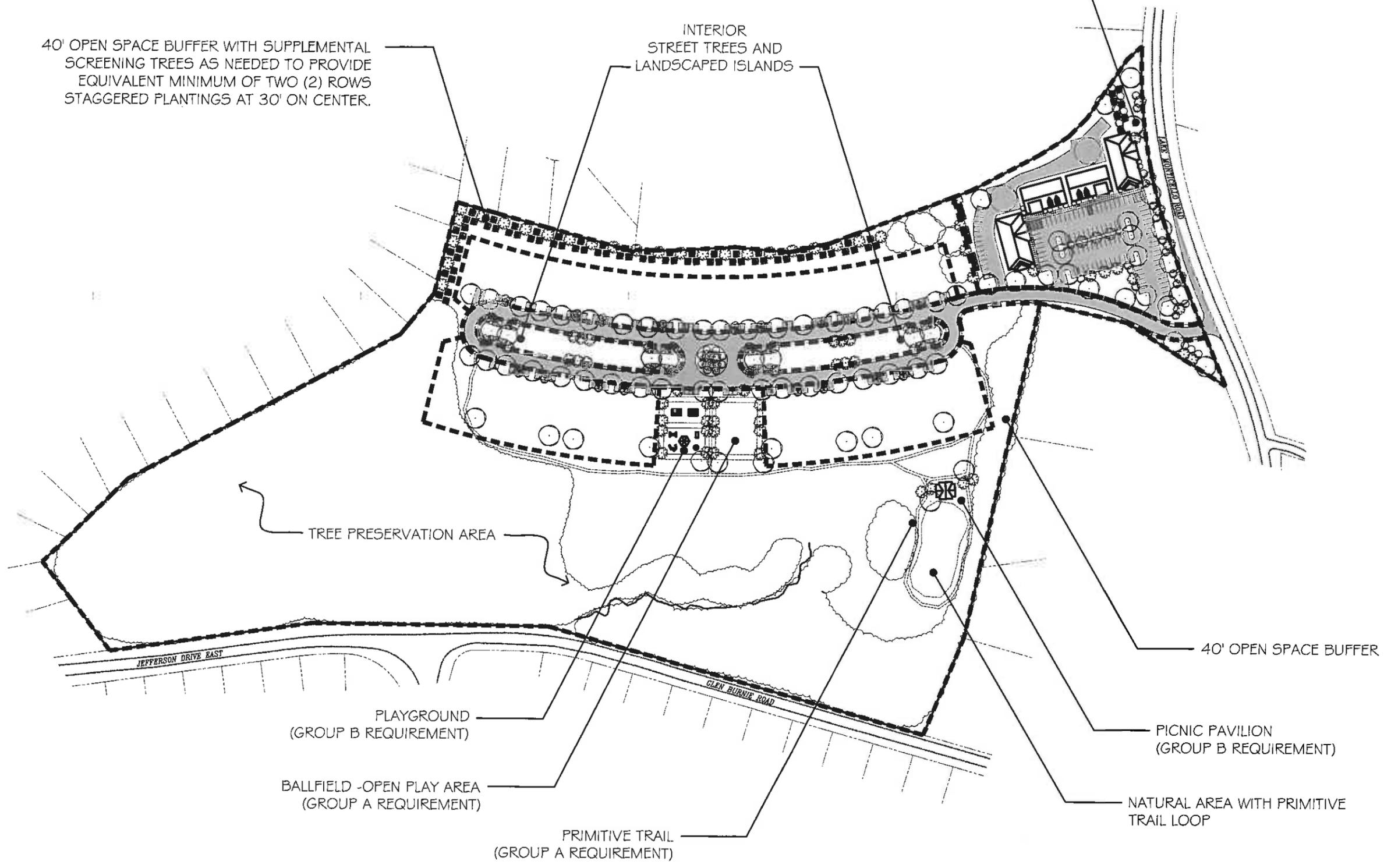
** Note: LAND USE PERCENTAGES SHOWN ARE CONCEPTUAL AND MAY VARY IN ACCORDANCE WITH GUIDELINES PROVIDED ON THIS SHEET.



40' OPEN SPACE BUFFER WITH SUPPLEMENTAL SCREENING TREES AS NEEDED TO PROVIDE EQUIVALENT MINIMUM OF TWO (2) ROWS STAGGERED PLANTINGS AT 30' ON CENTER.

20' LANDSCAPE BUFFER ALONG S.R. 618

INTERIOR STREET TREES AND LANDSCAPED ISLANDS



PLAYGROUND (GROUP B REQUIREMENT)

BALLFIELD - OPEN PLAY AREA (GROUP A REQUIREMENT)

PRIMITIVE TRAIL (GROUP A REQUIREMENT)

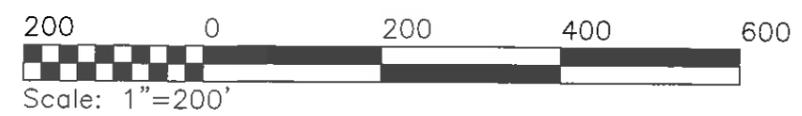
40' OPEN SPACE BUFFER

PICNIC PAVILION (GROUP B REQUIREMENT)

NATURAL AREA WITH PRIMITIVE TRAIL LOOP

JEFFERSON DRIVE EAST

GLEN BURNIE ROAD



PROPOSED R-3 RECREATIONAL REQUIREMENTS	
GROUP A	GROUP B
OPEN PLAY AREA (MIN. 1/2 ACRE)	PICNIC PAVILION (3-4 PICNIC TABLE UNITS WITH GRILL)
PRIMITIVE WALKING TRAILS	ACTIVE PLAYGROUND WITH EQUIPMENT

OPEN SPACE PLAN OF DEVELOPMENT
Rev. # Date Description

PRELIMINARY MASTER PLAN FOR:
LAFAVETTE VIII ACE

Date: 09/02/2009
Scale: 1"=200'
Sheet No.: 4
File No.: 1

ALL PROPOSED ROADS ARE PRIVATE AND SHALL BE MAINTAINED BY A HOME OWNERS ASSOCIATION. ALL MATERIALS AND DRAINAGE DESIGN SHALL BE IN CONFORMANCE WITH VIRGINIA DOT GUIDELINES.

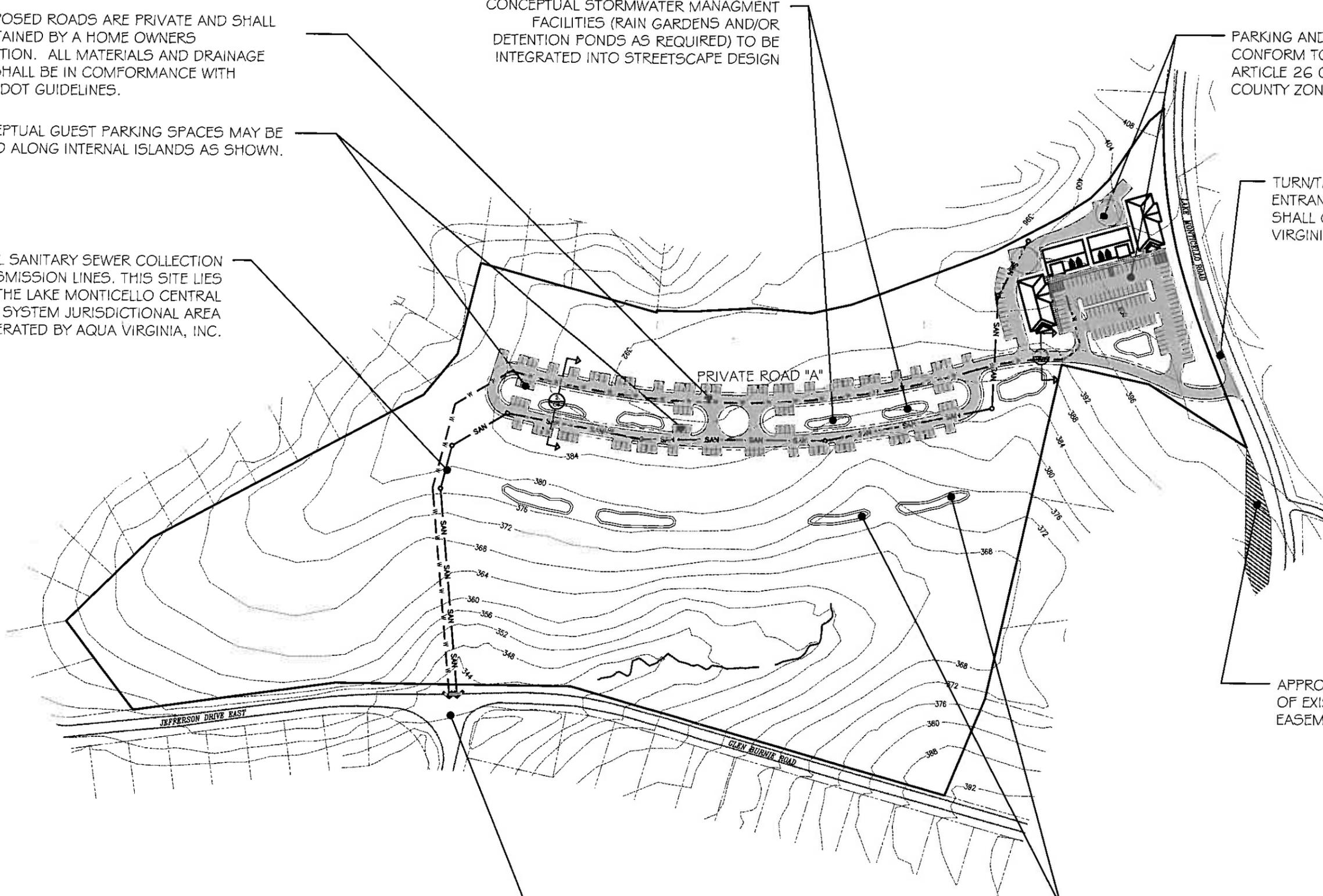
CONCEPTUAL GUEST PARKING SPACES MAY BE PROVIDED ALONG INTERNAL ISLANDS AS SHOWN.

CONCEPTUAL SANITARY SEWER COLLECTION AND TRANSMISSION LINES. THIS SITE LIES WITHIN THE LAKE MONTICELLO CENTRAL WATER/SEWER SYSTEM JURISDICTIONAL AREA WHICH IS OPERATED BY AQUA VIRGINIA, INC.

CONCEPTUAL STORMWATER MANAGEMENT FACILITIES (RAIN GARDENS AND/OR DETENTION PONDS AS REQUIRED) TO BE INTEGRATED INTO STREETSCAPE DESIGN

PARKING AND LOADING SHALL CONFORM TO SECTION 22 ARTICLE 26 OF THE FLUVANNA COUNTY ZONING ORDINANCE.

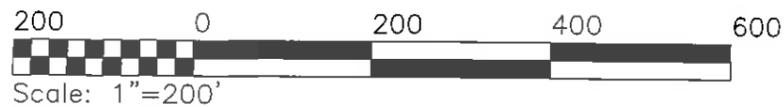
TURN/TAPER AND ENTRANCE REQUIREMENTS SHALL CONFORM TO VIRGINIA DOT GUIDELINES.



APPROXIMATE LOCATION OF EXISTING LINE OF SIGHT EASEMENT.

CONCEPTUAL STORMWATER MANAGEMENT FACILITIES (RAIN GARDENS AND/OR DETENTION PONDS AS REQUIRED) BEHIND RESIDENTIAL BLOCKS.

APPROXIMATE LOCATION FOR SEWER/WATER CONNECTION TO EXISTING AQUA-VIRGINIA TRANSMISSION LINES.



Architectural and Landscape Standards:

Architectural Guidelines:

General Requirements:

- Exterior materials used within Lafayette Village shall be chosen from the materials listed herein and be of a low maintenance character in the interest of maintaining a quality appearance.
- A centrally located mailbox bank shall be provided for all residential addresses within the development.
- Streetlamps, if provided in the residential blocks, shall be restricted to 10' height and shall match in architectural style and color with other streetlamps in the district.
- Storefront and monument signs in the commercial block shall match in architectural style and color with other signage within the district.

Architectural Standards for all permitted uses:

Structure and Massing:

- Massing of commercial and civic structures shall be broken up in such a manner as to avoid boxy appearing buildings. Use of gables, offsets, and similar details to break down the mass of the building is strongly encouraged.
- Residential single-family dwellings shall have a minimum size of 1,100 square feet.
- Buildings shall maintain architectural fronts along a consistent street edge with at least one street oriented entrance.
- Use of multiple, yet compatible wall materials is encouraged.
- Use of arches, columns, quoins, and similar details is encouraged.
- Storefront metal shall be factory finished. Mill finish aluminum is prohibited.
- Accessory structures shall be constructed of materials similar to the main structure on the lot.

Permitted Wall Materials

- A. Brick
- B. Stone, natural or portland cement simulated (Cultured Stone or similar)
- C. Fiber reinforced cementitious siding (Hardiplank or similar)
- D. Wood siding, painted or stained
- E. Wood or fiber reinforced cement shingles
- F. Architectural precast concrete (cast stone)
- G. Stucco

Permitted Visible Roofing Materials

- A. Standing seam metal
- B. Slate
- C. Simulated slate
- D. Architectural shingles
- E. Architectural shingles designed to simulate wood shakes (Timberline or similar)

Permitted Trim Materials

- B. Fiber reinforced cementitious trim (Hardietrim, Hardiesoffit, or similar)
- C. Cellular PVC
- D. Wood, painted or stained
- E. Factory finished aluminum clad wood (fascia & rake boards)
- F. Vented or unvented aluminum or vinyl soffit panels
- G. Vinyl shutters and trim.

Permitted Window Materials

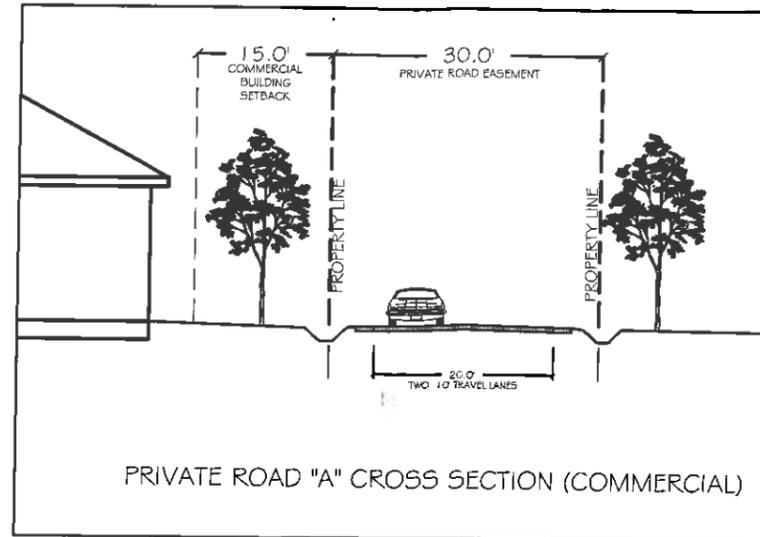
- A. Painted Wood
- B. Clad (aluminum or fiberglass) wood
- C. Extruded fiberglass or aluminum
- D. Aluminum Storefront
- E. Divided light windows shall have SDL or true divided light muntins.
- F. Vinyl

Permitted Door Materials

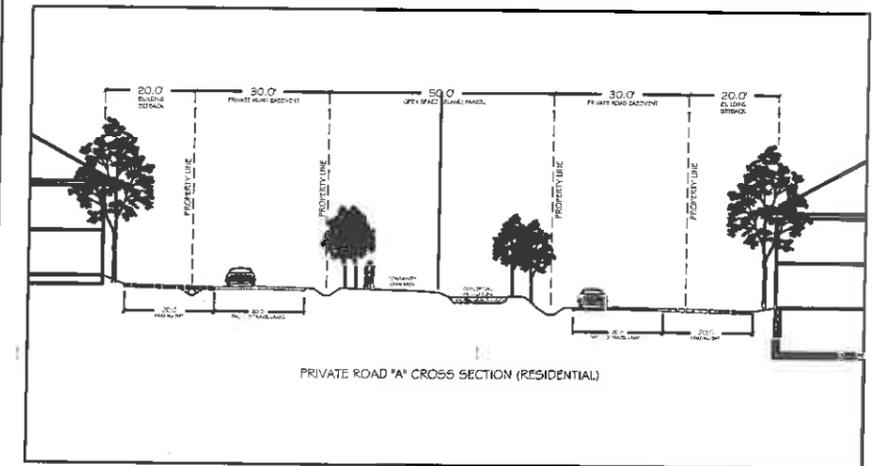
- A. Wood
- B. Insulated metal
- C. Fiberglass
- D. Aluminum storefront

Other Permitted Materials

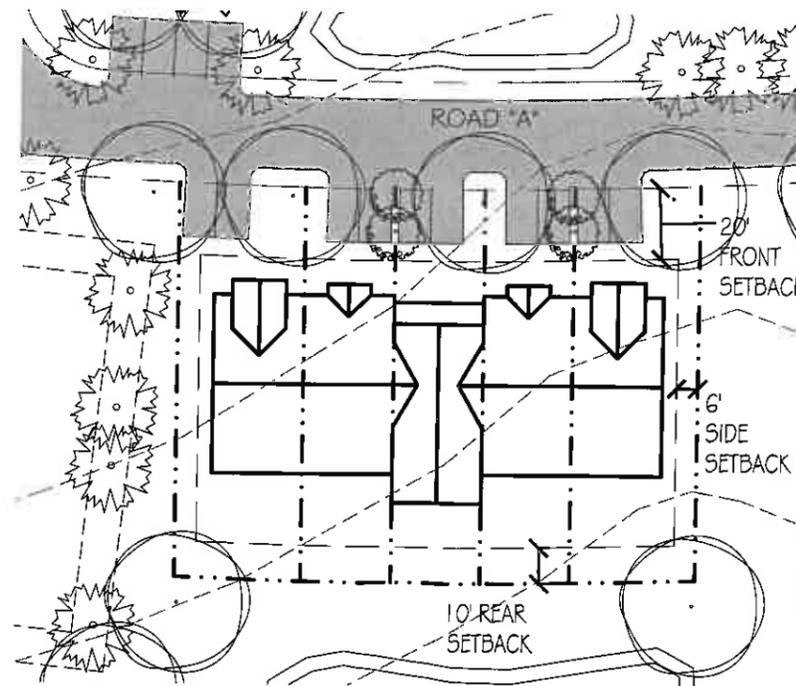
- A. Fabric awnings
- B. Cellular PVC railings
- C. Metal railings
- D. Factory finished aluminum or natural copper gutters & downspouts
- E. Wood or vinyl shutters



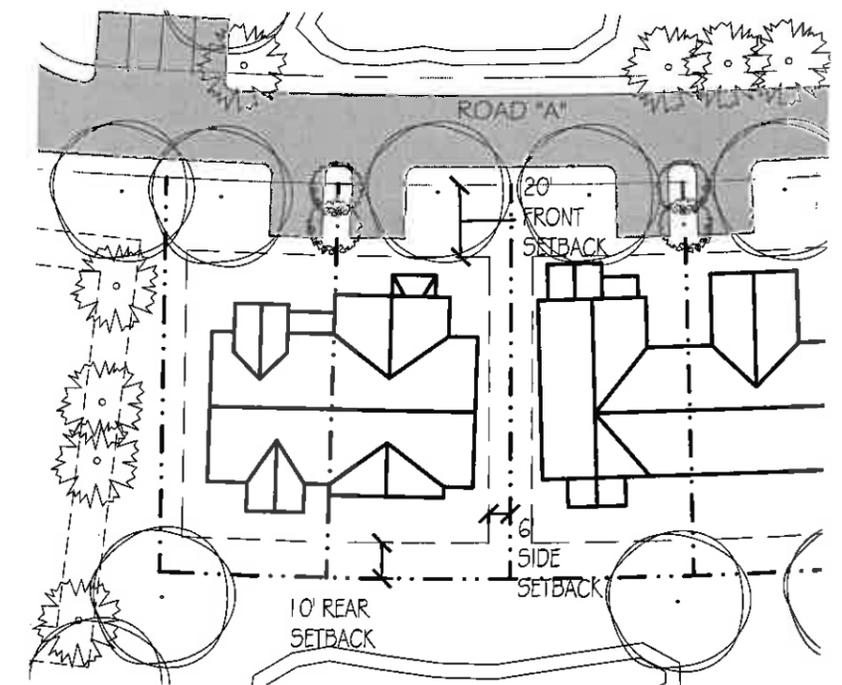
1 PRIVATE ROAD "A": TYPICAL CROSS SECTION
C6 SCALE: 1"=20'



2 PRIVATE ROAD "A": TYPICAL RESIDENTIAL CROSS SECTION
C6 SCALE: 1"=40'



3 TYPICAL TOWNHOME LOT LAYOUT
C6 SCALE: 1"=50'



4 TYPICAL SINGLE-FAMILY ATTACHED LOT LAYOUT
C6 SCALE: 1"=50'



FRONT ELEVATION



REAR ELEVATION



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
SHEET TITLE

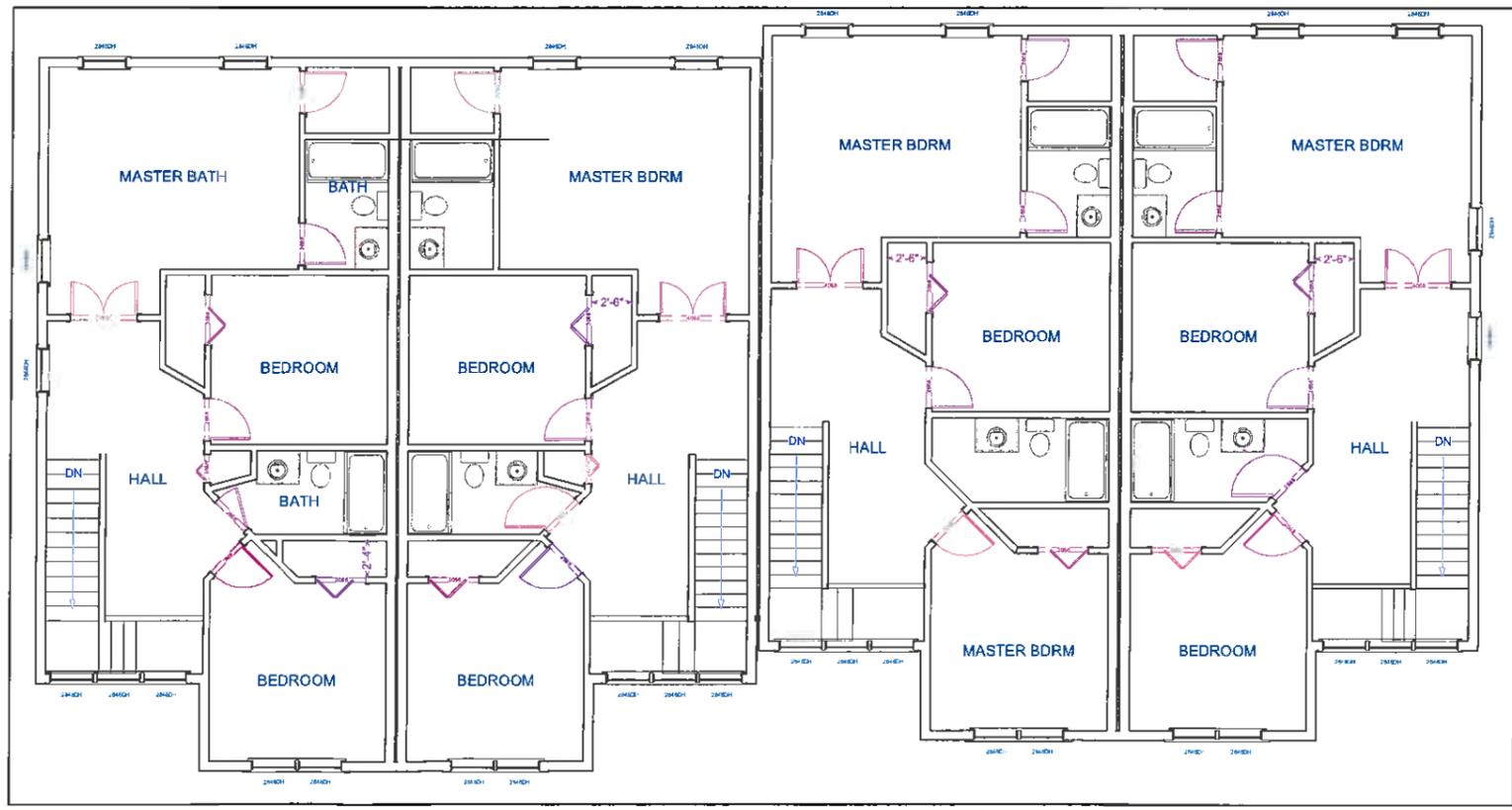
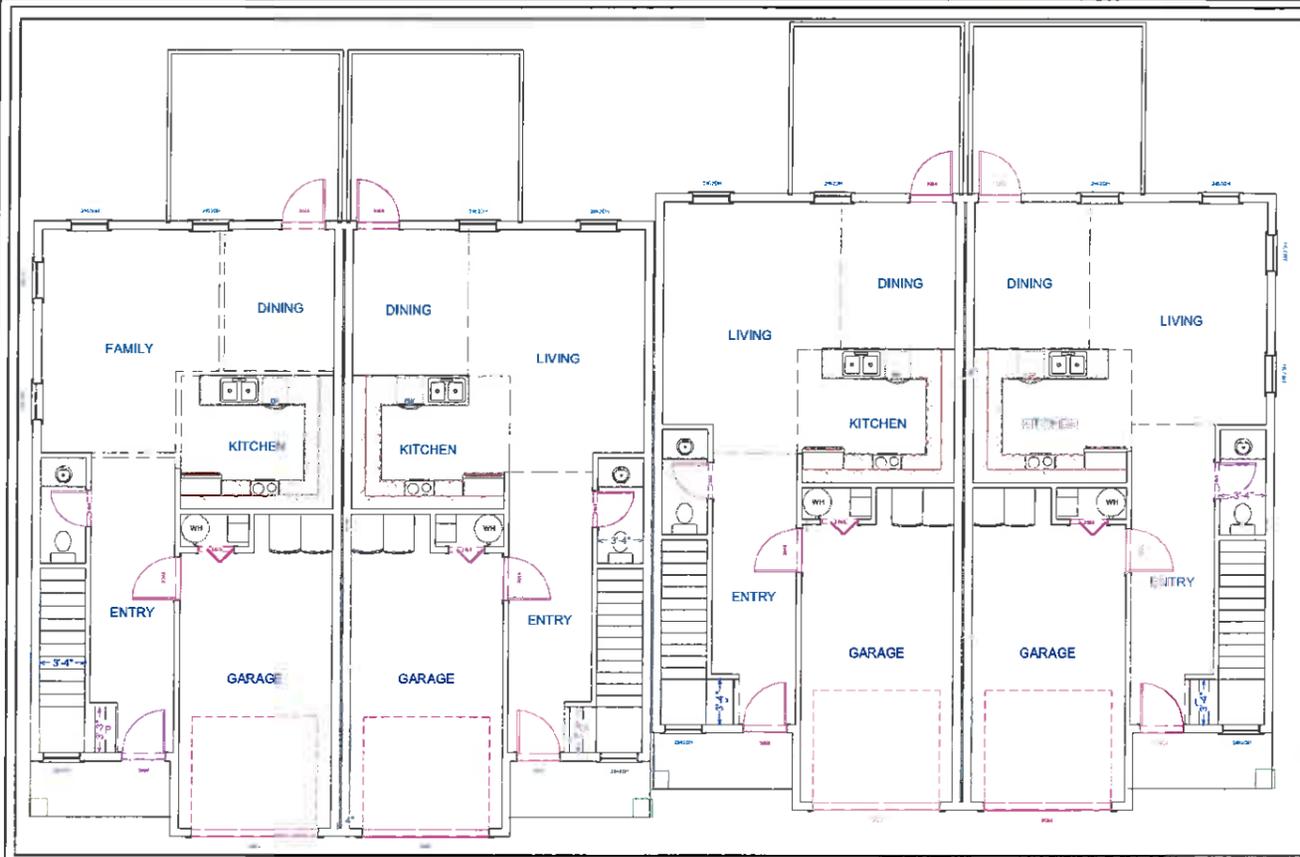
PROJECT DESCRIPTION:
Apartment 23

DRAWINGS PROVIDED BY:

DATE:
9/2/2014

SCALE:

SHEET:
A-1



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
SHEET TITLE

PROJECT DESCRIPTION:
Apartment 23

DRAWINGS PROVIDED BY:

DATE:
9/2/2014

SCALE:

SHEET:

A-2