

AGENDA
FLUVANNA COUNTY PLANNING COMMISSION
Former Board of Supervisors Room
August 8, 2012
7:00 P.M.

PLANNING COMMISSION WORK SESSION

1. Open the Work Session (Mr. Donald Gaines, Vice-Chairman)

2. Public Comment (Limited to Three Minutes per Speaker)

3. Discussion of ZMP 12:02 (Rivanna Resort Rezoning)

A rezoning of Tax Map 30(A)110 and Tax Map 19(A)39C from R-3 (Residential, Planned Community) with proffers to Planned Unit Development (PUD) will be discussed. The subject property spans 227.24 acres in the Palmyra Community Planning Area. The proposal includes up to 1,514 residential units and 110,000 square feet of commercial space.

4. Landscaping-Related Business Definitions (Moved to August 22, 2012)

A discussion of possible changes to Article 22 (Definitions) of the Fluvanna County Zoning Ordinance to create new definitions that better describe landscaping-related businesses and the activities taking place at such operations.

5. Plant List (Moved to August 22, 2012)

A discussion of changes to the Fluvanna County Plant List, which lists trees and shrubs suitable for use within new developments.

6. Adjourn

For the Hearing-Impaired – there is a listening device available at the Board of Supervisors Room upon request.. TTY access number is 711 to make arrangements.

For persons with Disabilities – if you have special needs, please call the County Administrator's Office at 591-1910 and relay your request.



COUNTY OF FLUVANNA

"Responsive & Responsible Government"

P.O. Box 540
Palmyra, VA 22963
Ph: (434) 591-1910
Fax: (434) 591-1911
www.fluvannacounty.org

MEMORANDUM

Date: August 1, 2012
From: Andrew J. Pompei, Planner
To: Fluvanna County Planning Commission
Subject: Walker's Ridge Rezoning (ZMP 12:02) – August Work Session Discussion

Based on input received from the Planning Commission during its last two work sessions (June and July 2012), revisions to Walker's Ridge master plan have been submitted (Attachment A). The applicant's representatives will present the revisions to the Planning Commission at its work session on August 8.

The following documents are attached:

- A: Revised Master Plan (Completed 7/31/2012)
- B: Original Walker's Ridge Application Package
- C: Preliminary Building Elevations for Walker's Ridge
- D: 3D Views of Walkers Ridge
- E: Letter from Justin Shimp: Walker's Ridge PUD Residential Density Justification

Other documentation regarding this project can be found in the Planning Commission Work Session Packets presented on June 13, 2012 and July 11, 2012.

WATER & SEWER NOTES:

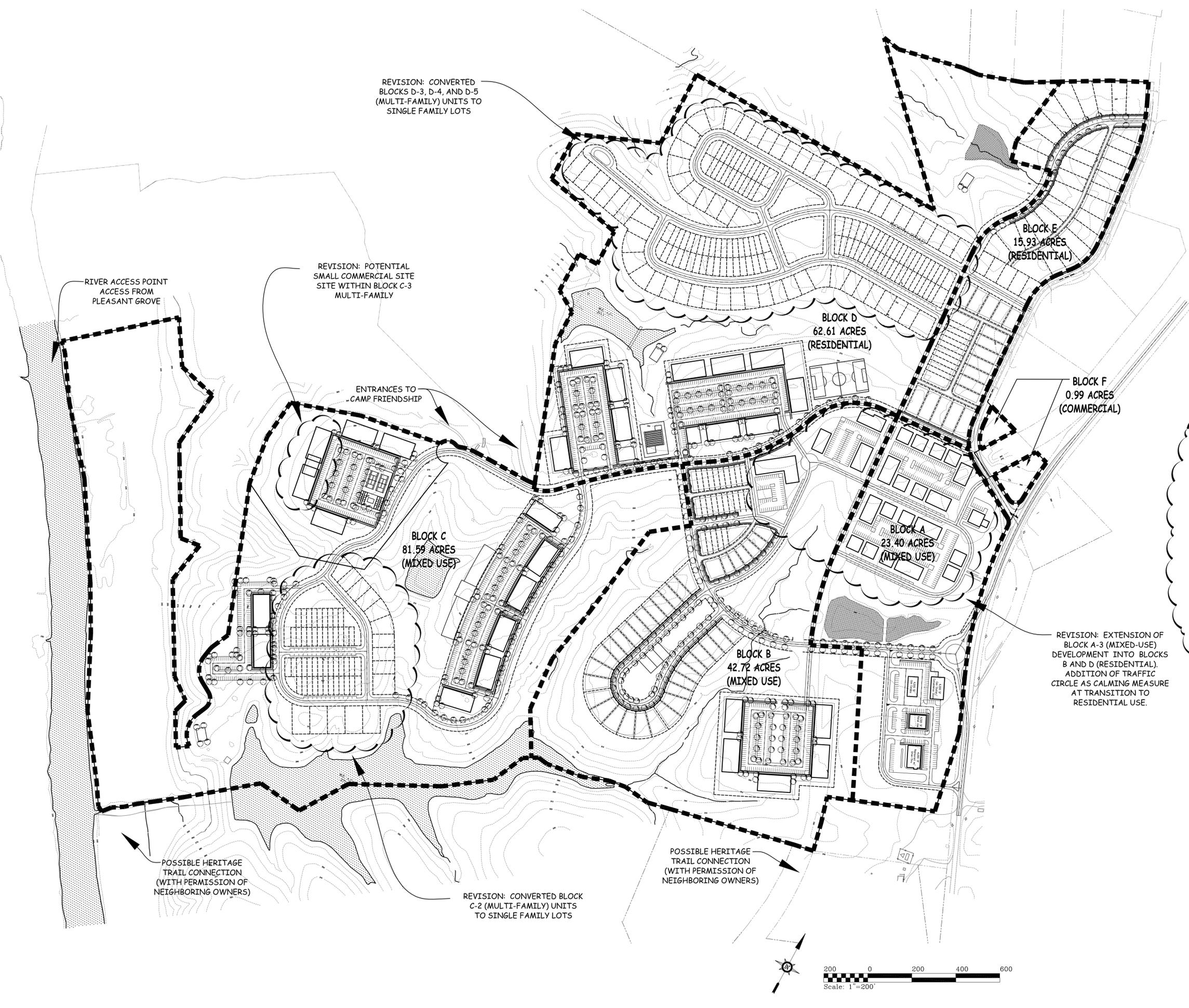
1. Walker's Ridge lies within the Palmyra regional WWTP jurisdiction area. All proposed development shall utilize the existing system. The system as constructed while handle initial development, and has room for expansion to accommodate the entire development as proposed.
2. Sewer shall be collected throughout the site and conveyed to a pump station adjacent to the river which will pump effluent to the public sewer line on U.S. Route 53.
3. Water for the development shall be provided by a central water system. If a public system is available to the site, new development shall connect. In the absence of a public system a private water treatment facility will be constructed. The developer shall be required to obtain all VDH/DEQ or other state and federal permits as required.

GRAPHIC LEGEND:

-  Wooded Areas
-  Existing Ponds/Lakes
-  Proposed Stormwater Management
-  Proposed Ponds
-  Streams

BLOCK	SFD	SFA	MF	COMMERCIAL
A			50	38000
			50	40000
				4000
				16500
B			144	
			30	20000
			25	15000
C	36	26		
			152	
	15	46	50	
D			100	20000
			120	
			168	
E	29	24		
	31	34		
		42		
F	37	12		
	17			
TOTAL	165	184	889	153500
TOTAL RESIDENTIAL UNITS:			1238	

REVISED TABLE SHOWING MIXTURE OF USES

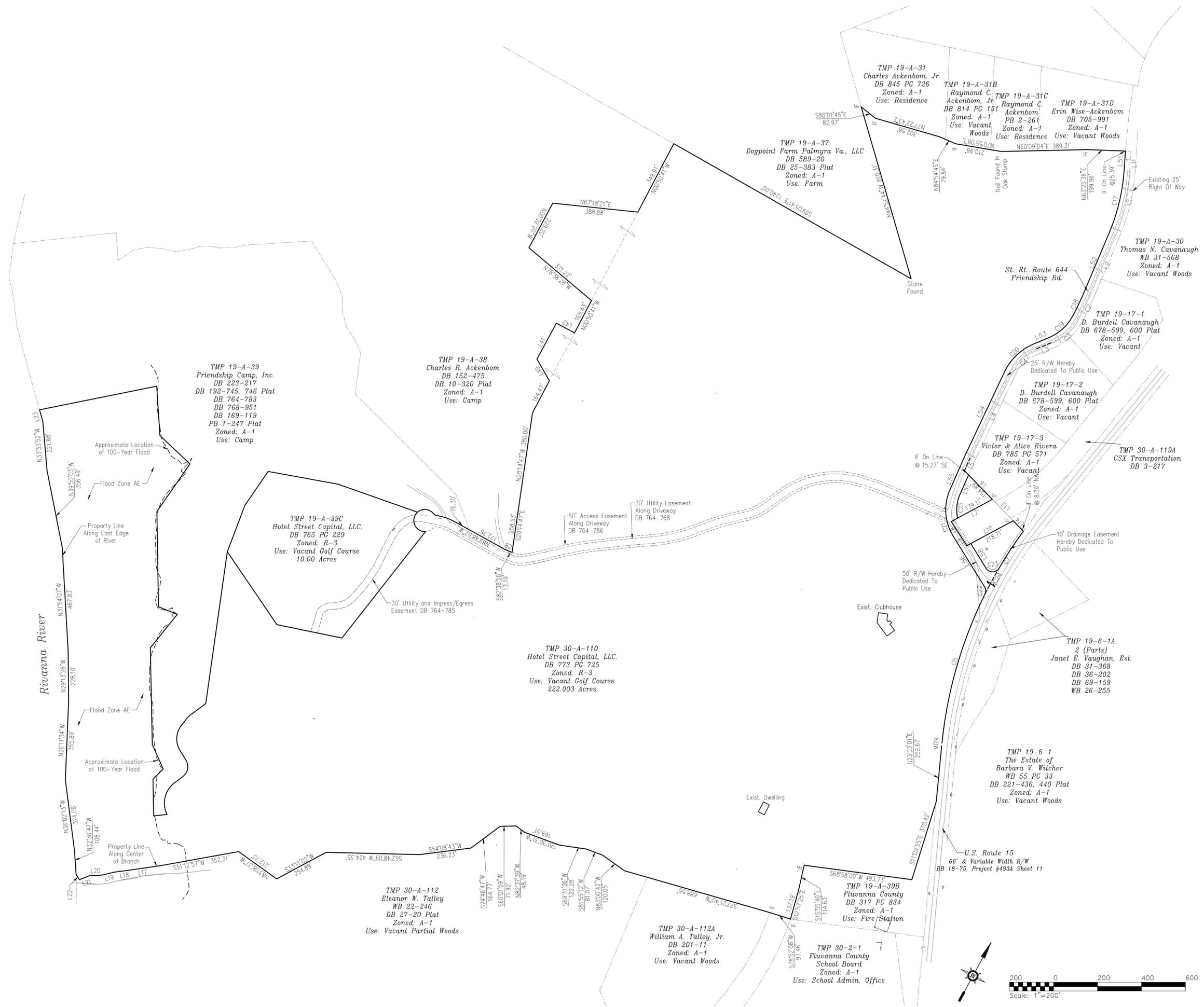


GENERAL DEVELOPMENT PLAN OVERVIEW

Rev. #	Date	Description

REZONING APPLICATION PLAN FOR:

WALKER'S RIDGE
 FLUVANNA COUNTY, VIRGINIA



Rivanna River

U.S. Route 15

St. Rt. Route 644
Friendship Rd.

TMP 19-A-39
Friendship Camp, Inc.
DB 223-217
DB 192-745, 746 Plat
DB 764-783
DB 768-951
DB 169-119
PB 1-247 Plat
Zoned: A-1
Use: Camp

TMP 19-A-38
Charles R. Ackenbom
DB 152-475
DB 10-320 Plat
Zoned: A-1
Use: Camp

TMP 19-A-39C
Hotel Street Capital, LLC.
DB 765 PC 229
Zoned: R-3
Use: Vacant Golf Course
10.00 Acres

TMP 30-A-110
Hotel Street Capital, LLC.
DB 773 PC 725
Zoned: R-3
Use: Vacant Golf Course
222.003 Acres

TMP 30-A-112
Eleanor W. Talley
WB 22-246
DB 27-20 Plat
Zoned: A-1
Use: Vacant Partial Woods

TMP 30-A-112A
William A. Talley, Jr.
DB 201-11
Zoned: A-1
Use: Vacant Woods

TMP 30-2-1
Fluvanna County
School Board
Zoned: A-1
Use: School Admin. Office

TMP 19-A-39B
Fluvanna County
DB 317 PC 834
Zoned: A-1
Use: Fire Station

TMP 19-6-1
The Estate of
Barbara V. Wicher
WB 55 PC 33
DB 221-436, 440 Plat
Zoned: A-1
Use: Vacant Woods

TMP 19-6-1A
2 (Parts)
Janet E. Vaughan, Est.
DB 31-368
DB 36-202
DB 69-159
WB 26-255

TMP 19-17-2
D. Burdell Cavanaugh
DB 678-599, 600 Plat
Zoned: A-1
Use: Vacant

TMP 19-17-3
Victor & Alice Rivera
DB 785 PC 571
Zoned: A-1
Use: Vacant

TMP 30-A-119A
CSX Transportation
DB 3-217

TMP 19-A-30
Thomas N. Cavanaugh
WB 31-568
Zoned: A-1
Use: Vacant Woods

TMP 19-A-31
Charles Ackenbom, Jr.
DB 845 PC 726
Zoned: A-1
Use: Residence

TMP 19-A-31B
Raymond C. Ackenbom, Jr.
DB 814 PC 151
Zoned: A-1
Use: Vacant Woods

TMP 19-A-31C
Raymond C. Ackenbom, Jr.
DB 705-991
Zoned: A-1
Use: Residence

TMP 19-A-31D
Erin Wise-Ackenbom
DB 2-261
Zoned: A-1
Use: Vacant Woods

TMP 19-A-37
Dogpoint Farm Palmyra Va., LLC
DB 589-20
DB 25-383 Plat
Zoned: A-1
Use: Farm

Approximate Location
of 100-Year Flood

Flood Zone AE

Property Line
Along East Edge
of River

Approximate Location
of 100-Year Flood

Property Line
Along Center
of Branch

30' Utility and Ingress/Egress
Easement DB 764-785

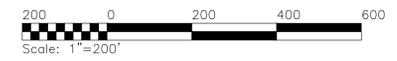
50' Access Easement
Along Driveway
DB 764-786

30' Utility Easement
Along Driveway
DB 764-768

50' R/W Hereby
Dedicated To
Public Use

10' Drainage Easement
Hereby Dedicated To
Public Use

U.S. Route 15
66' & Variable Width R/W
DB 18-75, Project #493A Sheet 11



SHIMP ENGINEERING, P.C.
ENGINEERING - LAND PLANNING - PROJECT MANAGEMENT
PHONE: (434) 207-8086
201 E. MAIN ST., SUITE M
CHARLOTTEVILLE, VA 22902
JUSTIN@SHIMP-ENGINEERING.COM

PARCEL OVERVIEW

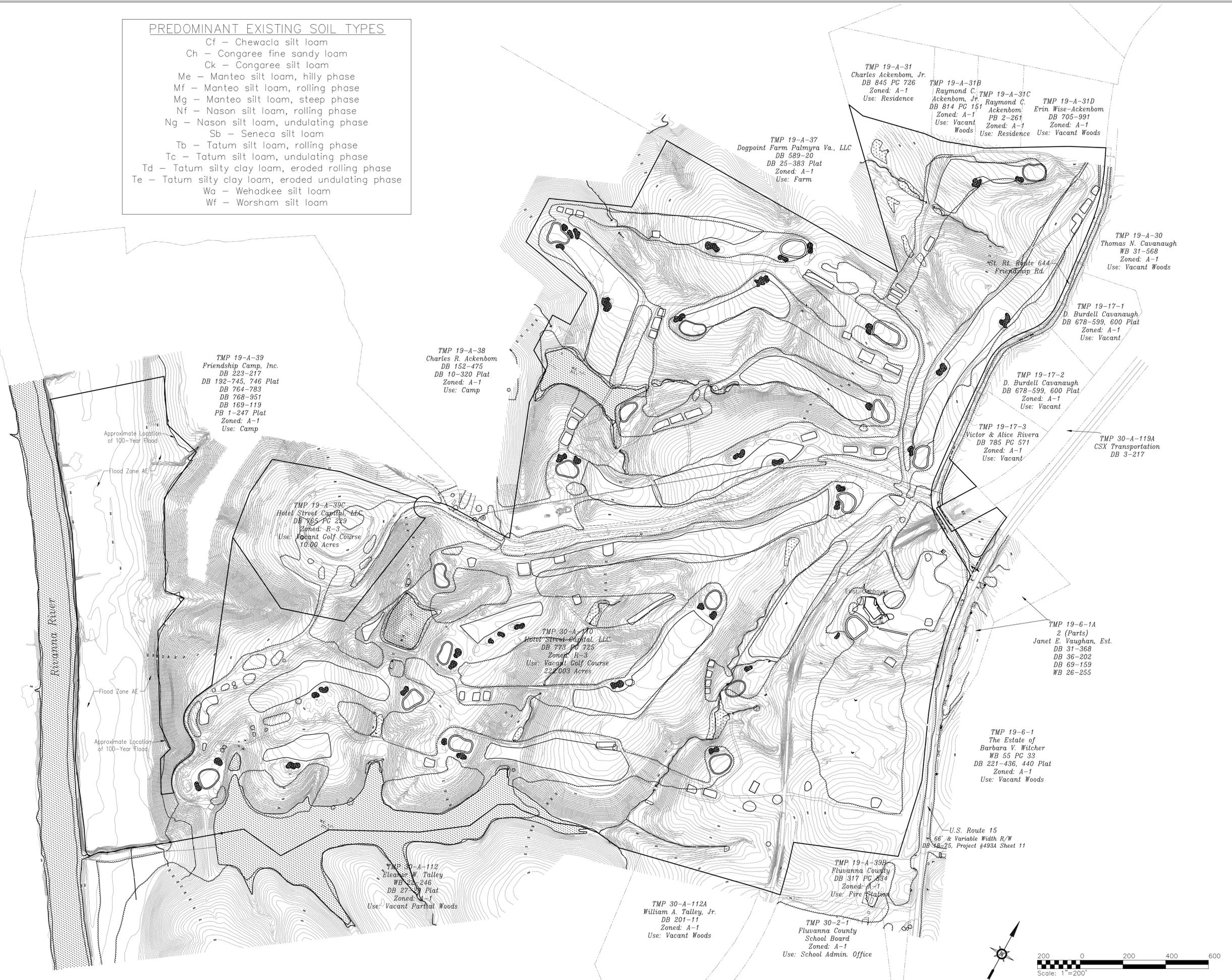
Rev. #	Date	Description

REZONING APPLICATION PLAN FOR:
WALKER'S RIDGE
FLUVANNA COUNTY, VIRGINIA

Date: 07/01/2012
Scale: 1"=200'
Sheet No. 2 OF 10
File No. 11.022

PREDOMINANT EXISTING SOIL TYPES

- Cf - Chewacla silt loam
- Ch - Congaree fine sandy loam
- Ck - Congaree silt loam
- Me - Manteo silt loam, hilly phase
- Mf - Manteo silt loam, rolling phase
- Mg - Manteo silt loam, steep phase
- Nf - Nason silt loam, rolling phase
- Ng - Nason silt loam, undulating phase
- Sb - Seneca silt loam
- Tb - Tatum silt loam, rolling phase
- Tc - Tatum silt loam, undulating phase
- Td - Tatum silty clay loam, eroded rolling phase
- Te - Tatum silty clay loam, eroded undulating phase
- Wa - Wehadkee silt loam
- Wf - Worsham silt loam



TMP 19-A-31
Charles Ackenbom, Jr.
DB 845 PC 726
Zoned: A-1
Use: Residence

TMP 19-A-31B
Raymond C. Ackenbom, Jr.
DB 814 PC 151
Zoned: A-1
Use: Vacant Woods

TMP 19-A-31C
Raymond C. Ackenbom
PB 2-261
Zoned: A-1
Use: Residence

TMP 19-A-31D
Erin Wise-Ackenbom
DB 705-391
Zoned: A-1
Use: Vacant Woods

TMP 19-A-37
Dogpoint Farm Palmyra Va., LLC
DB 589-20
DB 25-383 Plat
Zoned: A-1
Use: Farm

TMP 19-A-30
Thomas N. Cavanaugh
WB 31-568
Zoned: A-1
Use: Vacant Woods

TMP 19-17-1
D. Burdell Cavanaugh
DB 678-599, 600 Plat
Zoned: A-1
Use: Vacant

TMP 19-17-2
D. Burdell Cavanaugh
DB 678-599, 600 Plat
Zoned: A-1
Use: Vacant

TMP 19-17-3
Victor & Alice Rivera
DB 785 PC 571
Zoned: A-1
Use: Vacant

TMP 30-A-119A
CSX Transportation
DB 3-217

TMP 19-A-39
Friendship Camp, Inc.
DB 223-217
DB 192-745, 746 Plat
DB 764-783
DB 768-951
DB 169-119
PB 1-247 Plat
Zoned: A-1
Use: Camp

TMP 19-A-38
Charles R. Ackenbom
DB 152-475
DB 10-320 Plat
Zoned: A-1
Use: Camp

TMP 19-A-39C
Hotel Street Capital, LLC
DB 785 PC 229
Zoned: R-3
Use: Vacant Golf Course
10.00 Acres

TMP 30-A-110
Hotel Street Capital, LLC
DB 773 PC 725
Zoned: R-3
Use: Vacant Golf Course
22.003 Acres

TMP 19-6-1A
2 (Parts)
Janet E. Vaughan, Est.
DB 31-368
DB 36-202
DB 69-159
WB 26-255

TMP 19-6-1
The Estate of
Barbara V. Witcher
WB 55 PC 33
DB 221-436, 440 Plat
Zoned: A-1
Use: Vacant Woods

U.S. Route 15
66' & Variable Width R/W
DB 48-75, Project #493A Sheet 11

TMP 19-A-39B
Fluvanna County
DB 317 PC 434
Zoned: A-1
Use: Fire Station

TMP 30-A-112A
William A. Talley, Jr.
DB 201-11
Zoned: A-1
Use: Vacant Woods

TMP 30-2-1
Fluvanna County
School Board
Zoned: A-1
Use: School Admin. Office

TMP 19-A-112
Eleanor W. Talley
WB 20-246
DB 27-1 Plat
Zoned: A-1
Use: Vacant Partial Woods

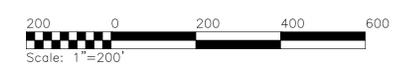
Approximate Location
of 100-Year Flood

Flood Zone AE

Flood Zone AE

Approximate Location
of 100-Year Flood

Pamunkey River



SHIMP ENGINEERING, P.C.
ENGINEERING - LAND PLANNING - PROJECT MANAGEMENT
PHONE: (434) 207-8086
201 E. MAIN ST., SUITE M
CHARLOTTEVILLE, VA 22902
JUSTINSHIMP-ENGINEERING.COM

EXISTING CONDITIONS

Rev. #	Date	Description

REZONING APPLICATION PLAN FOR:
WALKER'S RIDGE
FLUVANNA COUNTY, VIRGINIA

Date: 07/01/2012
Scale: 1" = 200'
Sheet No.: 3 OF 10
File No.: 11.022



WATER & SEWER NOTES:

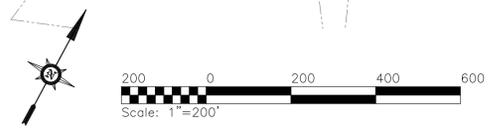
1. Walker's Ridge lies within the Palmyra regional WWTP jurisdiction area. All proposed development shall utilize the existing system. The system as constructed while handle initial development, and has room for expansion to accommodate the entire development as proposed.
2. Sewer shall be collected throughout the site and conveyed to a pump station adjacent to the river which will pump effluent to the public sewer line on U.S. Route 53.
3. Water for the development shall be provided by a central water system. If a public system is available to the site, new development shall connect. In the absence of a public system a private water treatment facility will be constructed. The developer shall be required to obtain all VDH/DEQ or other state and federal permits as required.

GRAPHIC LEGEND:

- Wooded Areas
- Existing Ponds/Lakes
- Proposed Stormwater Management
- Proposed Ponds
- Streams

PROPOSED DEVELOPMENT KEY

BLOCK	USE	PARKING	AMENITIES
A1	BANK & DRIVE-THRU 4 COMMERCIAL RETAIL PADS		TRAIL CONNECTIONS OPEN SPACE BUFFERS
A2	CONVENIENCE STORE W/ GAS RESTAURANT W/ DRIVE-THRU 1 COMMERCIAL PAD SITE		TRAIL CONNECTIONS OPEN SPACE BUFFERS
A3	2 STORIES COMMERCIAL RETAIL/OFFICE		TRAIL CONNECTIONS POND AND FOOTBRIDGE
B1	144 RESIDENTIAL CONDOMINIUMS	260 Spaces	TRAIL CONNECTIONS
B2	29 SINGLE FAMILY DETACHED LOTS	GARAGES	GARDENS AND GREENHOUSES
B3	29 TOWNHOME LOTS	GARAGES	PICNIC PAVILION
C1	152 RESIDENTIAL CONDOMINIUMS	275 Spaces	GARDENS AND GREENHOUSES
C2	200 RESIDENTIAL CONDOMINIUMS	360 Spaces	RIVER LOOP TRAIL
C3	144 RESIDENTIAL CONDOMINIUMS	260 Spaces	OVERLOOK PAVILION TENNIS AND BOCCIE
D1	120 RESIDENTIAL CONDOMINIUMS	220 Spaces	COMMUNITY BUILDING
D2	168 RESIDENTIAL CONDOMINIUMS	305 Spaces	TERRACED GARDENS AND POOL
D3	128 RESIDENTIAL CONDOMINIUMS	230 Spaces	FITNESS CENTER
D4	112 RESIDENTIAL CONDOMINIUMS	205 Spaces	PICNIC PAVILION
D5	112 RESIDENTIAL CONDOMINIUMS	205 Spaces	BALL FIELD (YOUTH) PICNIC PAVILION BALL FIELD (ADULT)
E1	33 SINGLE FAMILY DETACHED LOTS	GARAGE	
E2	14 TOWNHOME LOTS 19 SINGLE FAMILY DETACHED LOTS	GARAGE GARAGE	
F1	FUTURE COMMERCIAL		
F2	FUTURE COMMERCIAL		

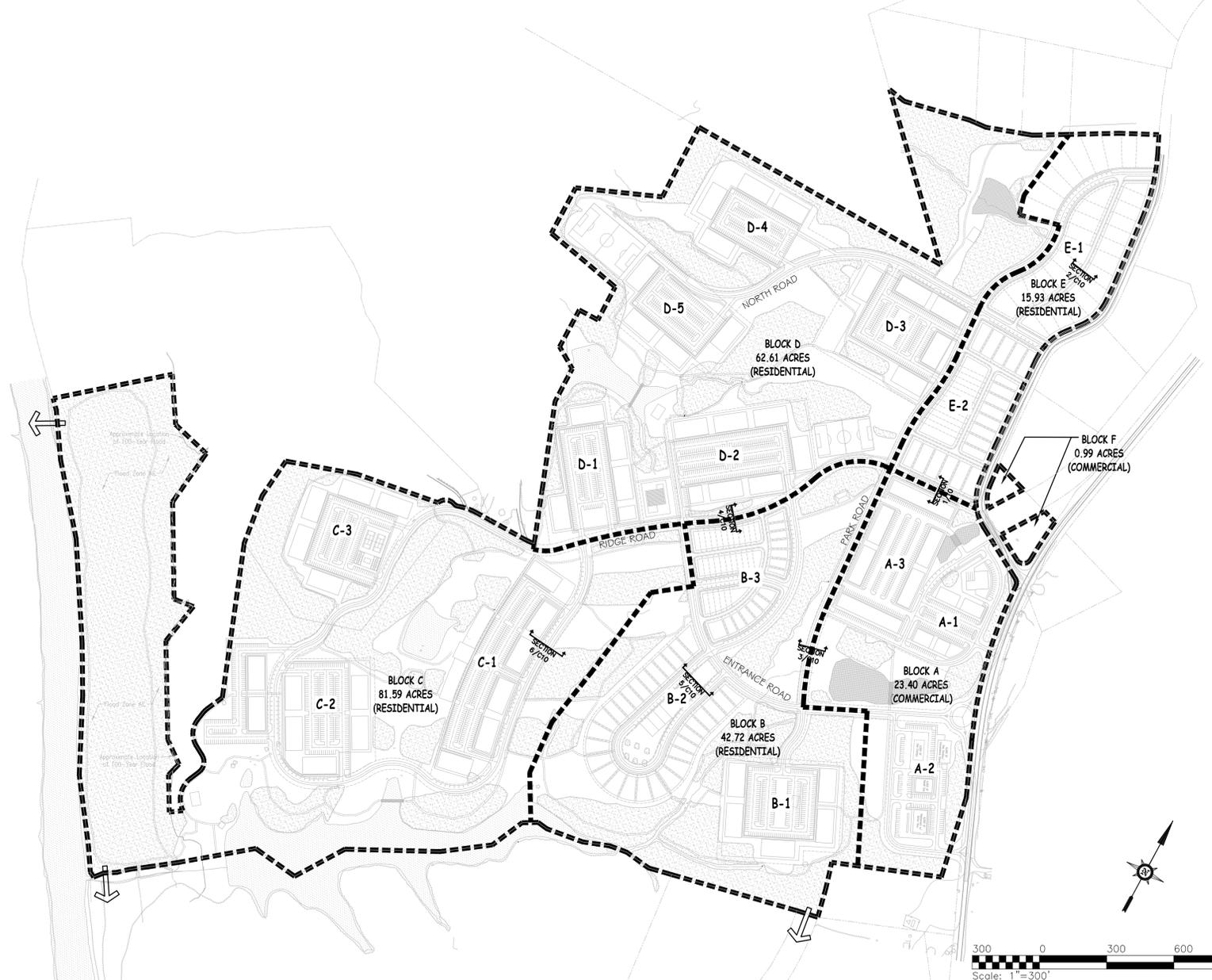


DEVELOPABLE AREA SUMMARY

BLOCK	ACREAGE	EXIST. R.O.W. # EASEMENTS	STREAM # WETLANDS BUFFERS	FLOODPLAIN	CRITICAL SLOPES	NET DEVELOPABLE AREA
BLOCK A	23.40	0.36	0.00	0.00	0.98	22.06
BLOCK B	42.72	0.71	3.75	0.00	3.99	34.27
BLOCK C	81.59	1.26	6.12	21.85	8.61	43.75
BLOCK D	62.61	1.19	2.51	0.00	3.65	55.26
BLOCK E	15.93	0.00	1.05	0.00	0.69	14.19
BLOCK F	0.99	0.00	0.00	0.00	0.00	0.99
TOTAL	227.24	3.52	13.43	21.85	17.92	170.52

PROPOSED BLOCK DEVELOPMENT SUMMARY

BLOCK	SUB BLOCK	ACREAGE (NET)	USE	MAXIMUM RESIDENTIAL DENSITY (per PUD Ordinance)			PROPOSED RESIDENTIAL DENSITY			PROPOSED COMMERCIAL DENSITY (SF)
				MULTI-FAMILY	TOWNHOMES	SINGLE-FAMILY DETACHED	MULTI-FAMILY	TOWNHOMES	SINGLE-FAMILY DETACHED	
BLOCK A		22.06	MIXED-USE	384	192	128	96			105,500
	A1									25,400
	A2									20,100
	A3						96			60,000
BLOCK B		34.27	RESIDENTIAL	596	298	199	144	43	29	
	B1							144		
	B2								29	
	B3							14	29	
BLOCK C		43.75	RESIDENTIAL	761	381	254	496			
	C1							152		
	C2							200		
	C3							144		
BLOCK D		55.26	RESIDENTIAL	962	481	321	640			
	D1							120		
	D2							168		
	D3							128		
	D4							112		
	D5							112		
BLOCK E		14.19	RESIDENTIAL	247	123	82		52	14	
	E1							33		
	E2							19	14	
BLOCK F		0.99	COMMERCIAL	17	9	6				NONE CURRENTLY PROPOSED
TOTAL		170.52		2967	1484	989	1376	95	43	105500



LAND USE SUMMARY		
USE	ACREAGE	PERCENTAGE OF TOTAL SITE
COMMERCIAL	12.90	5.7%
RESIDENTIAL	62.25	27.4%
OPEN SPACE	143.59	63.2%
ROAD DEDICATIONS	8.50	3.7%
TOTAL	227.24	100.0%

GENERAL NOTES:

- REFER TO CODE OF DEVELOPMENT ON SHEET 6 FOR DETAILS OF PERMITTED USES.
- MAXIMUM PROPOSED RESIDENTIAL DENSITY IS 1514 UNITS.
- THERE IS NO PROPOSED MAXIMUM COMMERCIAL SQUARE FOOTAGE.

SETBACKS:

- COMMERCIAL BUILDINGS AND PARKING SHALL BE SET BACK A MINIMUM OF 50 FEET FROM THE CURRENT STATE ROUTE 15 RIGHT-OF-WAY.
- COMMERCIAL BUILDINGS AND PARKING SHALL BE SET BACK A MINIMUM OF 10 FEET FROM INTERNAL ACCESS EASEMENTS AND RIGHTS-OF-WAY.
- RESIDENTIAL AND NON-COMMERCIAL BUILDINGS AND PARKING SHALL BE SET BACK A MINIMUM OF 30 FEET FROM STATE ROUTE 644 RIGHT-OF-WAY.
- RESIDENTIAL AND NON-COMMERCIAL BUILDINGS AND PARKING SHALL BE SET BACK A MINIMUM OF 5 FEET FROM INTERNAL AND PRIVATE ROAD EASEMENTS AND RIGHTS-OF-WAY.

LOT FRONTAGE:

- THE MINIMUM LOT FRONTAGE FOR COMMERCIAL USES SHALL BE 25 FT.
- THE MINIMUM LOT FRONTAGE FOR RESIDENTIAL USES SHALL BE 16 FT. ALL SINGLE FAMILY ATTACHED AND DETACHED UNITS SHALL HAVE FRONTAGE ON VEHICULAR STREETS OR EMERGENCY ACCESS.

YARD REGULATIONS:

- THE MINIMUM SIDE OR REAR YARD ADJOINING ANY RESIDENTIAL USE OUTSIDE OF THE PUD SHALL BE 30 FEET.
- THE MINIMUM SIDE OR REAR YARD FOR RESIDENTIAL STRUCTURES THAT DO NOT SHARE A COMMON WALL WITHIN THE PUD SHALL BE 5 FEET.

BUILDING HEIGHTS:

- THE MAXIMUM HEIGHT FOR COMMERCIAL BUILDINGS SHALL BE 50 FEET.
- THE MAXIMUM HEIGHT FOR ALL RESIDENTIAL BUILDINGS SHALL BE 60 FEET.

PARKING:

- OFF-STREET PARKING SHALL BE PROVIDED IN ACCORDANCE WITH THE OFF STREET LOADING AND PARKING REQUIREMENTS OF ARTICLE 26 OF THE ZONING ORDINANCE.
- INTERNAL ROAD ON-STREET PARKING SPACES SHALL BE SHARED BY NEARBY COMMERCIAL AND RESIDENTIAL USES AND EACH SPACE MAY BE COUNTED ONCE FOR REQUIRED OFF-STREET COMMERCIAL PARKING AND ONCE FOR REQUIRED OFF-STREET RESIDENTIAL PARKING.

SIGNAGE AND ARCHITECTURE:

- SEE CODE OF DEVELOPMENT ON SHEET 6 FOR SIGNAGE AND ARCHITECTURAL GUIDELINES. ADDITIONAL ARCHITECTURAL GUIDELINES CAN BE FOUND ON THE LATEST WALKER'S RIDGE PUD ARCHITECTURAL GUIDELINES (SUBMITTED AS A SEPARATE DOCUMENT).

BLOCK PLAN

Rev #	Date	Description

REZONING APPLICATION PLAN FOR:

WALKER'S RIDGE
FLUVANNA COUNTY, VIRGINIA

Date	07/01/2012
Scale	1" = 300'
Sheet No.	5 OF 10
File No.	11.022

WALKER'S RIDGE CODE OF DEVELOPMENT

Table of Contents

General Project Information	Sheets 1,2,3
Adjacent Owners and Uses	Sheet 3
General Development Plan	Sheet 4
Block Plan	Sheet 5
Land Use Summary	Sheet 5
Lot and Building Regulations	Sheet 5
Development Narrative	Sheet 6
Block Characteristics	Sheet 6
Green Spaces and Amenities	Sheet 6
Architectural and Landscape Standards	Sheet 6
Grading, Utilities, and Landscaping Layout	Sheets 7,8,9
Road Sections and Details	Sheet 10

Development Narrative:

The Walkers Ridge property is 232 acres, located in the Palmyra Community Planning Area between James Madison Highway (U.S. 15) and the Rivanna River. More specifically, the Planned Development is adjacent to the Palmyra Fire Station and across the river from the Pleasant Grove property. An existing home site and a golf course (closed) currently occupy the site. There is an existing entrance on State Route 644 (Friendship Road) and a proposed entrance on James Madison Highway. Approximately 75% (170 acres) of the property lies outside of: existing easements and rights-of-way, floodplain, critical slopes, wetlands, and stream buffers

The existing R-3 (Residential-Planned Development) zoning allows: an 18-hole course, A Resort with Restaurant / Meeting Area, Residential Condominiums, Single-Family Attached Residential Units, and a Commercial plaza. The Land Use Section (Chapter 2) of the 2009 Fluvanna County Comprehensive Plan proposes a residential density of 4-10 dwelling units per acre (DUA) (reference Figure LU-28 and Figure LU-21) for the Palmyra Planning Area ; and the PUD ordinance allows for 4-12 dwelling units per acre in the Palmyra Planning Area with bonus densities for affordable housing and open space provisions.

The Walkers Ridge application plan proposes a maximum of 1514 residential units (or 6.5 DUA) along with 105,500 SF of Commercial Space. The Application Plan also provides 63% Open Space and the Applicant will proffer provisions for affordable housing. The Commercial and Mixed-Use centers are relegated to Block A, which includes approximately 10% of the site acreage. The Commercial center is buffered by 50 feet of existing vegetation along James Madison Highway, and a 9-acre Open Space buffer with a pond and footbridge bisects the Commercial Centers and creates an entrance from the Highway.

A limited amount of Commercial uses in Block A are intended to accentuate the existing business in the Village of Palmyra and to attract business from the Route 15 Corridor. The predominant Commercial development proposed is neighborhood services and it is the intent of the Applicant to provide a place where residents can live, work, shop, eat, walk, ride, and play.

The focal point of the design for Walkers Ridge is the conversion of existing fairways and cart paths into a substantial neighborhood park, which is integrated with the new residential blocks. The majority of the residential units will have frontage on the park, providing a rural character to the development; while at the same time providing a generous access to miles of walking, running, and biking trails with interspersed amenities such as fitness, swimming, tennis, gardens, and picnic pavilions. There is also a potential connection from this development to the Fluvanna Heritage Trail, which would provide convenient walking and biking access to the Village of Palmyra and Pleasant Grove.

It is the Applicant's opinion that a golf resort is not a reasonable use of the property and the current R-3 Master Plan and the existing golf course has not been able to succeed in the Palmyra market. The proposed PUD Master Plan will replace the golf resort with a community park and provides a residential density that will sustain the park amenities and neighborhood services that will accompany the plan. It is anticipated that there will be a very large market for this unique style of development in Central Virginia and the Applicant will narrow that market by providing some proffers for affordable housing and by targeting the senior housing market in particular.

Landscaping shall consist of large shade trees lining the proposed streets and commercial frontages as well as within designated parking areas. Where needed, new evergreens will be incorporated into existing trees to assist with screening of parking areas from Route 15 as well as neighboring residences. Lastly, an overall feature of the proposed development shall be achieved through preservation of existing trees and fairways, contingent upon the design process for the proposed neighborhood park.

Block Characteristics:

Block A

Block A shall consist of commercial pad sites along James Madison Highway with a mixed-use block of taller buildings set back 400 feet from the highway. Except as shown on the General Development Plan, parking shall be relegated to the rear of the buildings. The abandoned railroad crossing will be used to create a pond and treat runoff from the buildings on the north side of Block A and a new pond will be integrated into the entrance landscaping to provide a natural appearance from Route 15. Block A-3 shall be designed to serve as a "central plaza" with street level shops and patios and office and residential space above.

Block B

Block B is 43 acres and shall consist of 3-4 housing types, including single family residences, townhomes, and condominiums. Block B-1 shall be visually screened from the entrance road with existing vegetation and shall include a potential future connection to the Rivanna Heritage Trail. Block B-2 shall include a passive recreation area, enclosed by single-family housing, along the ridge on the south side of the entrance road. Block B-3 shall provide single-family attached and/or detached housing in the form of two urban blocks with sidewalks and street trees in front of the homes.

Block C

Block C is 81 acres and shall consist of 3 pods of multi-family housing. Block C-1 and C-2 shall have 2-3 story buildings with parallel parking, sidewalks, street trees, and landscaped entrances along the Ridge Road with relegated parking. Block C-3 shall have parallel parking, a sidewalk, street trees, and tennis courts along Ridge Road with relegated parking and 2-3 story buildings around the perimeter of the parking area. Block C also shall include a trail and footbridge through the open space along the existing lake, a loop trail through the flood plain along the Rivanna River, and a picnic pavilion overlooking the River.

Block D

Block D is 63 acres and shall consist of 5 pods of multi-family housing. Pods D-1 and D-2 shall have parallel parking, sidewalks, street trees, and landscaped entrances along Ridge Road with a fitness center, community pool, lake and picnic pavilion located centrally to pods D-1, D-2, and D-5. A small rectangular playing field shall be located near the intersection of Park Road and Ridge Road and a large rectangular playing field shall be located at the end of North Road. Block D-3 shall have parallel parking, sidewalks, street trees, and landscaped entrances along both Park Road and North Road.

Block E

Block E shall consist of lower density single-family residences with single -family detached housing in Pod E-1 and primarily single-family detached housing in Block D-2. All housing that fronts on Ridge Road and Park Road shall have sidewalks, street trees, and landscaped entrances.

Open Space and Amenities:

The Open Space on the Application Plan represents 63% (143 acres) of the site and incorporates the existing flood plain, stream buffers, fairways, and cart paths. To the greatest extent possible, the Open Space shall be incorporated into a Neighborhood Park with trail connections to all residential and commercial development.

Amenities shall include: swimming pool, fitness center, community / meeting room, playing fields, picnic pavilions, gardens, tennis courts, and biking / hiking / walking trails. The amenities shall be interspersed throughout the development with access from the neighborhood park and the swimming / fitness / community facilities shall be centrally located.

Existing Features to be Preserved:

The existing clubhouse and single family residence will not be preserved. The golf course fairways and cart paths shall be preserved, to the greatest extent possible and incorporated into the neighborhood park plan. Trees along Route 15 shall be preserved and, where needed, additional plantings shall be provided, to create a 50 foot screening buffer of commercial parking areas. Existing trees shall be preserved, to the greatest extent possible, as shown on the Application Plan.

Architectural and Landscape Standards:

Form, Massing, and Proportion of structures

Building facades facing a street shall not extend for more than 100 feet without a change in plane. The minimum change in plane shall be 4 feet and the cumulative total length of the change in plane shall extend for no less than 15% of the length of the building façade.

Three and four story buildings shall have visual step backs above the second story.

Permitted Architectural Styles:

To encourage flexibility and diversity of architecture, no restrictions on architectural style are specified in this code of development. Architectural designs shall be reviewed by an architecture subcommittee of the neighborhood association for approval. Initially, the developer/owner will fulfill the role of the neighborhood association.

Permitted Building Materials:

- Exposed foundations shall be finished in stone, brick or stucco.
- Vinyl siding shall not be permitted on the first or second floor exteriors.
- Masonry, wood, and composites of wood are permitted on facades,
- Roofs shall be architectural dimensional shingles, tile, or metal.

7c c'fg'UbX: U, UXY'HfYUa Ybh

- All exterior wood finishes (except flooring) shall be painted,
- Earth-tone colors must be used for all exterior finishes (an earth-tone color palette will be submitted with the first request for a building permit for county approval),
- All building exteriors shall have a minimum of two colors; one color for siding and a separate color for trim.
- Windows shall be proportional to the building massing.
- For brick finishes, windows shall be headed, keystones are optional.
- Buildings with siding shall have trim boards (minimum 5/4 x 4 width).
- Shutters, when used, shall be one half the size of the adjacent window.
- Visibly discernible stories shall be achieved through the use of windows and/or building entries on each story, using varied building materials, special ground-floor design treatments, and other façade elements or other architectural details.

Roof Pitch and Design:

- Dormers shall match main roof in style and pitch
- Minimum roof pitch shall be 6:12, except for flat roof sections.
- The mass of the commercial buildings in Block A-3 as well as their respective roofs should be broken up in order to achieve an appropriate look for the mixed-use center. A minimum of 2 distinct roof elevations shall be incorporated to achieve this. In addition to steps in the roof elements, other elements should be incorporated such as: balconies, chimneys, dormers, and clerestories.
- For Blocks B, C, D: Dormers, bays, or chimneys shall be incorporated into building design. Front entrances shall be covered and entrance roof designs shall vary.
- For Block E: Dormers, bays, or chimneys shall be incorporated into each building. Front entrances shall be covered and roof designs shall vary. Garage doors should be decorative and screened with landscaping and trim from adjacent streets.

Architectural Review Committee:

The Walkers Ridge Architectural Review Committee shall approve detailed architectural standards based on the Code of Development prior to building permit application to Fluvanna County. Prior to the recordation of the covenants and restrictions for Walker's Ridge, they shall be submitted to the Director of Planning for review to ensure compliance with the Code of Development. The developer shall establish the Walker's Ridge Architectural Review Committee prior to the issuance of the first building permit in order to enforce the Code of Development's architectural and landscape standards set forth herein. A certificate of approval from the Walker's Ridge Architectural Review Committee must be submitted at the time of building permit application.

Landscape Treatment:

Street Trees (minimum 2" diameter) shall be provided along the urban frontage (where curb, gutter, landscape strips, sidewalks, and buildings are shown) of all streets. Minimum spacing for street trees shall be 50 feet. Large shade trees shall be provided for each each parking lot. A minimum of one large shade tree shall be provided for every 10 spaces and additional screening shall be provided to limit visibility of parking lots from adjoining streets. A minimum of four benches and eight large shade trees shall be provided for Block B, Block C, and Block D. Additional ornamental landscaping and shade trees shall be provided for: picnic pavilions, fitness center, community building, and pool.

Table of Uses by Block					
	Block				
Residential Uses	A	B	C	D	E
Dwellings, accessory		P			P
Dwellings, multi-family	P	P	P	P	
Dwellings, single-family attached		P			P
Dwellings, single-family detached		P			P
Dwellings, townhouse		P			P
Dwellings, two-family		P			P
Group homes	P	P	P	P	P
Residential Accessory Uses					
Accessory Apartment		P			P
Accessory Buildings and Uses including Storage Buildings	P	P	P	P	P
	Block				
Miscellaneous Uses	A	B	C	D	E
Electric, gas, oil and communication facilities, excluding tower structures, owned and operated by a public utility	P	P	P	P	P
Public Uses and Buildings	P	P	P	P	P
Outdoor Recreation Facilities		P	P	P	
Greenhouses, non-commercial		P	P	P	
Community Farms		SP	SP	SP	
	Block				
Commercial Uses	A	B	C	D	E
Administrative, Professional Offices	P				
Financial Institutions	P				
Medical Offices	P				
Home Occupation		SP	SP	SP	SP
Retail Store, Neighborhood Convenience	P				
Retail Store, Specialty	P				
Eating Establishments	P			SP	
Drive-thru windows	SP				
Outdoor storage, display and/or sales	SP				
Sporting Goods	P				
Indoor Athletic Facilities	P				
Health Spas	P			SP	
Florists	P				
Musical Instruments	P				
Newsstands, magazines, pipe and tobacco shops	P				
Retail nurseries and greenhouses	P				
Adult Retirement Communities	SP	SP	SP	SP	
Assisted Living Facilities	SP	SP	SP	SP	

SHIMP ENGINEERING, P.C.
 ENGINEERING - LAND PLANNING - PROJECT MANAGEMENT
 PHONE: (434) 207-8086
 201 E. MAIN ST., SUITE M
 CHARLOTTEVILLE, VA 22902
 JUSTINSHIMP-ENGINEERING.COM

CODE OF DEVELOPMENT

REZONING APPLICATION PLAN FOR:
WALKER'S RIDGE
 FLUVANNA COUNTY, VIRGINIA

Date	07/01/2012
Scale	N/A
Sheet No.	6 OF 10
File No.	11.022



SHEET KEY - SCALE: 1"=1,500'



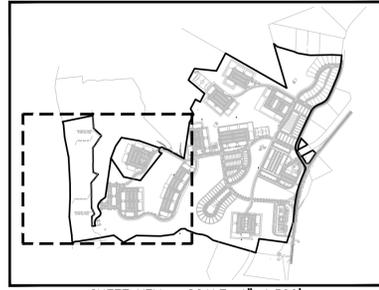
SHIMP ENGINEERING, P.C.
 ENGINEERING - LAND PLANNING - PROJECT MANAGEMENT
 201 E. MAIN ST., SUITE M
 CHARLOTTEVILLE, VA 22902
 PHONE: (434) 207-8086
 JUSTIN@SHIMP-ENGINEERING.COM

GENERAL DEVELOPMENT PLAN

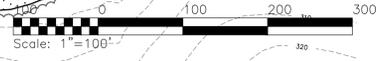
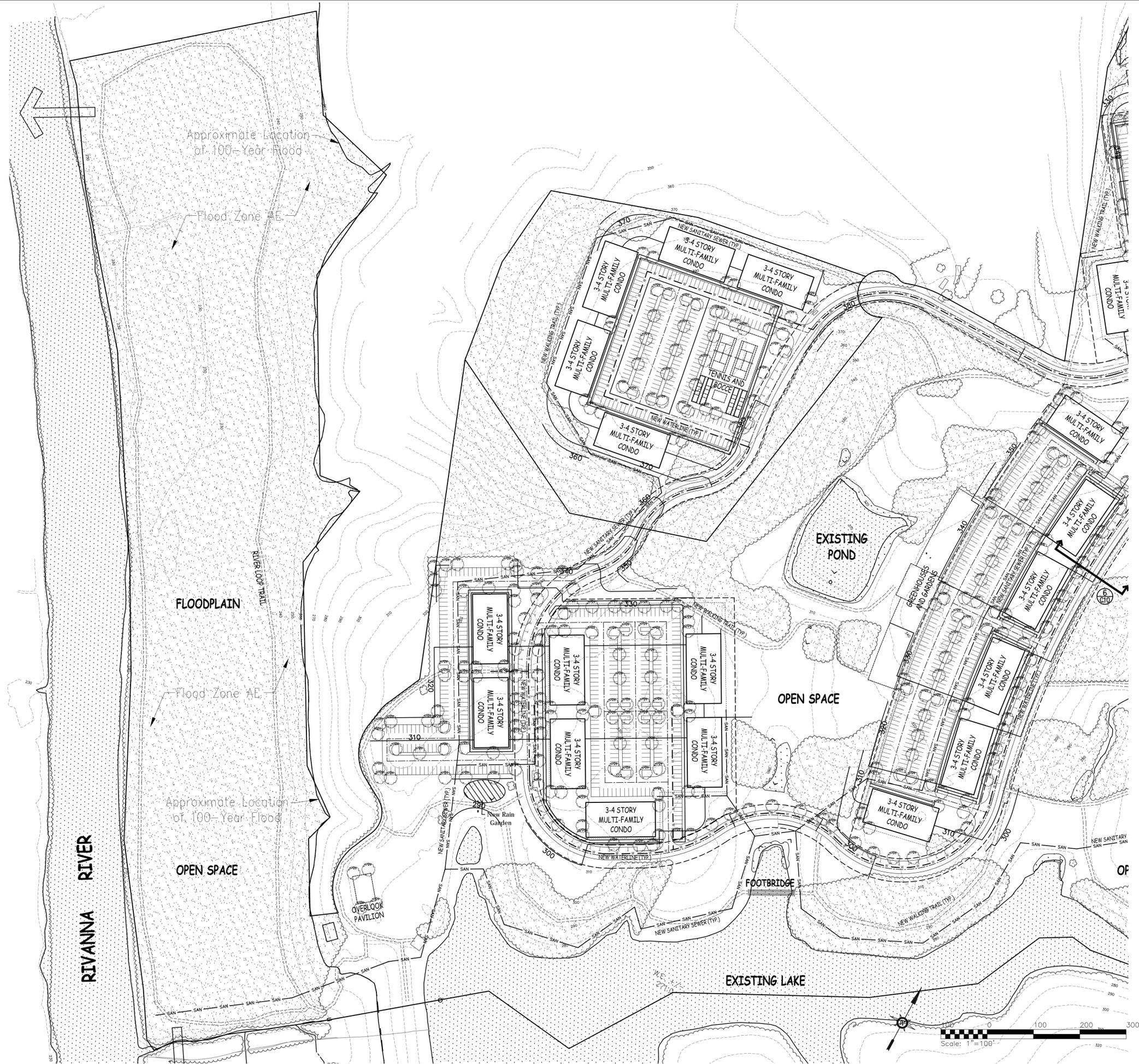
Rev. #	Date	Description

REZONING APPLICATION PLAN FOR:
WALKER'S RIDGE
 FLUVANNA COUNTY, VIRGINIA

Date: 07/01/2012
 Scale: 1"=100'
 Sheet No. 8 OF 10
 File No. 11.022



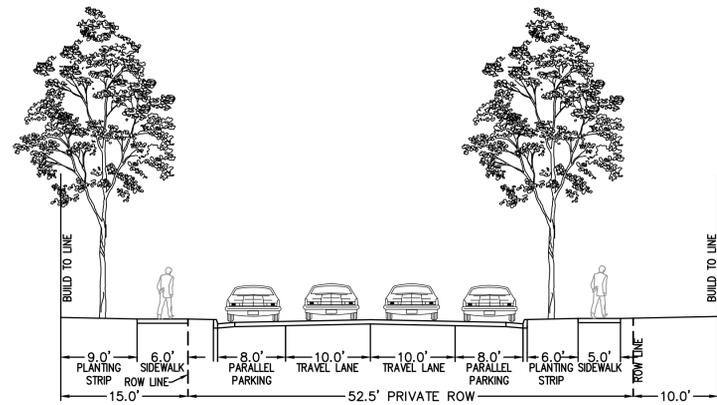
SHEET KEY - SCALE: 1"=1,500'



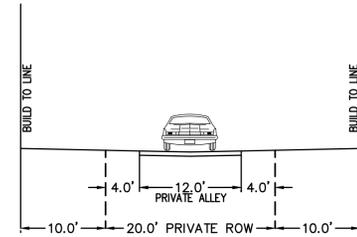
GENERAL DEVELOPMENT PLAN

Rev. #	Date	Description

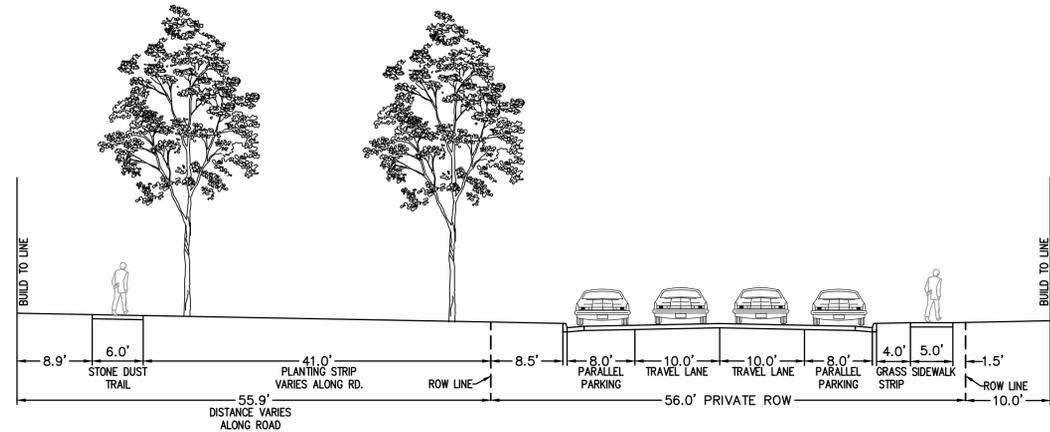
REZONING APPLICATION PLAN FOR:
WALKER'S RIDGE
 FLUVANNA COUNTY, VIRGINIA



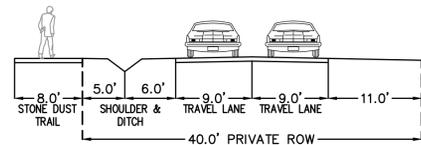
1 ROAD CROSS SECTION DETAIL
C10 SCALE: 1"=10'



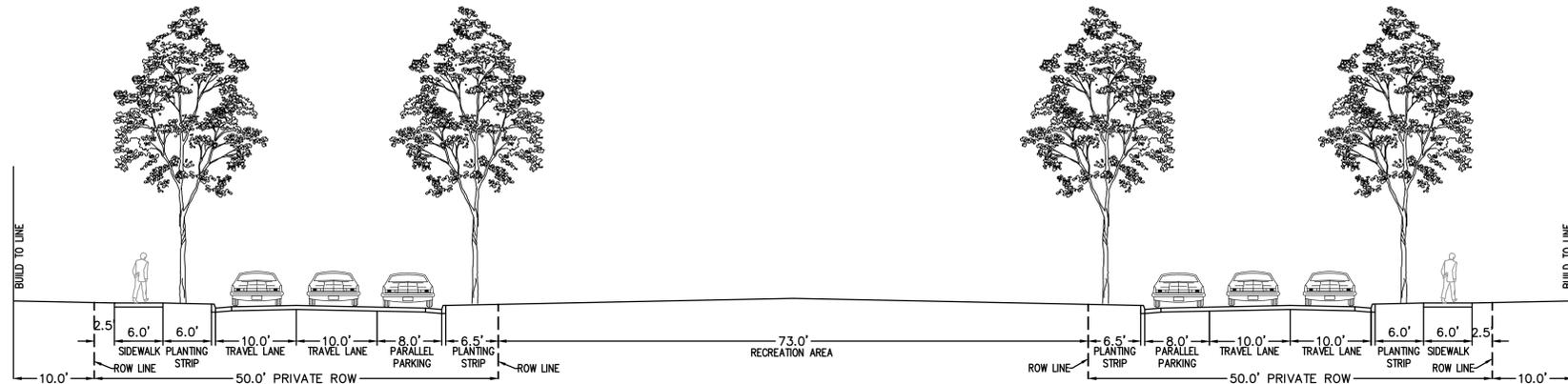
2 ALLEY CROSS SECTION DETAIL
C10 SCALE: 1"=10'



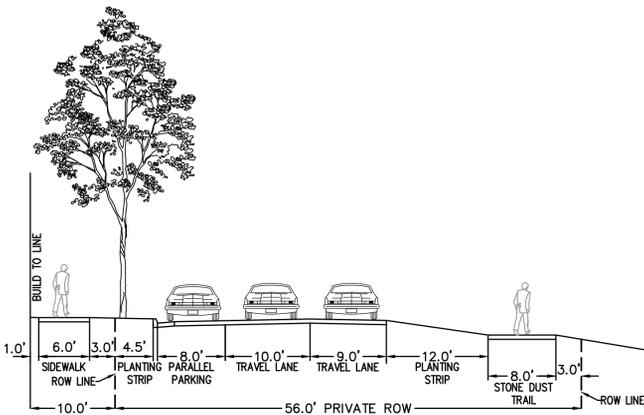
4 ROAD CROSS SECTION DETAIL
C10 SCALE: 1"=10'



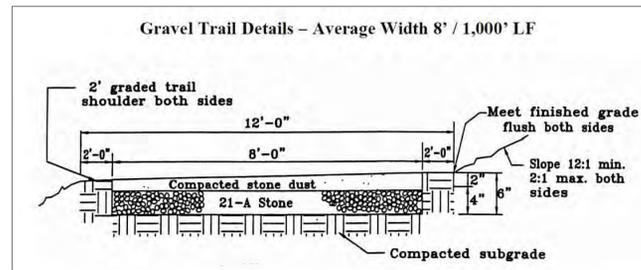
3 ROAD CROSS SECTION DETAIL
C10 SCALE: 1"=10'



5 ROAD CROSS SECTION DETAIL
C10 SCALE: 1"=10'



6 ROAD CROSS SECTION DETAIL
C10 SCALE: 1"=10'



7 TYPICAL STONE DUST TRAIL DETAIL
C10 SCALE: 1"=10'

Road Design Guidelines

Road Type	Design Speed	Min. Horizontal Radius	Maximum Grade	Notes
Primary Connecting Roadway (No On-Street Parking)	35 MPH	150 FT	14 %	Entry Road, Access to Block C, D and Camp Friendship
Primary Connecting Roadway (With On-Street Parking)	25 MPH	110 FT	10 %	Entry Road, Access to Block C, D and Camp Friendship
Subdivision Access Road (TH or SFD) (No On Street Parking)	25 MPH	110 FT	16%	Access to residential area, Blocks B2, B3, E1, E2
Subdivision Access Road (TH or SFD) (With On Street Parking)	20 MPH	110 FT	10 %	Access to residential area, Blocks B2, B3, E1, E2
Internal Access Road within Multifamily or Commercial Development	100' Sight Distance	N/A	12%	Urban roads within parking and multifamily developments
Alleys	100' Sight Distance	N/A	16 %	Private Alleys at the rear of SFD and Townhomes

SITE DETAILS

Rev #	Date	Description

REZONING APPLICATION PLAN FOR:

WALKER'S RIDGE
ALBEMARLE COUNTY, VIRGINIA

Walkers Ridge

at Palmyra

ATTACHMENT C



THE GAINES GROUP, PLC
ARCHITECTURE | DESIGN | CONSULTING



House Type 1

Walkers Ridge

at Palmyra



THE GAINES GROUP, PLC
ARCHITECTURE | DESIGN | CONSULTING



House Type 2

Based on:
+ Various Palmyra house types

Walkers Ridge

at Palmyra



THE GAINES GROUP, PLC
ARCHITECTURE | DESIGN | CONSULTING



House Type 3

Based on:
+ Various Palmyra house types

Walkers Ridge

at Palmyra



THE GAINES GROUP, PLC
ARCHITECTURE | DESIGN | CONSULTING



House Type 4

Based on:
+ Various Palmyra house types

Walkers Ridge

at Palmyra



THE GAINES GROUP, PLC
ARCHITECTURE | DESIGN | CONSULTING



Condos

Based on:
+ Mills found in Palmyra
+ Various Palmyra house types

Walkers Ridge

at Palmyra



THE GAINES GROUP, PLC
ARCHITECTURE | DESIGN | CONSULTING



Townhomes

Based on:
+ Various Palmyra house types

Walkers Ridge

at Palmyra



THE GAINES GROUP, PLC
ARCHITECTURE | DESIGN | CONSULTING



Office A



Based on:
+ Palmyra Courthouse

Walkers Ridge

at Palmyra



THE GAINES GROUP, PLC
ARCHITECTURE | DESIGN | CONSULTING



Office B

Based on:
+ Palmyra Courthouse

Walkers Ridge

at Palmyra



THE GAINES GROUP, PLC
ARCHITECTURE | DESIGN | CONSULTING



Retail

Based on:
+ Palmyra Courthouse

Walkers Ridge

at Palmyra



THE GAINES GROUP, PLC
ARCHITECTURE | DESIGN | CONSULTING



Bank

Based on:
+ Palmyra Courthouse

Walkers Ridge at Palmyra



THE GAINES GROUP, PLC
ARCHITECTURE | DESIGN | CONSULTING



Gas Station/Cafe

Based on:
+ Mills found in Palmyra
+ Various Palmyra store types



View of Bank, Looking Southwest



View from Roundabout, Looking Northwest



View from Roundabout, Looking Southwest



View of Drive-Through Restaurant, Looking North



View of Block B Apartments, Looking South



View of Offices across Lake, Looking Northeast



View of Offices from Park Road, Looking Northeast



View of Townhouses from Park Road, Looking Northeast



View of Single-Family Homes, Looking Northeas



View of Single Family Homes, Looking East



View of Offices and Single-Family Homes , Looking Northwest



July 31st, 2012

Fluvanna County Planning Commission
 Fluvanna County Department of Planning
 P.O. Box 540
 Palmyra, Virginia 22963

**Regarding: Walker's Ridge PUD Residential Density Justification
 Fluvanna County Tax Map 19 Parcel A-39C and Tax Map 30 Parcel A-110**

Chairman Gaines and Members of the Fluvanna County Planning Commission,

We are pleased to submit for your review the Walker's Ridge Zoning Map Amendment Application. The Application is requesting an increase in residential density to allow for a maximum of 1,514 residential units on 230 acres lying entirely within the Palmyra Community Planning Area resulting in a maximum gross density of 6.58 residential units per acre. Along with the residential density, the Application Plan proposes 63 % or 145 acres of open space on the site. Please consider the following information, taken from the Fluvanna County GIS mapping and from the Fluvanna County Comprehensive Plan, as justification for the requested residential density.

Existing Residential Zoning Patterns in Community Planning Areas:
 (Taken from Fluvanna County GIS mapping):

Community Planning Area	A-1	R-1	R-2	R-3	R-4	PUD
Zion Crossroads	>99%	<1%				
Scottsville	100%					
Rivanna	+/-35%	<1%		<3%	+/-60%	
Palmyra	+/-90%			+/-10%		
Fork Union	+/-90%	+/-10%	<1%			
Columbia	100%					

From the above table, the primary existing zoning district within the community planning areas is A-1, which permits a gross density of 0.5 residential units per acre. The exception to this rule would be the Rivanna Community Planning Area, where the primary existing zoning district is R-4 (Lake Monticello). However, as Lake Monticello is substantially built-out, the primary available zoning for new residential units in the Rivanna District is A-1. The result is that existing zoning in the six Community Planning Areas do not provide an incentive for residential development outside of rural preservation and rural residential planning areas, where land is often more plentiful and less expensive to develop.

Current Trends in Residential Development:

The following is an analysis of residential activity between 2000 and 2007 (data is taken from The Housing Chapter of the Fluvanna County Comprehensive Plan *Figure H-5, 2000–2007 Residential Activity—Subdivisions: Planning Area*):

2000-2007 Percentage of Residential Activity per Planning Areas

Year	Community Planning Area	Primary Residential Planning Area	Rural Planning Areas
2000	34%	23%	43%
2001	15%	48%	37%
2002	13%	33%	54%
2003	18%	11%	71%
2004	16%	15%	69%
2005	24%	11%	65%
2006	5%	6%	89%
2007	13%	3%	84%

The above chart shows that the rural planning areas, which make up 80% of Fluvanna County acreage, have accommodated and increase in residential growth since the absorption of R-4 lots was completed in 2001. It should be noted here that “Guidelines for growth in the four planning areas recommended that the community and primary residential planning areas absorb 70 percent of Fluvanna’s growth, while rural residential and rural preservation areas provide for the remaining 30 percent.”

Following population projections (below, taken from Land Use Chapter of Fluvanna County Comprehensive Plan) and incorporating 2010 Fluvanna County census data, 3,280 new residential units are needed to accommodate projected growth through 2020. Incorporating the current trends of A-1 zoning, this growth will require over 6,000 acres of land, scattered throughout Fluvanna County, resulting in substantial increases in the cost of County services to reach these residents.

Fluvanna County Population Projections

Year	Population
2030	47,010
2020	37,433
2010	28,971

Source: Virginia Employment Commission

Figure LU-5, Population Projections

Recommendations to Reverse Current Trends in Residential Growth:

From the Land Use Chapter of the Fluvanna County Comprehensive Plan, "...growth pressures have been handled through the concept of sustainable and well-planned community planning areas that house over 70 percent of all new development. Less than a quarter of the county is carefully identified for growth within a community planning area..." Unfortunately, the table on the previous page shows that over 80% of new development is occurring outside of community planning areas. A substantial tool is provided in the Comprehensive Plan to reverse this trend. Figure LU-28 provides recommended "Community Elements" for each designated planning area in Fluvanna County and Figure LU-21 provides recommendations for design of each of these Community Elements.

Community Element	Community Planning Area	Urban Development Area	Recommended Residential Density
Regional mixed use	Zion Crossroads	Zion Crossroads	10-15 DUA
Regional employment			10-15 DUA
Neighborhood mixed use	Columbia, Fork Union, Palmyra, Rivanna (Lake Monticello), Scottsville, Zion Crossroads	Zion Crossroads	8-10 DUA
Neighborhood residential	Columbia, Fork Union, Palmyra, Rivanna, Scottsville, Zion Crossroads		4-8 DUA
Village	Columbia, Fork Union, Palmyra, Scottsville		4-6 DUA
Rural cluster	Rural residential, Rural preservation		2-6 DUA (net)
Rural preservation	Rural preservation		0.5-0.1 DUA

Figure LU-28, Land-Use Relationships

note: Recommended residential densities are from Figure LU-21

An additional resource was provided in 2009 when the Planned Unit Development (PUD) ordinance was ratified to provide "to promote the efficient use of land by allowing flexibility in design standards and variety in densities and land uses to preserve the rural areas of the county..." The PUD District "...is intended to be applied to privately initiated zoning map amendments for land located within the County's Community Planning Areas (CPAs) and the designated Zion Crossroads Urban Development Area (UDA)." The PUD ordinance further delineates recommended residential densities for the community planning areas as follows:

PUD District Density Regulations									
Community Planning Area	Minimum & Maximum Density								
	Dwelling Units per acre for Residential - Floor Area Ratio for Commercial								
	Single Family		Townhouses		Multi-family		Commercial		
	min.	max.	min.	max.	min.	max	min.	max	
Zion Crossroads Community Planning Area		6		9		16			
Zion Crossroads Urban Development Area	4	6	6	9	12	16	0.4		
Rivanna Community Planning Area		4		6		12			
Palmyra Community Planning Area		4		6		12			
Fork Union Community Planning Area		4		6		12			
Columbia Community Planning Area		4		6		12			
Scottsville Community Planning Area		4		6		12			
		Table 1: PUD Density Regulations							

Provisions for open space and affordable housing allow an increase of density from 35-50%.

The requested density for the Walker's Ridge PUD is 6.58 dwelling units per acre. This falls well within the 4-10 units per acre recommended in the Fluvanna County Comprehensive Plan and the 5-17 units per acre permitted (with bonus provisions) in the Fluvanna County PUD Ordinance.

Providing residential density within the Palmyra Community Planning Area will serve many goals, including:

- 1) reduce the incentive to develop the rural areas of Fluvanna County,
- 2) reduce the cost of services required to reach new residential development in the County,
- 3) reduce the absorption of natural resources within the County,
- 4) reduce the impact of additional traffic on secondary roads in the County,
- 5) provide additional revenue for existing central utilities within the Planning Area, and
- 6) promote and support new and existing commercial and civic uses in the Palmyra Community Planning Area.

If you have any questions please feel free to contact me via email at justin@shimp-engineering.com or by telephone at 434-953-6116.

Sincerely,

Justin Shimp, P.E.



COUNTY OF FLUVANNA

"Responsive & Responsible Government"

P.O. Box 540
Palmyra, VA 22963
(434) 591-1910
FAX (434) 591-1911
www.co.fluvanna.va.us

MEMORANDUM

Date: August 1, 2012
From: Andrew J. Pompei, Planner
To: Fluvanna County Planning Commission
Re: Landscaping-Related Businesses & Fluvanna County Plant List

Although the definitions for landscaping-related businesses and the proposed plant list were advertised for discussion at the work session on August 8, those issues have been rescheduled until the regular meeting on August 22, 2012. Further input is being gathered from community members.

1. BACKGROUND: LANDSCAPING-RELATED BUSINESSES

In recent years, several landscaping-related businesses have moved to Fluvanna County. There is not an existing definition within the zoning ordinance that adequately describes the activities taking place at these operations. These businesses have been categorized as "commercial greenhouses," but they often involve the stockpiling and distribution of bulk landscaping materials, as well as the operation of heavy equipment.

The proposed definitions would *apply to new landscaping-related businesses or existing landscaping-related businesses moving to a new location.*

2. BACKGROUND: PLANT LIST

The Planning Commission and the Board of Supervisors are currently considering changes to Fluvanna County's landscaping regulations. As part of these changes, the Planning Department has been creating a new plant list, which:

- Includes a variety of native species;
- Is comparable with neighboring localities; and
- Includes species that are appropriate for Fluvanna County's unique climate, soils, and hydrology.

The Planning Department has already received input from local Master Gardeners, a landscape architect, and a local forester.

ADDITIONAL PUBLIC INPUT

The proposed definitions and plant list have been distributed to landscaping-related businesses throughout Fluvanna County. The Planning Department is awaiting input from these businesses.

ATTACHMENTS

- A: Proposed Definitions
B: Proposed Plant List

Landscaping Businesses Possible Definitions

Existing Definitions within Zoning Ordinance

Greenhouse, Commercial: A ~~greenhouse operation~~ facility employing a glass, plastic, or similar enclosure for the cultivation of plants, in which plants ~~and other related products~~ are offered for sale to the public, either at wholesale or at retail. Supplemental items used in planting and landscaping, such as mulch, topsoil, plant containers, yard ornaments, hand tools, and the like, may be sold on-site as secondary or incidental items. Such a use is not characterized by frequent heavy equipment operation, other than the occasional delivery or shipment of product.

(Permitted By-Right in B-1, B-C, PUD; Special Use Permit in A-1).

Greenhouse, Non-Commercial: A ~~greenhouse operation~~ facility employing a glass, plastic, or similar enclosure for the cultivation of plants, in which no product is offered for sale to the public.

(Permitted By-Right in A-1, R-1, R-2, R-3, R-4, PUD)

Nursery: A place where plants are grown commercially, either for retail or wholesale distribution. *Plants cultivated on-site may be offered for sale to the general public.* See *Farm sales* use.

Farm Sales: The sale of agricultural produce or merchandise produced primarily by the resident operator on his farm.

(Permitted By-Right in A-1; Special Use Permit in R-1, R-2)

Proposed Definitions

Garden Center: A retail business in which plants, which may or may not be cultivated on-site, are offered for sale to the general public. Supplemental items used in planting and landscaping, such as pre-packaged mulch, pre-packaged topsoil, plant containers, yard ornaments, hand tools, and the like, may be sold on-site as secondary or incidental items. Such a use is not characterized by frequent heavy equipment operation, other than the occasional delivery or shipment of product.

(Permitted By-Right in B-1, B-C, PUD; Special Use Permit in A-1).

Landscaping Materials Supply: A business used primarily for the bulk storage and sale of landscaping supplies, such as soil, gravel, potting mix, mulch, sand, stone, and the like, either wholesale or at retail, necessitating the frequent use of heavy equipment. Plants and supplemental items used in planting and landscaping, such as plant containers, yard ornaments, hand tools, and the like, may be sold on-site as secondary or incidental items.

(Permitted By-Right in I-1; Special Use Permit in A-1, B-1, B-C).

Possible Plant List for Fluvanna County

Fluvanna County Plant List (Proposed)
 Species Native to the Virginia Piedmont

Scientific Name	Common Name	Flower Color	Bloom Time	Soil	Light	Plant Height	Plant Width	Suitable for Bioretention Areas	Notes
Large Shade Trees (Height: 40' +)									
Acer rubrum	Red Maple	Red	Spring	D – M	SU – PS	50' – 75'	30' – 45'	Yes	Shallow Root System High Wildlife Value
Acer saccharum	Sugar Maple	Yellow	Early Spring	M, WD	SU – PS	50' – 75'	30' – 40'	No	Does Not Do Well in a Restricted Root Zone Situation
Aesculus flava	Yellow Buckeye	Yellow	Late Spring	M, WD	SU – PS	50' – 70'	30' – 40'	No	High Wildlife Value
Betula nigra	River Birch	-	-	M, WD Tolerates Wet Soils	SU – PS	40' – 70'	40' – 60'	Yes	High Wildlife Value Good Bank Stabilizer
Carya glabra	Pignut Hickory	-	-	D – W	SU – PS	50' – 60'	25' – 30'	No	-
Fagus grandifolia	American Beech	-	-	M, WD	SU – PS	50' – 80'	40' – 60'	No	Shallow Root System Produces Nuts
Fraxinus americana	White Ash	Green, Purple	Spring	M, WD Tolerates Range of Conditions	SU	60' – 80'	50' – 70'	No	High Wildlife Value Emerald Ash Borer
Fraxinus pennsylvanica	Green Ash	Green, Purple	Spring	D – W	SU	50' – 60'	25' – 30'	No	Emerald Ash Borer
Liriodendron tulipifera	Tulip Poplar	Yellow, Green	Late Spring	W – D	SU	50' – 60'	25' – 30'	No	High Wildlife Value Brittle Branches
Nyssa silvatica	Black Gum	White	Spring	M, WD Tolerates Wet Soils & Clay	SU – PS	40' – 60'	20' – 30'	Yes	Good Urban Tree
Quercus alba	White Oak	Yellow/ Green	Spring	M, WD Tolerates Range of Conditions	SU	60' – 100'	50' – 90'	No	Deer May Eat Foliage
Quercus coccinea	Scarlet Oak	-	-	D - M, WD	SU	50' – 80'	40' – 50'	No	-

Soil	W: Wet	M: Moist	D: Dry	DT: Drought Tolerant	WD: Well-Drained
Light	SU: Sun	PS: Part Shade	SH: Shade		
*Native to Virginia, but not the Piedmont Physiographic Region					

Possible Plant List for Fluvanna County

Scientific Name	Common Name	Flower Color	Bloom Time	Soil	Light	Plant Height	Plant Width	Suitable for Bioretention Areas	Notes
Large Shade Trees (Height: 40' +) (continued)									
Quercus falcata	Southern Red Oak	-	-	D – M, DT Tolerates Range of Conditions	SU	70' – 90'		No	-
Quercus palustris	Pin Oak	-	-	D – M Tolerates Range of Conditions	SU	60' – 80'	40' – 50'	Yes	-
Quercus phellos	Willow Oak	-	-	M, WD Tolerates Range of Conditions	SU	60' – 80'	30' – 40'	Yes	Shallow Root System High Wildlife Value
Quercus rubra	Red Oak	-	-	M, WD, DT	SU	60' – 75'	60' – 75'	No	-
Tilia americana	Basswood	Cream	Summer	M, WD, DT Tolerates Dry Soils & Clay	SU	60' – 100'	45' – 60'	No	Deer May Eat Foliage

Scientific Name	Common Name	Flower Color	Bloom Time	Soil	Light	Plant Height	Plant Width	Suitable for Bioretention Areas	Notes
Medium Shade Trees (Height: 25' – 40')									
Carpinus caroliniana	American Hornbeam	White	Early Summer	M – W	SU – PS	20' – 30'	20' – 30'	Yes	Unique Bark High Wildlife Value
Cladrastis kentuckea	Yellowwood	Cream	Early Summer	D, WD	SU	30' – 45'	40' – 45'	No	-
Diospyros virginiana	Persimmon	Green/ Yellow	Early Spring	M, WD Tolerates Dry Soils	SU – PS	30' – 50'	20' – 35'	Yes	Produces Fruit in Fall High Wildlife Value
Ostrya virginiana	American Hophornbeam	White	Spring	D, WD, DT	PS - SH	30' – 50'	20' – 35'	Yes	-

Soil	W: Wet	M: Moist	D: Dry	DT: Drought Tolerant	WD: Well-Drained
Light	SU: Sun		PS: Part Shade		SH: Shade
*Native to Virginia, but not the Piedmont Physiographic Region					

Possible Plant List for Fluvanna County

Scientific Name	Common Name	Flower Color	Bloom Time	Soil	Light	Plant Height	Plant Width	Suitable for Bioretention Areas	Notes
Ornamental Trees (Height: 10' – 30')									
Asimina triloba	Paw Paw	Maroon	Early Spring	M, WD	SU – PS	15' – 30'	15' – 20'	Yes	Produces Fruit
Cercis Canadensis	Eastern Redbud	Purple	Early Spring	M, WD Tolerates Range of Conditions	SU – PS	20' – 30'	25' – 30'	Yes	High Wildlife Value Deer May Eat Foliage
Chionanthus virginicus	Fringetree	Cream	Spring	M, WD	SU – PS	12' – 20'	12' – 20'	Yes	Attracts Birds Deer May Eat Foliage
Cornus florida	Flowering Dogwood	White	Spring	M, WD	PS	15' – 30'	15' – 20'	No	Showy Flowers Deer May Eat Foliage
Crataegus viridis	Green Hawthorn	White	Spring	M, WD Tolerates Wet Soils	SU - SH	20' – 35'		Yes	Attracts Birds
Magnolia virginiana	Sweetbay Magnolia	White	Late Spring	M – W	SU – PS	10' – 60'	10' – 20'	Yes	High Wildlife Value

Scientific Name	Common Name	Flower Color	Bloom Time	Soil	Light	Plant Height	Plant Width	Suitable for Bioretention Areas	Notes
Evergreen Trees (Height: 15'+)									
Ilex opaca	American Holly	White	Late Spring	M, WD	SU – PS	30' – 60'	18' – 35'	Yes	High Wildlife Value
Juniperus Virginiana	Eastern Red Cedar	Yellow/ Green	Winter	D, WD Tolerates Range of Conditions	SU	30' - 40'	10' – 20'	Yes	Attracts Birds High Wildlife Value
Pinus taeda	Loblolly Pine	-	-	D - W	SU – PS	50' – 90'	30' – 40'	Yes	Adaptable to Extremes High Wildlife Value
Tsuga Canadensis	Eastern Hemlock	-	-	M, WD	SU – PS	30' – 80'	15' – 30'	No	Deer May Eat Foliage
Tsuga Caroliniana	Carolina Hemlock	-	-	M, WD	SU – PS	30' – 70'	20' – 25'	No	Deer May Eat Foliage

Soil	W: Wet	M: Moist	D: Dry	DT: Drought Tolerant	WD: Well-Drained
Light	SU: Sun		PS: Part Shade		SH: Shade
*Native to Virginia, but not the Piedmont Physiographic Region					

Possible Plant List for Fluvanna County

Scientific Name	Common Name	Flower Color	Bloom Time	Soil	Light	Plant Height	Plant Width	Suitable for Bioretention Areas	Notes
Deciduous Shrubs (Height: Up to 15')									
<i>Amelanchier canadensis</i>	Serviceberry	White	Early Spring	M, WD Tolerates Dry Soils	SU - PS	6' – 15'	15' – 20'	Yes	Shallow Roots High Wildlife Value Produces Fruit
<i>Aronia arbutifolia</i>	Red Chokeberry	White/Pink	Spring	M, WD Tolerates Range of Soils, including Wet and Dry Soils	SU - PS	6' – 10'	3' – 5'	Yes	High Wildlife Value Produces Fruit
<i>Aronia melanocarpa</i>	Black Chokeberry	White/Pink	Spring	M, WD Tolerates Range of Soils, including Wet and Dry Soils	SU – PS	3' – 5'	3' – 5'	Yes	High Wildlife Value Produces Fruit Spreads by Suckers
<i>Calycanthus floridus</i>	Common Sweetshrub	Red/ Maroon	Spring	M, WD Tolerates Range of Soils	SU - PS	6' – 9'	6' – 12'	Yes	-
<i>Cephalanthus occidentalis</i>	Buttonbush	White	Late Spring/ Summer	M - W	SU	6' – 10'		Yes	High Wildlife Value
<i>Hammelis virginiana</i>	Common Witchazel	Yellow	Fall	M, WD Tolerates Range of Soils	SU – PS	10' – 25'	10' – 25'	Yes	-
<i>Ilex verticillata</i>	Common Winterberry	White	Summer	M Tolerates Range of Soils, including Wet Soils	SU - PS	6' – 15'	6' – 10'	Yes	-
<i>Lindera benzoin</i>	Spicebush	Yellow/ Green	Spring	M, WD Tolerates Range of Soils, including Wet and Dry Soils	SU - SH	6' – 12'	6' – 12'	Yes	Produces Fruit Attracts Birds/Butterflies
<i>Sambucus canadensis</i>	Elderberry	White	Spring	M, WD Tolerates Range of Soils, including Wet and Dry Soils	SU – SH	5' – 12'	5' – 12'	Yes	Produces Fruit High Wildlife Value Deer May Eat Twigs Spreads by Suckers
<i>Rhododendron periclymenoides</i>	Pinxterbloom Azalea	White/Pink	Spring	M, WD, DT Tolerates Dry Soils	SU – PS	4' – 6'	4' – 6'	Yes	Deer May Eat Foliage

Soil	W: Wet	M: Moist	D: Dry	DT: Drought Tolerant	WD: Well-Drained
Light	SU: Sun	PS: Part Shade		SH: Shade	
*Native to Virginia, but not the Piedmont Physiographic Region					

Possible Plant List for Fluvanna County

Scientific Name	Common Name	Flower Color	Bloom Time	Soil	Light	Plant Height	Plant Width	Suitable for Bioretention Areas	Notes
Deciduous Shrubs (Height: Up to 15') (continued)									
Rhododendron prinophyllum	Rose Azalea	Pink	Late Spring	M, WD	SU – PS	2' – 8'	2' - 8'	No	Deer May Eat Foliage
Rhododendron viscosum	Swamp Azalea	White	Late Spring	M – W	SU – PS	6' – 8'	6' – 8'	Yes	Attracts Butterflies Deer May Eat Foliage
Rhus Aromatica	Fragrant Sumac	Yellow/ Red	Spring/ Summer	M, WD, DT	SU – PS	2' – 6'	6' – 10'	No	-
Rosa palustris	Swamp Rose	Pink	Summer	M – W	SU	2' – 6'	2' – 6'	Yes	Produces Fruit High Wildlife Value
Rosa virginiana	Virginia Rose	Pink	Summer	M, WD	SU	4' – 6'	4' – 6'	Yes	Susceptible to Powdery Mildew, Blackspot, Aphids
Vaccinium corymbosum	Highbush Blueberry	White	Spring	D – W	SU – PS	6' – 12'	6' – 12'	Yes	Produces Fruit High Wildlife Value Deer May Eat Foliage

Scientific Name	Common Name	Flower Color	Bloom Time	Soil	Light	Plant Height	Plant Width	Suitable for Bioretention Areas	Notes
Evergreen Shrubs (Height: Up to 15')									
Ilex glabra	Inkberry	White	Summer	M, WD, DT	SU – PS	6' – 8'	6' – 10'	Yes	High Wildlife Value
Kalmia Latifolia	Mountain Laurel	White/Pink	Late Spring	M, WD Tolerates Dry Soils	SU – PS	7' – 15'	3' – 5'	No	Deer May Eat Foliage
Rhododendron catawabiense	Catawba Rhododendron	Purple/ Pink	Spring	M, WD	SU - PS	6' – 10'	8' – 10'	No	Deer May Eat Foliage
Rhododendron maximum	Rosebay Rhododendron	White, Pink, Purple	Early Summer	M, WD	PS - SH	4' – 15'	4' - 15'	No	Deer May Eat Foliage

Soil	W: Wet	M: Moist	D: Dry	DT: Drought Tolerant	WD: Well-Drained
Light	SU: Sun		PS: Part Shade		SH: Shade
*Native to Virginia, but not the Piedmont Physiographic Region					

Possible Plant List for Fluvanna County

Fluvanna County Plant List (Proposed)
Non-Native Species (Outside of the Virginia Piedmont)

Scientific Name	Common Name	Flower Color	Bloom Time	Soil	Light	Plant Height	Plant Width	Suitable for Bioretention Areas	Notes
Large Shade Trees (Height: 40' +)									
Carpinus betulus	European hornbeam	-	-	M, WD Tolerates Range of Soils	SU - PS	40' - 60'	30' - 40'	No	Tolerates Urban Conditions
Cercidiphyllum japonicum	Katsuratree	-	-	M, WD	SU	40' - 60'	20' - 40'	No	-
Corylus colurna	Turkish filbert or hazelnut	-	-	M, WD Tolerates Range of Soils	SU	40' - 50'	20' - 25'	No	-
Fagus sylvatica	European Beech	-	-	M, WD	SU	50' - 60'	35' - 45'	No	-
Ginkgo biloba† (known male)	Gingko	-	-	M, WD Tolerates Range of Soils (except wet soils)	SU	40' - 70'	20' - 40'	Yes	Use Known Male Trees; Fruit from Female Trees Creates an Offensive Odor
Platanus x Acerifolia	London Planetree	-	-	M, WD Tolerates Range of Soils	SU - PS	70' - 100'	65' - 80'	Yes	Shallow Root System Fast-Growing
Taxodium distichum*	Bald Cypress	-	-	W - D, DT	SU	50' - 100'	20' - 30'	Yes	Deciduous Conifer Shallow Root System
Tilia tomentosa	Silver Linden	Yellowish White	Summer	M, WD Tolerates Range of Soils	SU	40' - 70'	25' - 45'		Fragrant Flowers Tolerates Urban Conditions

Soil	W: Wet	M: Moist	D: Dry	DT: Drought Tolerant	WD: Well-Drained
Light	SU: Sun		PS: Part Shade		SH: Shade
*Native to Virginia, but not the Piedmont Physiographic Region					

Possible Plant List for Fluvanna County

Scientific Name	Common Name	Flower Color	Bloom Time	Soil	Light	Plant Height	Plant Width	Suitable for Bioretention Areas	Notes
Medium Shade Trees (Height: 25' – 40')									
Acer Buergeranum	Trident Maple	Green/Yellow	Early Spring	M, WD, DT	SU	25' – 35'	20' – 30'	No	Tolerant of Urban Conditions
Acer Griseum	Paperbark Maple	-	-	M, WD	SU – PS	20' – 30'	15' – 25'	No	-
Pistachia chinensis	Chinese Pistachio	Green	Spring	M, WD	SU	25' – 40'	25' – 35'	No	Easy to Transplant Produces Fruit
Tetradium daniellii	Bee-Bee Tree	White	Summer	M, WD	SU	25' – 30'	25' – 30'	No	Fragrant Flowers Attracts Birds
Ulmus parvifolia	Chinese Elm Lacebark Elm	-	-	M, WD Tolerates Poor Soils	SU	40' – 50'	40' – 50'	Yes	Easy to Transplant
Zelkova serrata	Japanese Zelkova	-	-	M, WD	SU – PS	50' – 80'	40' – 50'	Yes	Easy to Transplant Tolerant of Urban Conditions

Scientific Name	Common Name	Flower Color	Bloom Time	Soil	Light	Plant Height	Plant Width	Suitable for Bioretention Areas	Notes
Ornamental Trees (Height: 10' – 30')									
Cornus kousa	Kousa Dogwood	White	Spring	M, WD	SU – PS	20' – 30'	15' – 25'	No	Resistant to Anthracnose
Lagerstroemia indica	Crape Myrtle	White, Pink, Red, Purple	Summer to Early Fall	M, WD	SU	15' – 30'	6' – 15'	Yes	Showy Flowers Attractive Bark
Magnolia x loebneri	Loebner Magnolila	White	Early Spring	M, WD	SU – PS	20' – 30'	20' – 35'	No	Showy Flowers
Magnolia x soulangiana	Saucer Magnolia	White, Pink, Purple	Early Spring	M, WD	SU – PS	15' – 25'	15' – 25'	No	Showy Flowers Flowers may be damaged by frost

Soil	W: Wet	M: Moist	D: Dry	DT: Drought Tolerant	WD: Well-Drained
Light	SU: Sun		PS: Part Shade		SH: Shade
*Native to Virginia, but not the Piedmont Physiographic Region					

Possible Plant List for Fluvanna County

Scientific Name	Common Name	Flower Color	Bloom Time	Soil	Light	Plant Height	Plant Width	Suitable for Bioretention Areas	Notes
Evergreen Trees (Height: 15'+)									
<i>Ilex x attenuate</i> 'Fosteri'	Foster's Holly	White	Spring	M, WD	SU - PS	20' – 30'	10' – 20'	No	Several Hybrids
<i>Ilex x</i> 'Nellie R. Stevens'	Nellie Stevens Holly	White	Spring	M, WD, DT Tolerates Range of Soils (except wet)	SU – PS	15' – 35'	10' – 15'	No	Produces Red Fruit Deer May Eat Foliage
<i>Magnolia grandiflora</i>	Southern Magnolia	White	Summer	M, WD Tolerates Wet Soils	SU – PS	40' – 80'	30' – 40'	Yes	Fragrant Flowers Attracts Birds Significant Leaf Litter
<i>Thuja occidentalis</i> *	Eastern Arborvitae	-	-	M, WD Tolerates Range of Soils	SU	40' – 60'	10' – 15'	Yes	Easily Transplanted Deer May Eat Foliage

Soil	W: Wet	M: Moist	D: Dry	DT: Drought Tolerant	WD: Well-Drained
Light	SU: Sun		PS: Part Shade		SH: Shade
*Native to Virginia, but not the Piedmont Physiographic Region					

Possible Plant List for Fluvanna County

Scientific Name	Common Name	Flower Color	Bloom Time	Soil	Light	Plant Height	Plant Width	Suitable for Bioretention Areas	Notes
Deciduous Shrubs (Height: Up to 15')									
<i>Abelia x grandiflora</i>	Glossy Abelia	White	Early Summer – Fall	M, WD Tolerates Range of Soils	SU – PS	3' – 6'	3' – 6'	Yes	Easily Transplanted
<i>Caryopteris x clandonensis</i>	Blue Mist Shrub Bluebeard	Blue	Late Summer	M, WD, DT	SU	2' – 3'	2' – 3'	No	Attracts Butterflies
<i>Cotoneaster horizontalis</i>	Rockspray Cotoneaster	Pink	Late Spring – Early Summer	M, WD, DT Tolerates Poor Soils	SU – PS	2' – 3'	6' – 8'	No	-
<i>Callicarpa americana*</i>	Purple Beautyberry	White/Pink	Late Spring – Early Summer	M – D, DT	SU – PS	3' – 4'	4' – 5'	Yes	Attracts Birds Colorful Berries
<i>Callicarpa japonica</i>	Japanese Beautyberry	White/Pink	Summer	M – D	SU – PS	4' – 6'	4' – 6'	No	Attracts Birds Colorful Berries
<i>Chaenomelea speciosa</i>	Common Flowering Quince	White, Red, Pink	Late Winter – Early Spring	M – D Tolerates Range of Soils	SU – PS	6' – 10'	6' – 10'	No	Showy Flowers
<i>Cornus racemosa*</i>	Gray Dogwood	White	Early Summer	M, WD Tolerates Range of Soils, including Dry Soils and Clays	SU – PS	6' – 12'	6' – 12'	Yes	High Wildlife Value
<i>Cornus sericea*</i>	Redtwig Dogwood	White	Early Summer	M, WD, DT Tolerates Range of Soils	SU – PS	5' – 9'	5' – 10'	Yes	Spreading Can Be Invasive High Wildlife Value
<i>Cotoneaster divaricatus</i>	Spreading Cotoneaster	Pink	Early Summer	M, WD Tolerates Range of Soils	SU - PS	5' – 6'	6' – 8'	No	-

Soil	W: Wet	M: Moist	D: Dry	DT: Drought Tolerant	WD: Well-Drained
Light	SU: Sun		PS: Part Shade		SH: Shade
*Native to Virginia, but not the Piedmont Physiographic Region					

Possible Plant List for Fluvanna County

Scientific Name	Common Name	Flower Color	Bloom Time	Soil	Light	Plant Height	Plant Width	Suitable for Bioretention Areas	Notes
Deciduous Shrubs (Height: Up to 15') (continued)									
Cotoneaster horizontalis	Rockspray Cotoneaster	Pink	Early Summer	M, WD Tolerates Range of Soils	SU – PS	2' – 3'	5' - 8'	No	-
Deutzia gracillis	Slender Deutzia	White	Early Summer	M, WD, DT Tolerates Range of Soils	SU – PS	2' – 4'	3' – 4'	No	Easy to Transplant
Forsythia x intermedia	Border Forsythia	Yellow	Early Spring	M, WD, DT Tolerates Range of Soils	SU - PS	8' – 10'	10' -12'	Yes	Easy to Transplant Tolerant of Urban Conditions
Hydrangea macrophylla	Bigleaf Hydrangea	White, Pink, Blue, Purple	Summer	M, WD	SU – PS	3' – 4'	4' – 6'	No	Deer May Eat Foliage
Hydrangea quercifolia	Oakleaf Hydrangea	White/Pink	Summer	M, WD, DT Tolerates Damp Soils	SU - PS	4' – 8'	3' – 8'	No	Deer May Eat Foliage
Kerria japonica	Japanese Kerria	Yellow	Spring	M, WD, DT Tolerates Range of Soils	PS – SH	3' – 6'	6' – 9'	No	-
Philadelphus x virginalis	Virginal Mockorange	White	Summer	M, WD	SU - PS	6' – 8'	4' – 8'	No	-
Spirea nipponica	Nippon Spirea	White	Spring	M – D, DT	SU - PS	3' – 5'	4' – 5'	No	-
Spiraea x Vanhouttei	Vanhoutte Spirea	White	Spring	M – D, DT	SU – PS	6' – 8'	10' – 12'	No	-
Syringa meyeri	Meyer Lilac	Purple	Spring	M, WD	SU – PS	4' – 8'	6' – 10'	No	Easy to Grow
Viburnum carlesii	Koreanspice Viburnum	White	Spring	M, WD Tolerates Clays	SU – PS	4' – 6'	4' – 6'	No	-
Viburnum dentatum	Arrowwood Viburnum	White	Summer	M – D, DT	SU – PS	6' – 10'	6' – 15'	No	Easy to Transplant Easy to Grow
Viburnum trilobum	American Cranberry Viburnum	White	Early Summer	M, WD	SU – PS	8' – 12'	8' – 12'	No	Produces Fruit
Weigela florida	Old-Fashioned Weigela	White, Pink, Red	Late Spring	M, WD Tolerates Range of Soils	SU – PS	6' – 10'	6' – 10'	No	Easy to Transplant

Soil	W: Wet	M: Moist	D: Dry	DT: Drought Tolerant	WD: Well-Drained
Light	SU: Sun	PS: Part Shade	SH: Shade		
*Native to Virginia, but not the Piedmont Physiographic Region					

Possible Plant List for Fluvanna County

Scientific Name	Common Name	Flower Color	Bloom Time	Soil	Light	Plant Height	Plant Width	Suitable for Bioretention Areas	Notes
Evergreen Shrubs (Height: Up to 15')									
Buxus microphylla	Littleleaf Box	Green	Spring	M, WD	SU – PS	3' – 6'	3' – 6'	No	Slow Growth
Buxus sempervirens	Common Boxwood	Yellow	Spring	M, WD, DT	SU – PS	15' – 20'	10' – 15'	No	-
Myrica cerifera*	Southern Waxmyrtle	-	-	W – D, DT Tolerates Range of Soils	SU – SH	6' – 15'	6' – 10'	Yes	Attracts Birds and Butterflies
Prunus laurocerasus	Cherry Laurel English Laurel	White	Spring	M, WD	SU – SH	10' – 18'	8' – 11'	Yes	-
Viburnum x burkwoodii	Burkwood Viburnum	White	Early Spring	M, WD Tolerates Range of Soils	SU – PS	8' – 10'	5' – 8'	No	-
Viburnum x juddii	Judd Viburnum	White	Spring	M, WD, DT Tolerates Range of Soils	SU - PS	6' – 8'	6' – 10'	No	Fragrant Flowers
Viburnum lantana	Wayfaringtree Viburnum	White	Spring	M, WD, DT Tolerates Range of Soils	SU – PS	10' – 15'	10' – 15'	No	Easy to Transplant
Viburnum x rhytidophylloides	Lantanaphyllum Viburnum	White	Spring	M, WD Tolerates Range of Soils	SU – PS	8' – 10'	8' – 10'	No	-

Soil	W: Wet	M: Moist	D: Dry	DT: Drought Tolerant	WD: Well-Drained
Light	SU: Sun		PS: Part Shade		SH: Shade
*Native to Virginia, but not the Piedmont Physiographic Region					