

FLUVANNA COUNTY BOARD OF SUPERVISORS
AGENDA FOR REGULAR MEETING
 Circuit Courtroom, Fluvanna Courts Building
 July 18, 2012, 7:00 pm

TAB AGENDA ITEMS

1 - CALL TO ORDER, PLEDGE OF ALLEGIANCE, MOMENT OF SILENCE

2 - COUNTY ADMINISTRATOR'S REPORT

3 - PUBLIC COMMENTS #1 (5 minutes each)

4 - CONSENT AGENDA

- J Minutes of June 20, 2012 – Mary Weaver, Clerk to the Board of Supervisors
- K Minutes of July 3, 2012 – Mary Weaver, Clerk to the Board of Supervisors
- L U. S. Cellular - Amendment No. 3 to Tower and Ground Space Lease (Holdover) – Steven M. Nichols, County Administrator
- M FY12 Budget Supplement for Department of Social Services Share of the Cost Allocation Funds – Eric Dahl, Budget Analyst
- Mc FY12 Budget Supplement for Registrar/Electoral Board March Primary Reimbursement Funds – Eric Dahl, Budget Analyst
- N FY12 Budget Supplement for Planning Development Cell Tower Applications – Eric Dahl, Budget Analyst
- O FY12 Budget Supplement for Sheriff's Department Insurance Claim – Eric Dahl, Budget Analyst
- P FY12 Four-for-Life Supplemental Appropriation – Eric Dahl, Budget Analyst
- Q FY13 Grants Administrator Budget Transfer – Eric Dahl, Budget Analyst

5 - ACCOUNTS PAYABLE

None

6 - PUBLIC HEARING

- R SUP 12:02 – Clear Signal Towers, LLC (Hardware River) - A request for a Special Use Permit (SUP) to allow for a 175-foot wireless communications tower with respect to 71.46 acres of Tax Map 48, Section A, Parcel 94. The property is zoned A-1 (Agricultural, General) and is located on the north side of West River Road (State Route 6) 1.3 miles west of its intersection with Hardware Road (Route 646). The property is located in the Cunningham Election District and is within the Rural Residential Planning Area – Andrew Pompei, Planner
- S SUP 12:03 – Clear Signal Towers, LLC (Weber City) – A request for a Special Use Permit (SUP) to allow for a 195-foot wireless communications tower with respect to 46.6 acres of Tax Map 59, Section A, Parcel 13B. The property is zoned A-1 (Agricultural, General) and is located on the east side of James Madison Highway (Route 15) 1.2 miles south of its intersection with Winnsville Drive (Route 612). The property is located in the Fork Union Election District and is within the Rural Residential Planning Area. – Steve Tugwell, Senior Planner

T SUP 12:04 – Clear Signal Towers, LLC (Cohasset) – A request for a Special Use Permit (SUP) to allow for a 195-foot wireless communications tower with respect to 97.7 acres of Tax Map 50, Section A, Parcel 3. The property is zoned A-1 (Agricultural, General) and is located on the west side of Mountain Hill Road (Route 650) approximately 500 feet south of its intersection with West River Road (State Route 6). The property is located in the Fork Union Election District and is within the Rural Preservation Planning Area. – Steve Tugwell, Senior Planner

U AFD 02:03 – Riverside Agricultural & Forestal District (AFD) – A review of the Riverside Agricultural and Forestal District (AFD), which is set to expire on August 7, 2012. The Riverside AFD currently consists of 18 parcels (Tax Map 60, Section A, Parcel 10; Tax Map 60, Section A, Parcel 34; Tax Map 60, Section A, Parcel 35; Tax Map 60, Section 3, Parcel 1; Tax Map 60, Section 3, Parcel 2; Tax Map 60, Section 3, Parcel 3; Tax Map 60, Section A, Parcel 31; Tax Map 60, Section A, Parcel 32; Tax Map 60, Section A, Parcel 33; Tax Map 60, Section 7, Parcel 8; Tax Map 60, Section A, Parcel 16A; Tax Map 60, Section A, Parcel 17A; Tax Map 60, Section A, Parcel 17B; Tax Map 60, Section A, Parcel 18; Tax Map 60, Section A, Parcel 21C; Tax Map 60, Section A, Parcel 21; Tax Map 60, Section A, Parcel 21D; Tax Map 60, Section 7, Parcel 9) totaling 552.526 acres. The properties are zoned A-1 (Agricultural, General) and are generally located along, or in close proximity to, Bremono Road (State Route 656). The properties are located within the Fork Union Election District and are within the Rural Residential and Rural Preservation Planning Areas. – Andrew Pompei, Planner

7 - PRESENTATIONS (normally not to exceed 10 minutes each)

None

8 - ACTION MATTERS

V Additional Compensation Board Funding for Certified Career Development Employees – Mel Sheridan, Commissioner of the Revenue

W Appointment/Reappointment to Economic Development Commission, Cunningham District Position – Mary L. Weaver, Clerk to the Board of Supervisors

XYZ Appointment/Reappointment to Economic Development Commission, At Large Position – Mary L. Weaver, Clerk to the Board of Supervisors

A Leasing of Police Vehicles – Sheriff Ryant Washington & Colonel Eric Hess

9 - UNFINISHED BUSINESS

10 - NEW BUSINESS

11 - PUBLIC COMMENTS #2 (5 minutes each)

12 - CLOSED MEETING

13 - ADJOURN

PLEDGE OF ALLEGIANCE

I pledge allegiance to the flag
of the United States of America
and to the Republic for which it stands,
one nation, under God, indivisible,
with liberty and justice for all.

ORDER

1. It shall be the duty of the Chairman to maintain order and decorum at meetings. The Chairman shall speak to points of order in preference to all other members.
2. In maintaining decorum and propriety of conduct, the Chairman shall not be challenged and no debate shall be allowed until after the Chairman declares that order has been restored. In the event the Board wishes to debate the matter of the disorder or the bringing of order; the regular business may be suspended by vote of the Board to discuss the matter.
3. No member or citizen shall be allowed to use abusive language, excessive noise, or in any way incite persons to use such tactics. The Chairman and/or the County Administrator shall be the judge of such breaches, however, the Board may vote to overrule both.
4. When a person engages in such breaches, the Chairman shall order the person's removal from the building, or may order the person to stand silent, or may, if necessary, order the person removed from the County property.

BOARD OF SUPERVISORS AGENDA ITEM

Meeting Date: July 18, 2012

SUBJECT:	Adoption of the Fluvanna County Board of Supervisors regular meeting minutes.
MOTION(s):	I move the regular meeting minutes of the Fluvanna County Board of Supervisors for Wednesday, June 20, 2012 be adopted.
STAFF CONTACT:	Mary L. Weaver, Clerk to the Board of Supervisors
RECOMMENDATION:	Approval
TIMING:	Routine
DISCUSSION:	None
FISCAL IMPLICATIONS:	N/A
POLICY IMPLICATIONS:	N/A
LEGISLATIVE HISTORY:	None
ENCLOSURES:	Draft minutes for June 20, 2012

**FLUVANNA COUNTY BOARD OF SUPERVISORS
REGULAR MEETING MINUTES
Circuit Court Room
June 20, 2012
7:00 p.m.**

MEMBERS PRESENT: Shaun V. Kenney, Chairman
Bob Ullenbruch, Vice-Chairman
Mozell H. Booker
Donald W. Weaver
Joe Chesser

ALSO PRESENT: Steven M. Nichols, County Administrator
Fred Payne, County Attorney
Eric Dahl, Budget Analyst
Andrew Pompei, Planner
Mary L. Weaver, Clerk to the Board of Supervisors

CALL TO ORDER/PLEDGE OF ALLEGIANCE/MOMENT OF SILENCE

Chairman Kenney called the meeting of June 20, 2012, to order at 7:00 p.m., in the Circuit Courtroom in Palmyra, Virginia; and the Pledge of Allegiance was recited, after which, Chairman Kenney called for a moment of silence.

REPORTS

County Report

Mr. Steven M. Nichols, County Administrator reported on the following topics:

- Staff Announcements and Kudos – Introduced new staff employees; Director of Parks and Recreation, Mr. Jason Smith, and Director of Finance, Ms. Barbara Horlacher. Holding interviews for the Director of Public Works.
- Fire & EMS Study Team – will be here June 29-30 to meet with all Fire, EMS, and Water Rescue units. A study luncheon will be provided on Friday, June 29, 2012 in the County Administration, Morris Room and a Town Hall Meeting will be held Friday, June 29, 2012 at 7:00 pm in the Carysbrook Performing Arts Auditorium.
- Continuing Issues – Louisa County EMS Mutual Aid and Scottsville EMS Support
- Public Information Session – An information session sponsored by the Fluvanna County Chamber of Commerce will be held on Thursday, June 28th, 2012 in the new Fluvanna County High School at 2:00 pm and 7:00 pm, to talk about water issues in the county.
- Ongoing Reviews – The following items are being worked and will be presented as soon as complete; Boards, Commissions, and Committees, County Vehicle Fleet, Purchasing Procedures and Timekeeping.
- Supervisor Requests in Development –
 - Easy to Understand Taxes Chart with Equalization Rate - will have as soon as available from Blue Ridge Mass Appraisal.
 - School Costs - still looking into, would like to get one confirmed number to work from.

- County Debt and Future payoffs, Options, and Scenarios – Working with Morgan Keegan and our financial advisors to look at all the county debt issues and what our are options for; early payoffs, transfer of debt, changing of debt, refunding of debt, refinancing of debt, and all the different scenarios.
- Fluvanna County debt per capita ranking in Virginia and in Central Virginia – Fluvanna is 13 out of the 95 counties, debt per capita.
- Unobligated Fund Balance – is \$8.1 million.
- Correction and Detention Costs – gave breakdown of costs.
- Payroll Lines – explained the multiple benefit lines on the Accounts Payable report.

PUBLIC COMMENTS #1

Chairman Kenney opened the floor for the first round of public comments.

- Perrie Johnson, Fork Union District, President of Fluvanna Education Foundation – addressed the Board in support of additional funding to the schools for FY12 level funding.
- Andrew V. Sorrell. Fork Union District – addressed the Board in regards to ethical public decision making grounded in the public’s interest, support additional funding to the schools for FY12 level funding.
- Stephen Cooper, Palmyra District – addressed the Board in regards to financial restraint and responsibility.
- Paul Seehaver, Rivanna District – addressed the Board in support of additional funding to the schools for FY12 level funding.
- Charlie Armstrong, representing companies that do business in Fluvanna at Zion Crossroads – addressed the Board in support of the waterline at Zion Crossroads.
- Thelma Soto, Fork Union District – addressed the Board in regards to additional funding for JABA.
- Bill Sullivan, Palmyra District – addressed the Board in support of additional funding to the schools for FY12 level funding.
- Angela Davis, Cunningham District – addressed the Board in support of additional funding to the schools for FY12 level funding.
- Elizabeth Franklin, Fluvanna Taxpayers Association – addressed the Board in regards to the Return on Investment study and water situation.
- David Harris, Cunningham District – addressed the Board in support of additional funding to the schools for FY12 level funding and an advisory audit.

With no one else wishing to speak, Chairman Kenney closed the first segment of public comments.

CONSENT AGENDA

The following item was pulled from the consent agenda:

- FSPCA Agreement

The following items were approved under the consent agenda:

MOTION:

Mr. Chesser moved to approve the consent agenda, which consisted of:

- Minutes of May 16, 2012
- Minutes of June 6, 2012
- FY12 Budget Supplement for the Registrar's Voting Equipment Reimbursement.
- FY12 Budget Supplement for the Clerk of the Circuit court's Record Conservation Grant of \$5,614.00.
- FY12 Budget Supplement for the Clerk of the Circuit Court's Record Conservation Grant of \$11,649.00
- FY12 Budget Supplement for Sheriff's Office Equipment Refund
- Supplemental Appropriation for USDOJ Formula Grant Award

Mrs. Booker seconded. The motion carried, with a vote of 5-0. AYES: Ullenbruch, Booker, Kenney, Chesser and Weaver. NAYS: None. ABSENT: None.

FSPCA Agreement

The Board discussed the changes to the FSPCA Agreement.

MOTION:

Mr. Chesser moved the Fluvanna County Board of Supervisors approve the proposed contractual agreement with the Fluvanna SPCA for pound services to be effective July 1, 2012, annual cost of which shall be \$5.00 per capita based on official 2010 U.S. Census Bureau figures. Mrs. Booker seconded. The motion carried, with a vote of 4-1. AYES: Chesser, Booker, Ullenbruch, and Kenney. NAYS: Weaver. ABSENT: None.

ACCOUNTS PAYABLE

None

PUBLIC HEARING

CPA 12:01, Fluvanna County – Comprehensive Plan Text Amendment – Amend the Vision chapter of the Comprehensive Plan, along with any other associated changes to the plan as a result of the additions. The existing text within the Vision chapter will be replaced with new text and illustrations prepared by the Board of Supervisors. The proposed amendment to the Comprehensive Plan adjusts the vision statement in order to better reflect the adopted goals of the Board of Supervisors and elaborate on the meaning of the County's vision statement. The amendment is generally consistent with other chapters of the Comprehensive Plan.

Mr. Andrew Pompei addressed the Board regarding this item.

Chairman Kenney opened the public hearing.

- Elizabeth Franklin, Fluvanna Taxpayers Association - addressed the Board in regards to the taxpayers missing from this chapter amendment.
- Dennis Holder, Cunningham District – addressed the Board in regards to the change in language would in effect mandate a change in the land use map.

With no one else wishing to speak, Chairman Kenney closed the public hearing.

The Board discussed the deletion of the second sentence in the Kents Store section.

MOTION:

Mrs. Booker moved to approve CPA 12-01; an amendment to Chapter 4, *Vision*, of the 2009 Comprehensive Plan, as originally proposed by the Board of Supervisors, subject to the deletion of the second sentence in the Kent Store section on page 14. Mr. Chesser seconded. The motion carried, with a vote of 5-0. AYES: Chesser, Booker, Ullenbruch, Kenney and Weaver. NAYS: None. ABSENT: None.

ZTA 12:01, Fluvanna County - Zoning Text Amendment – Amendment of the Fluvanna County Zoning Ordinance to update and strengthen regulations regarding tree protection, landscaping, and off-street parking (Chapter 22, Article 22: *Definitions*; Chapter 22, Article 24: *Tree Protection*; Chapter 22, Article 26: *Off-Street Parking & Loading Spaces*).

ZTA 12:02, Fluvanna County - Subdivision Ordinance Amendment – Amendment of the Fluvanna County Subdivision Ordinance to update and strengthen regulations regarding landscaping and similar improvements (Chapter 19, Article 7: *Subdivision Design Standards*; Chapter 19, Article 8: *Required Improvements*).
Mr. Andrew Pompei reviewed with the Board the changes to the Zoning and Subdivision ordinance.

Chairman Kenney opened the public hearing for ZTA 12:01 and ZTA 12:02 together.

- Lindsey Nolte, Columbia District – addressed the Board in support of these amendments.
- Charlie Armstrong, representing companies that do business in Fluvanna at Zion Crossroads – addressed the Board in regards to inappropriate changes to the designated planning areas, it would force business to look elsewhere.
- David Harris, Cunningham District - addressed the Board in regards to inappropriate changes to the designated planning areas.

With no one else wishing to speak, Chairman Kenney closed the public hearing. After Board discussion the following motion was made;

MOTION:

Mr. Chesser moved to defer ZTA 12-01 and ZTA 12-02 to the August 1, 2012 meeting to allow for further review. Mr. Ullenbruch seconded. The motion carried, with a vote of 5-0. AYES: Chesser, Booker, Ullenbruch, Kenney and Weaver. NAYS: None. ABSENT: None.

PRESENTATIONS

Efficiency Study Overview from Fluvanna County Public Schools – Ms. Gena Keller, School Superintendent, reviewed the importance and procedures for an efficiency review for the Fluvanna County Schools. The estimated cost will be \$35,000 for FY14.

ACTION MATTERS

Request for Additional Funding to meet FY12 Funding Level – Ms. Gena Keller, School Superintendent, addressed the Board on this request. Ms. Keller reviewed the cuts that were made to cover some of the shortfalls and explained this request for additional funding to help litigate health insurance costs for school staff.

MOTION:

Mrs. Booker moved to appropriate \$539,545 from the fund balance to off-set the increasing health insurance premium for staff during the 2012-2013 school year. No second, motion failed.

Meals Tax Review and Options – Mr. Steven M. Nichols, County Administrator, presented the options and procedures of implementing meals tax to the Board. After some discussion, no action was taken.

VRS Contribution Options – Mr. Steven M. Nichols, County Administrator, presented the options available and noted a decision is required by July 1, 2012.

MOTION:

Mr. Chesser moved the resolution entitled “Employer contribution Rates for counties, cities, Town, School Divisions and Other Political Subdivision (In accordance with the 2012 Appropriation Act Item 468 (H))” be adopted. Mr. Weaver seconded. The motion carried, with a vote of 5-0. AYES: Chesser, Booker, Ullenbruch, Kenney and Weaver. NAYS: None. ABSENT: None.

MOTION:

Mr. Chesser moved the resolution entitled “Member Contributions by Salary Reduction for counties, cities, Towns and Other Political Subdivision (In accordance with Chapter 822 of the 2012 Acts of Assembly (SB497))” be adopted. Mr. Weaver seconded. The motion carried, with a vote of 5-0. AYES: Chesser, Booker, Ullenbruch, Kenney and Weaver. NAYS: None. ABSENT: None.

Erosion and Sediment Control – Mr. Steven M. Nichols, County Administrator, addressed the Board on this request to retain in-house the Erosion and Sediment Control staff services.

MOTION:

Mr. Chesser moved the Board of Supervisors retain in-house Erosion and Sediment Control staff services. Mrs. Booker seconded. The motion carried, with a vote of 3-2. AYES: Chesser, Booker, and Weaver. NAYS: Ullenbruch and Kenney. ABSENT: None.

Scottsville EMS Mutual Aid – Item was withdrawn.

Appointment /Parks & Recreation Advisory Board, At Large Position, Student Term

MOTION:

Mrs. Booker moved to appoint Mr. Haden Parrish and Ms. Kelsey Schlein to the Parks & Recreation Advisory Board, Student positions, with terms to begin July 1, 2012, and to terminate on June 30, 2014. Mr. Chesser seconded. The motion carried, with a vote of 5-0. AYES: Chesser, Booker, Ullenbruch, Kenney and Weaver. NAYS: None. ABSENT: None.

Appointment / Parks & Recreation Advisory Board, At Large Position, New Member Term

MOTION:

Mrs. Booker moved to appoint Ms. Amy Reese the Parks & Recreation Advisory Board, At Large position, with a term to begin July 1, 2012, and to terminate on June 30, 2013. Mr. Chesser seconded. The motion carried, with a vote of 5-0. AYES: Chesser, Booker, Ullenbruch, Kenney and Weaver. NAYS: None. ABSENT: None.

Reappointment / Parks & Recreation Advisory Board, At Large Position

MOTION:

Mrs. Booker moved to reappoint Mr. Wade Parrish the Parks & Recreation Advisory Board, At Large position, with a term to begin July 1, 2012, and to terminate on June 30, 2015. Mr. Weaver seconded. The motion carried, with a vote of 5-0. AYES: Chesser, Booker, Ullenbruch, Kenney and Weaver. NAYS: None. ABSENT: None.

Appointment-Reappointment/Economic Development Commission (EDC)

MOTION:

Mr. Chesser moved to reappoint Mr. Stephen Scott to the Economic Development Commission (EDC), At Large position, with a term to begin July 1, 2012, and to terminate on June 30, 2016. Mrs. Booker seconded. The motion carried, with a vote of 5-0. AYES: Chesser, Booker, Ullenbruch, Kenney and Weaver. NAYS: None. ABSENT: None.

Appointment/Youth Advisory Council, Citizen Representative Position

MOTION:

Mrs. Booker moved to appoint Mr. Harvey Sorum, to the Youth Advisory Council, Citizen Representative Position, with a term to begin July 1, 2012, and to terminate on June 30, 2014. Mr. Chesser seconded. The motion carried, with a vote of 5-0. AYES: Chesser, Booker, Ullenbruch, Kenney and Weaver. NAYS: None. ABSENT: None.

UNFINISHED BUSINESS

NEW BUSINESS

County Administrator Sick/Annual Leave – Mr. Steven M. Nichols, County Administrator, reviewed with the Board this request to change the initial allocation of annual and sick level and adjust the accrual level of annual leave.

MOTION:

Mr. Chesser moved to amend Section 6 of the County Administrator's employment contract to decrease the initial allocation of annual and sick leave from 20 days to 10 days each, and increase the accrual of regular annual leave to that specified for employees of 15 years tenure according to the County's personnel policy, such actions to be retroactive to the contract start date of April 23, 2012. Mr. Weaver seconded. The motion carried, with a vote of 5-0. AYES:

Chesser, Booker, Ullenbruch, Kenney and Weaver. NAYS: None. ABSENT: None.

PUBLIC COMMENTS #2

Chairman Kenney opened the floor for the second round of public comments.

- Bob Sullivan, Palmyra District – addressed the Board in regards to concerns of hypocrisy that’s coming out of this Board in terms of a focus on employees, strongly reconsider what you’re doing.
- Bridgett Madison, Fork Union District – addressed the Board in regards to Ms. Keller’s dedication, put trust in the Board to make the right decisions expect to believe what you advertise.
- Bob Peake, Cunningham District – addressed the Board in regards to not understanding the reasoning for the tax cut.
- Mr. Cooper – addressed the Board in regards to when there’s no money, there’s no money.
- Jon Carrie, Rivanna District – addressed the Board in support of the efficiency study.
- Ms. Rebecca Newman, Rivanna – addressed the Board in opposition of the decision not to fund the schools request.
- Mr. Davis – addressed the Board in regards to the possibility of funding the school out of the reserves this year and pay it back next year, take steps that can be done to rectify poor decision.

With no one else wishing to speak, Chairman Kenney closed the second segment of public comments.

CLOSED MEETING

None

ADJOURN

MOTION:

At 10:36 p.m., Mr. Weaver moved to adjourn the meeting of Wednesday, June 20, 2012. Mr. Ullenbruch seconded. The motion carried, with a vote of 5-0. AYES: Kenney, Ullenbruch, Booker, Weaver and Chesser. NAYS: None. ABSENT: None.

ATTEST:

FLUVANNA COUNTY BOARD OF SUPERVISORS

Mary L. Weaver, Clerk

Shaun V. Kenney, Chairman

**Employer Contribution Rates for Counties, Cities,
Towns, School Divisions and Other Political Subdivisions
(In accordance with the 2012 Appropriation Act Item 468(H))**

Resolution

BE IT RESOLVED, that the Fluvanna County 55132 does hereby acknowledge that its contribution rates effective July 1, 2012 shall be based on the higher of a) the contribution rate in effect for FY 2012, or b) seventy percent of the results of the June 30, 2011 actuarial valuation of assets and liabilities as approved by the Virginia Retirement System Board of Trustees for the 2012-14 biennium (the "Alternate Rate") provided that, at its option, the contribution rate may be based on the employer contribution rates certified by the Virginia Retirement System Board of Trustees pursuant to Virginia Code § 51.1-145(I) resulting from the June 30, 2011 actuarial value of assets and liabilities (the "Certified Rate"), and

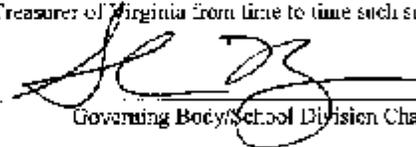
BE IT ALSO RESOLVED, that the Fluvanna County 55132 does hereby certify to the Virginia Retirement System Board of Trustees that it elects to pay the following contribution rate effective July 1, 2012:

(Check only one box)

The Certified Rate of 12.85% The Alternate Rate of 10.57%; and

BE IT ALSO RESOLVED, that the Fluvanna County 55132 does hereby certify to the Virginia Retirement System Board of Trustees that it has reviewed and understands the information provided by the Virginia Retirement System outlining the potential future fiscal implications of any election made under the provisions of this resolution; and

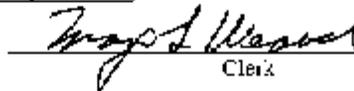
NOW, THEREFORE, the officers of Fluvanna County 55132 are hereby authorized and directed in the name of the Fluvanna County to carry out the provisions of this resolution, and said officers of the Fluvanna County are authorized and directed to pay over to the Treasurer of Virginia from time to time such sums as are due to be paid by Fluvanna County for this purpose.



Governing Body/School Division Chairman

CERTIFICATE

I, Mary L. Weaver, Clerk of the Fluvanna County, certify that the foregoing is a true and correct copy of a resolution passed at a lawfully organized meeting of the Fluvanna County held at Palmyra, Virginia at 7:00 o'clock on June 20, 2012. Given under my hand and seal of the Fluvanna County this 28 day of June, 2012.



Clerk

**This resolution must be passed prior to July 1, 2012 and
received by VRS no later than July 10, 2012.**

**2012 Appropriation Act
Item 468(H)**

Central Appropriations Language

"H.1. Except as authorized in Paragraph H.2. of this Item, rates paid to the VRS on behalf of employees of participating (i) counties, (ii) cities, (iii) towns, (iv) local public school divisions (only to the extent that the employer contribution rate is not otherwise specified in this act), and (v) other political subdivisions shall be based on the higher of: a) the contribution rate in effect for FY 2012, or b) seventy percent of the results of the June 30, 2011 actuarial valuation of assets and liabilities as approved by the Virginia Retirement System Board of Trustees for the 2012-14 biennium, eighty percent of the results of the June 30, 2013 actuarial valuation of assets and liabilities as approved by the Virginia Retirement System Board of Trustees for the 2014-16 biennium, ninety percent of the results of the June 30, 2015 actuarial valuation of assets and liabilities as approved by the Virginia Retirement System Board of Trustees for the 2016-18 biennium, one-hundred percent of the results of the June 30, 2017 actuarial valuation of assets and liabilities as approved by the Virginia Retirement System Board of Trustees for the 2018-20 biennium.

2. Rates paid to the VRS on behalf of employees of participating (i) counties, (ii) cities, (iii) towns, (iv) local public school divisions (only to the extent that the employer contribution rate is not otherwise specified in this act), and (v) other political subdivisions may, at each participating employer's option, be based on the employer contribution rates certified by the Virginia Retirement System (VRS) Board of Trustees pursuant to § 51.1-145(1), Code of Virginia.

3. Every participating employer must certify to the board of the Virginia Retirement System by resolution adopted by its local governing body that it has reviewed and understands the information provided by the Virginia Retirement System outlining the potential future fiscal implications of electing or not electing to utilize the employer contribution rates certified by the Virginia Retirement System (VRS) Board of Trustees, as provided for in paragraph H.2.

4. Prior to electing to utilize the employer contribution rates certified by the Virginia Retirement System (VRS) Board of Trustees, as authorized in paragraph H.2, local public school divisions must receive the concurrence of the local governing body. Such concurrence must be documented by a resolution of the governing body.

5. The board of the Virginia Retirement System shall provide all employers participating in the Virginia Retirement System with a summary of the implications inherent in the use of the employer contribution rates certified by the Virginia Retirement System (VRS) Board of Trustees set out in paragraph H.2, and the alternate employer contribution rates set out in paragraph H.1."

Explanation:

(This amendment allows for the phase-in of the VRS Board-approved employer contribution rates for local employers over three biennia.)

Member Contributions by Salary Reduction for Counties, Cities, Towns, and Other Political Subdivisions

(In accordance with Chapter 822 of the 2012 Acts of Assembly (SB497))

Resolution

WHEREAS, the Fluvanna County 55132 employees who are Virginia Retirement System members who commence or recommence employment on or after July 1, 2012 ("FY2013 Employees" for purposes of this resolution), shall be required to contribute five percent of their creditable compensation by salary reduction pursuant to Internal Revenue Code § 414(b) on a pre-tax basis upon commencing or recommencing employment; and

WHEREAS, the Fluvanna County 55152 employees who are Virginia Retirement System members and in service on June 30, 2012, shall be required to contribute five percent of their creditable compensation by salary reduction pursuant to Internal Revenue Code § 414(b) on a pre-tax basis on or later than July 1, 2016; and

WHEREAS, such employees in service on June 30, 2012, shall contribute a minimum of an additional one percent of their creditable compensation beginning on each July 1 of 2012, 2013, 2014, 2015, and 2016, or until the employees' contributions equal five percent of creditable compensation; and

WHEREAS, the Fluvanna County 55152 may elect to require such employees in service on June 30, 2012, to contribute more than an additional one percent each year, in whole percentages, until the employees' contributions equal five percent of creditable compensation; and

WHEREAS, the second enactment clause of Chapter 822 of the 2012 Acts of Assembly (SB497) requires an increase in total creditable compensation, effective July 1, 2012, to each such employee in service on June 30, 2012, to offset the cost of the member contributions, such increase in total creditable compensation to be equal to the difference between five percent of the employee's total creditable compensation and the percentage of the member contribution paid by such employee on January 1, 2012.

BE IT THEREFORE RESOLVED, that the Fluvanna County 55132 does hereby certify to the Virginia Retirement System Board of Trustees that it shall effect the implementation of the member contribution requirements of Chapter 822 of the 2012 Acts of Assembly (SB497) according to the following schedule for the fiscal year beginning July 1, 2012 (i.e., FY2013):

Type of Employee	Employer Paid Member Contribution	Employee Paid Member Contribution
Plan 1	0%	5%
Plan 2	0%	5%
FY2013 employees	0%	5%

(Note: Each row must add up to 5 percent); and

BE IT FURTHER RESOLVED, that such contributions, although designated as member contributions, are to be made by the Fluvanna County in lieu of member contributions; and

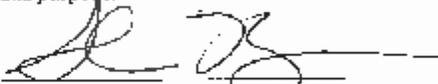
BE IT FURTHER RESOLVED, that pick up member contributions shall be paid from the same source of funds as used in paying the wages to affected employees, and

BE IT FURTHER RESOLVED, that member contributions made by the Fluvanna County under the pick up arrangement shall be treated for all purposes other than income taxation, including but not limited to VRS benefits, in the same manner and to the same extent as member contributions made prior to the pick up arrangement, and

BE IT FURTHER RESOLVED, that nothing herein shall be construed so as to permit or extend an option to VRS members to receive the pick up contributions made by the Fluvanna County directly instead of having them paid to VRS; and

BE IT FURTHER RESOLVED, that notwithstanding any contractual or other provisions, the wages of each member of VRS who is an employee of the Fluvanna County shall be reduced by the amount of member contributions picked up by the Fluvanna County or behalf of such employee pursuant to the foregoing resolutions.

NOW, THEREFORE, the officers of Fluvanna County 55132 are hereby authorized and directed in the name of the Fluvanna County to carry out the provisions of this resolution, and said officers of the Fluvanna County are authorized and directed to pay over to the Treasurer of Virginia from time to time such sums as are due to be paid by the Fluvanna County for this purpose.


Governing Body Chairman

CERTIFICATE

I, Mary L. Weaver, Clerk of the Fluvanna County, certify that the foregoing is a true and correct copy of a resolution passed at a lawfully organized meeting of the Fluvanna County held at Palmyra, Virginia at 7:00 o'clock on June 20, 2012. Given under my hand and seal of the Fluvanna County this 28 day of June, 2012.


Clerk

This resolution must be passed prior to July 1, 2012 and received by VRS no later than July 10, 2012.

BOARD OF SUPERVISORS AGENDA ITEM

Meeting Date: July 18, 2012

SUBJECT:	Adoption of the Fluvanna County Board of Supervisors regular meeting minutes.
MOTION(s):	I move the regular meeting minutes of the Fluvanna County Board of Supervisors for Wednesday, July 3, 2012 be adopted.
STAFF CONTACT:	Mary L. Weaver, Clerk to the Board of Supervisors
RECOMMENDATION:	Approval
TIMING:	Routine
DISCUSSION:	None
FISCAL IMPLICATIONS:	N/A
POLICY IMPLICATIONS:	N/A
LEGISLATIVE HISTORY:	None
ENCLOSURES:	Draft minutes for July 3, 2012

**FLUVANNA COUNTY BOARD OF SUPERVISORS
REGULAR MEETING MINUTES
Circuit Court Room
July 3, 2012, 2:00 p.m.**

MEMBERS PRESENT: Shaun V. Kenney, Chairman
Bob Ullenbruch, Vice-Chairman
Donald W. Weaver
Joe Chesser

MEMBERS ABSENT: Mozell H. Booker

ALSO PRESENT: Steven M. Nichols, County Administrator
Fred Payne, County Attorney
Mary L. Weaver, Clerk to the Board of Supervisors

CALL TO ORDER/PLEDGE OF ALLEGIANCE/MOMENT OF SILENCE

Chairman Kenney called the meeting of July 3, 2012, to order at 2:00 p.m., in the Circuit Courtroom in Palmyra, Virginia; and the Pledge of Allegiance was recited, after which, Chairman Kenney called for a moment of silence.

COUNTY ADMINISTRATOR'S REPORT

Mr. Steven M. Nichols, County Administrator reported on the following topics:

- Staff Announcements and Kudos – Fire and EMS crew did a great during the storm over the weekend. Roger Smith, FUSD/Sewer, did a great job keeping me informed with power outages through the weekend with the storm.
- New Employees – Introduced Mr. Andrew Notman, Information Technology Technician, and announced that Mr. Wayne Stephens starts work on July 9th as our new Public Works Director.
- Fluvanna Housing Foundation Building – in need of repair.
- County Signage – looking at improving the signage around the county to allow easier location of buildings and offices.
- Ongoing Reviews – reviewed the status of the following items; Boards, Commissions, and Committees, County Vehicle Fleet, Purchasing Procedures, Timekeeping, Departmental Budget Reviews, Easy to understand Taxes Chart with Equalization Rate, Real New High School Costs and County Debt and Future payoffs, Options, and Scenarios.

PUBLIC COMMENTS #1

Chairman Kenney opened the floor for the first round of public comments.

With no one wishing to speak, Chairman Kenney closed the first round of public comments.

CONSENT AGENDA

The following items were approved under the consent agenda:

MOTION:

Mr. Chesser moved to approve the consent agenda, which consisted of:

- FY12 Budget Supplement for Sheriff's Department Insurance Claim
- License Plate Reader Application.

Mr. Ullenbruch seconded. The motion carried, with a vote of 4-0. AYES: Ullenbruch, Kenney, Chesser and Weaver. NAYS: None. ABSENT: Booker.

ACCOUNTS PAYABLE

Ms. Barbara Horlacher, Finance Director addressed the Board regarding the accounts payable.

MOTION:

Mr. Weaver moved the Accounts Payable and payroll from May 26, 2012, through June 25, 2012, in the amount of \$1,402,437.69, be ratified. Mr. Ullenbruch seconded. The motion carried, with a vote of 4-0. AYES: Chesser, Ullenbruch, Kenney and Weaver. NAYS: None. ABSENT: Booker.

General Fund	\$ 611,712.44
Federal Grants	\$ 3,500.00
Capital Improvements	\$ 189,015.59
Debt Service	\$ 350.00
Sewer	\$ 5,048.43
Fork Union Sanitary District	<u>\$ 5,874.05</u>
Total Expenditures by Fund	\$ 815,500.51
Payroll – May	\$ 589,937.18
Total Payables & Payroll	<u>\$1,402,437.69</u>

PUBLIC HEARING

None

PRESENTATIONS

None

ACTION MATTERS

Elimination and Creation of Funded Staff Positions – Mr. Steven M. Nichols, County Administrator, addressed this request to eliminate the Director of Facilities and create a Senior Procurement Specialist position in the Department of Finance along with a salary raise for both the Buildings and Grounds Supervisors to acknowledge additional duties they will receive. Mr. Fred Payne, County Attorney, addressed his concurrence with the added position. Mr. Weaver requested a quarterly procurement and financial report be given.

MOTION:

Mr. Chesser moved to eliminate the Director of Facilities position effective July 7, 2012, and transfer the appropriated FY13 funding for salary and benefits in the amount of \$73,472.00 to the FY13 Non-Departmental Personnel Contingency.

Also create a Senior Procurement Specialist position in the Department of Finance, Pay Band 15, and transfer \$59,176.00 for FY13 salary and benefits to the Department of Finance from the FY13 Non-Departmental Personnel Contingency.

Also increase the Buildings Supervisor salary by 5% from \$30,000.00 to \$31,500.00, such funding to be transferred from the FY13 Non-Departmental Personnel Contingency, with the increase to be retroactive to July 1, 2012.

Also increase the Grounds Supervisor salary by 5% from \$30,000.00 to \$31,500.00, such funding to be transferred from the FY13 Non-Departmental Personnel Contingency, with the increase to be retroactive to July 1, 2012.

Mr. Weaver seconded. The motion carried, with a vote of 4-0. AYES: Chesser, Ullenbruch, Kenney and Weaver. NAYS: None. ABSENT: Booker.

Erosion and Sediment Control Position Funding – Mr. Steven M. Nichols, County Administrator, addressed with the Board his concern that the motion to transfer the funds for retaining the Erosion and Sediment Control Position was not recorded. Mr. Fred Payne, County Attorney suggested to ratify the motion in the staff report for June 20, 2012.

MOTION:

Mr. Chesser moved to ratify the motion from the June 20, 2012 Board of Supervisors Meeting;

amend the FY 2013 Adopted Budget to:

- Transfer \$31,550.00 from FY13 TJSWCD non-profit funding to FY13 Building Inspections Department salary and benefits, and transfer \$20,000.00 from FY13 Planning Department salary and benefits to FY13 Building Inspections Department salary and benefits.

Mr. Weaver seconded. The motion carried, with a vote of 4-0. AYES: Chesser, Ullenbruch, Kenney and Weaver. NAYS: None. ABSENT: Booker

Aqua Virginia PPEA Proposal – Mr. Steven M. Nichols, County Administrator, addressed with the Board that the PPEA guidelines were misread and would like to formally accept the unsolicited proposal for the purpose of Publication and Conceptual Phase consideration. Mr. Fred Payne, County Attorney, reminded the Board that this action does not mean that this proposal is being accepted just being said to be considered.

MOTION:

Mr. Chesser moved to formally accepted the AQUA Virginia Unsolicited PPEA Proposal for the purpose of Publication and Conceptual Phase consideration

pursuant to paragraph IV (A) 2 of the Fluvanna County PPEA Guidelines. Mr. Weaver seconded. The motion carried, with a vote of 4-0. AYES: Chesser, Ullenbruch, Kenney and Weaver. NAYS: None. ABSENT: Booker.

UNFINISHED BUSINESS

Update on Fire & EMS Study Team Visit – Mr. Steven M. Nichols, County Administrator, reviewed with the Board that the Fire and EMS Study Team met Friday and Saturday, June 29 – 30, 2012. Met with Mr. Chesser, representatives from Louisa County and Scottsville EMS, and local fire/EMS officials to talk about fire and EMS services in our locale. Town Hall meeting was held on Friday, June 29, 2012. The team received good information from their visit and will come back in September or October with a report in final form of observations and ideas about what could be done differently.

Update on Water Infrastructure Information Meetings – Mr. Steven M. Nichols, County Administrator, reviewed with the Board the current status of the water infrastructure. Mr., Robert Popowicz, Community Development Director, has designated to be our single point of contact for water issues, coordinate meetings, and setup functions on a reoccurring basis. The Fluvanna Chamber of Commerce sponsored several public information sessions. TJPDC has modified their Return on Investment package to include scenarios with and without partnerships. Mr. Popowicz and his staff are putting together a comprehensive map list of all water opportunities we see.

The Board would like to have a work session on water issues at the second session of the August 1, 2012 meeting.

NEW BUSINESS

None

PUBLIC COMMENTS #2

Chairman Kenney opened the floor for the second round of public comments. With no one wishing to speak, Chairman Kenney closed the second segment of public comments.

CLOSED MEETING

MOTION TO ENTER INTO A CLOSED MEETING:

At 2:43 p.m., Mr. Weaver moved the Fluvanna County Board of Supervisors enter into a closed session, pursuant to the Virginia Code Section 2.2-3711-A-5 for discussion of prospective industry. Mr. Chesser seconded. The motion carried, with a vote of 4-0. AYES: Kenney, Ullenbruch, Weaver and Chesser. NAYS: None. ABSENT: Booker.

MOTION TO EXIT A CLOSED MEETING & RECONVENE IN OPEN SESSION:

At 3:03p.m., Mr. Weaver moved the closed meeting be adjourned and the Fluvanna County Board of Supervisors reconvene again in open session. Mr.

Ullenbruch seconded. The motion carried, with a vote of 4-0. AYES: Kenney, Ullenbruch, Weaver and Chesser. NAYS: None. ABSENT: Booker.

MOTION:

At 3:04 p.m., the following resolution was adopted by the Fluvanna County Board of Supervisors, following a closed meeting held Tuesday, July 3, 2012, on motion of Mr. Weaver, seconded by Mr. Ullenbruch, and carried by the following vote of 4-0. AYES: Kenney, Ullenbruch, Weaver, and Chesser. NAYS: None. ABSENT: Booker.

“BE IT RESOLVED to the best of my knowledge (i) only public business matters lawfully exempted from open meeting requirements under Section 2.2-3711-A of the Code of Virginia, 1950, as amended, and (ii) only such public business matters as were identified in the motion by which the closed meeting was convened were heard, discussed or considered in the meeting.”

ADJOURN

MOTION:

At 3:05 p.m., Mr. Weaver moved to adjourn the meeting of Tuesday, July 3, 2012. Mr. Ullenbruch seconded. The motion carried, with a vote of 5-0. AYES: Kenney, Ullenbruch, Weaver and Chesser. NAYS: None. ABSENT: Booker.

ATTEST:

FLUVANNA COUNTY BOARD OF SUPERVISORS

Mary L. Weaver, Clerk

Shaun V. Kenney, Chairman

BOARD OF SUPERVISORS AGENDA ITEM

Meeting Date: July 18, 2012

SUBJECT:	U. S. Cellular - Amendment No. 3 to Tower and Ground Space Lease (Holdover)
MOTION(s):	I move to approve Amendment No. 3 to Tower and Ground Space Lease temporarily extending the lease for a wireless communications facility on County property, subject to approval as to form by the County Attorney, and authorize the County Administrator or Chairman to execute said lease amendment.
STAFF CONTACT:	Steven M. Nichols, County Administrator
RECOMMENDATION:	Approval
TIMING:	Implement July 18, 2012
DISCUSSION:	USCOC of Virginia RSA #3, Inc., successor in interest to Charlottesville Cellular Partnership (referred to as "U. S. Cellular") currently has a wireless communications facility located on the County's monopole adjacent to the Palmyra fire station. U. S. Cellular's lease expired on May 19, 2012. U. S. Cellular and the County have entered into negotiations for a new lease, but it will take some time for those negotiations to be completed, as the structure and site have changed significantly since the commencement of the prior lease in 1997 so that it is necessary for a new site plan and a new form of lease to be prepared. In order to permit the current holdover tenancy by U. S. Cellular on the monopole and to provide for payment of rent by U. S. Cellular while the site plan is prepared and a new lease is negotiated, U. S. Cellular proposes to enter into a third amendment of the existing lease. The amendment provides for monthly rent, extension of the lease on a month to month basis not to exceed a total of 7 months, and permits either party to terminate the extension at any time upon 30 days advance notice to the other party. The lease to be negotiated will require further action by the Board after a public hearing in accordance with Virginia Code Section 15.2-1800(B). The County recently entered into a lease with U. S. Cellular of telecommunications space on the Weber City water tower and CityScape Consultants is again assisting the County in negotiating with U. S. Cellular.
FISCAL IMPLICATIONS:	The amendment provides for monthly rent of \$1,800.00 from May 20, 2012, during the extension of up to 7 months. Under the terms of the existing lease, U. S. Cellular constructed a prior lattice tower and provided funds for the purchase of the site; the only current payment due to the County was \$60.00 per month in lieu of certain cellular telephone service.
POLICY IMPLICATIONS:	N/A
LEGISLATIVE HISTORY:	N/A
ENCLOSURES:	Fluvanna Palmyra USCellular Amendment #3

AMENDMENT No. 3 to TOWER AND GROUND SPACE LEASE

THIS AMENDMENT No 3 to TOWER AND GROUND SPACE LEASE is dated as of _____, 2012, is made and entered into by and between the **BOARD OF SUPERVISORS OF FLUVANNA COUNTY, VIRGINIA**, a political subdivision of the Commonwealth of Virginia, with its principal offices at 132 Main Street, Palmyra, Virginia 22963, hereinafter designated LESSOR and USCOC of Virginia RSA #3, Inc., a Virginia corporation, as successor in interest to Charlottesville Cellular Partnership, a Washington, DC general partnership, with its principal offices at 8410 West Bryn Mawr Avenue, Chicago, Illinois 60631 hereinafter designated LESSEE. The LESSOR and LESSEE are at times collectively referred to hereinafter as the "Parties" or individually as the "Party".

WITNESSETH:

WHEREAS, LESSOR and Charlottesville Cellular Partnership, a Washington DC general partnership, executed a Lease for a wireless communications facility on County property dated May 14th, 1997, as amended by Amendment No. 1 dated July 16, 2004 and a second amendment dated September 14, 2009 (the "Lease") and;

WHEREAS, LESSEE represents that it is the permitted successor in interest to Charlottesville Cellular Partnership in accordance with the terms of the Lease; and

WHEREAS, the term of the Lease expires on May 19, 2012; and

WHEREAS, LESSOR and LESSEE desire to extend the term of the Lease on an interim basis until the parties can negotiate and complete a new lease agreement for the subject premises;

NOW, THEREFORE, the parties hereto agree as follows:

1. All of the above recitations are true and correct and are incorporated herein by reference.
2. To the extent, if any, that any provision(s) of this AMENDMENT may conflict with any provision(s) of the LEASE or any prior ADDENDUM or AMENDMENT, the provision(s) of this AMENDMENT shall prevail.
3. LESSEE acknowledges that the Lease has expired as of May 19, 2012 and shall be extended on a month to month basis not to exceed a total of seven (7) months.
4. LESSEE agrees to pay monthly Rent as set forth herein, commencing as of May 20, 2012. The monthly Rent shall be as follows and paid in installments in advance in the sum of \$1,800.00 per month. The Rent for the term of May 20 to June 19, 2012 and June 20 to July 19, 2012 in the total sum of \$3,600.00 shall be paid upon execution of this Amendment No. 3. Subsequent payments shall be due in advance on the 20th day of each month (commencing July 20th, 2012).
5. LESSOR or LESSEE may terminate this month to month extension at any time upon 30 days advance notice to the other party.
6. LESSOR and LESSEE agree that LESSEE's obligation under Amendment No. 1 dated July 16, 2004 to pay \$60.00 per month in lieu of Cellular Phone Service under sections 40 and 41 of the Lease terminated as of May 19, 2012.

Site Name: Palmyra

24
Site Number: 768307

EXCEPT AS AND TO THE EXTENT HEREIN MODIFIED, ALL OTHER PROVISIONS OF THE LEASE ARE HEREBY RATIFIED AND AGREED TO BE IN FULL FORCE AND EFFECT AND REMAIN UNCHANGED.

SIGNATURES TO FOLLOW:

IN WITNESS WHEREOF, the Parties hereto have set their hands and affixed their respective seals the day and year first above written.

**LESSOR:
BOARD OF SUPERVISORS OF FLUVANNA
COUNTY, VIRGINIA**

By: _____

Print Name: _____

Title: _____

Date: _____

APPROVED AS TO FORM:

FLUVANNA COUNTY ATTORNEY

LESSEE: USCOC of Virginia RSA #3, Inc.

By: _____

Print Name: _____

Title: _____

Date: _____

BOARD OF SUPERVISORS AGENDA ITEM

Meeting Date: 7/18/12

SUBJECT:	FY12 Budget Supplement for Department of Social Services Share of the Cost Allocation Funds																		
MOTION(s):	I move the Board of Supervisors approve a supplemental appropriation to the general fund in the amount of \$24,145.39 to accommodate the annual cost allocation payment to Social Services Special Welfare Fund.																		
STAFF CONTACT:	Eric Dahl, Budget Analyst																		
RECOMMENDATION:	I recommend approval of the supplemental appropriation stated above and that the Board of Supervisors request staff to make the necessary transfers from the General Fund, the Department of Social Services, and the Special Welfare funds.																		
TIMING:	June 30, 2012																		
DISCUSSION:	<ul style="list-style-type: none"> • Annually the County has a Cost Allocation Plan (CAP) prepared for the purpose of accounting for the indirect overhead costs the County incurs for the Department of Social Services. • The CAP allows a locality to receive some federal reimbursement for a portion of allowable costs that benefit programs administered by the local Department of Social Services. • In March 1997, the Board of Supervisors agreed to share the CAP funds in the percentage of 33 1/3% with the Department of Social Services to be deposited into the Special Welfare fund. • The table below represents the CAP funds received and the 33 1/3% share given to the Department of Social Services over the last five fiscal years: <table border="1" style="margin-left: auto; margin-right: auto;"> <thead> <tr> <th>FY</th> <th>CAP Funds Received</th> <th>33 1/3% Share to DSS</th> </tr> </thead> <tbody> <tr> <td>2008</td> <td>\$61,158</td> <td>\$20,390</td> </tr> <tr> <td>2009</td> <td>\$69,074</td> <td>\$23,029</td> </tr> <tr> <td>2010</td> <td>\$73,679</td> <td>\$24,564</td> </tr> <tr> <td>2011</td> <td>\$58,147</td> <td>\$19,384</td> </tr> <tr> <td>2012</td> <td>\$72,443</td> <td>\$24,145</td> </tr> </tbody> </table>	FY	CAP Funds Received	33 1/3% Share to DSS	2008	\$61,158	\$20,390	2009	\$69,074	\$23,029	2010	\$73,679	\$24,564	2011	\$58,147	\$19,384	2012	\$72,443	\$24,145
FY	CAP Funds Received	33 1/3% Share to DSS																	
2008	\$61,158	\$20,390																	
2009	\$69,074	\$23,029																	
2010	\$73,679	\$24,564																	
2011	\$58,147	\$19,384																	
2012	\$72,443	\$24,145																	
FISCAL IMPLICATIONS:	A budget supplement as requested by the Department of Social Services would increase the FY12 General Fund revenues and expenditures by \$24,145.39.																		
POLICY IMPLICATIONS:	N/A																		
LEGISLATIVE HISTORY:	The Board of Supervisors adopted a "Resolution – Distribution of Cost Allocation Funds" on March 5, 1997.																		
ENCLOSURES:	Resolution - Distribution of Cost Allocation Funds																		

Resolution
Distribution of Cost Allocation Funds

Whereas, the Social Services Board has requested the Board of Supervisors consider the distribution of a percent of the cost allocation funds for use by the Social Services Board in the Special Welfare fund; and

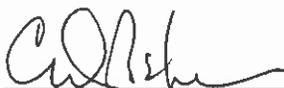
Whereas, the funds are to be used for special issues which the Social Services Board has the need for certain discretionary funds; and

Whereas, the cost allocation funds are federal and state reimbursement for costs of government to support the Social Services Board and are periodically received by the County General Fund.

Now, therefore be it resolved by the Board of Supervisors of Fluvanna County that 33 1/3% of the funds received for cost allocation reimbursement be distributed to the Department of Social Services for deposit with the Treasurer into the Special Welfare fund.

Further be it resolved that effective July 1, 1997 the Social Services Board shall budget within its administration funds the cost of monthly payment for Social Services Board members.

adopted this 5th day of March 1997



Clerk Board of Supervisors

c: Director of Social Services
 Treasurer
 Director of Finance

BOARD OF SUPERVISORS AGENDA ITEM

Meeting Date: 7/18/12

SUBJECT:	FY12 Budget Supplement for Registrar/Electoral Board March Primary Reimbursement Funds
MOTION(s):	I move the Board of Supervisors approve a supplemental appropriation to the FY12 Registrar/Electoral Board budget in the amount of \$9,675.87 to reflect March Primary reimbursement funding.
STAFF CONTACT:	Joyce Pace, General Registrar
RECOMMENDATION:	I recommend approval of the supplemental appropriation as stated above.
TIMING:	June 30,2012
DISCUSSION:	The State Board of Elections provided reimbursement funding to the County for the March Presidential Primary. These funds will help to offset expenditures incurred from the two unplanned primary's in FY12 and replacement of electronic poll books. The Finance Department concurs with the above supplemental appropriation.
FISCAL IMPLICATIONS:	A budget supplement as requested by the Registrar/Electoral Board would increase FY12 General Fund Budget revenues and expenditures by \$9,675.87.
POLICY IMPLICATIONS:	N/A
LEGISLATIVE HISTORY:	N/A
ENCLOSURES:	Commonwealth of Virginia EDI Remittance

ERIC

Tue, June 19, 2012

Page 1

Commonwealth of Virginia

EDI Remittance Detail

Total Amount: 81,923.14

Deposit Date: 06/20/2012

Trace Number T228649:

Agy No	Amount	Offset Amount	Invoice Number	Invoice Date	Customer Number	Voucher Number	Description
* 132	9,675.87	0.00	R2776			5000614	PRES PRIMRY RE MBMT 12 *
Tot 132	9,675.87						
161	72,247.27	0.00	0000077			61617040	COMMUNICATION TAX
Tot 161	72,247.27						

BOARD OF SUPERVISORS AGENDA ITEM

Meeting Date: July 18, 2012

SUBJECT:	FY12 Budget Supplement for Planning Development Cell Tower Applications
MOTION(s):	I move the Board of Supervisors approve a supplemental appropriation of \$12,000.00 to the FY12 Planning Development Budget to reflect an increase in the number of cell tower applications.
STAFF CONTACT:	Allyson Finchum, Planning Director
RECOMMENDATION:	I recommend approval of the supplemental appropriation as stated above.
TIMING:	June 30, 2012
DISCUSSION:	During the FY12 Budget process the amount of cell tower applications to be received was based upon projected estimates at the time. Currently, there are three invoices totaling \$12,000.00 from CityScape Consultants for review of cell tower applications, in accordance with the Telecommunications Plan. The FY12 estimates for special use permits and the associated expenditures were underestimated. The Finance Department concurs with the above supplement appropriation.
FISCAL IMPLICATIONS:	The FY12 General Fund Budget revenues and expenditures will increase by \$12,000.00.
POLICY IMPLICATIONS:	None.
LEGISLATIVE HISTORY:	None.
ENCLOSURES:	Special Use Permits Submittals and the Corresponding CityScape Consultants, Inc. Invoice #'s 2412, 2413 & 2414.



Special Use Permits (SUP) Submittals

Fluvanna County Planning
Department P.O. Box 540
Palmyra, VA 22963

Date Received: 3/13/2012 Status: BOS Status Date: 7/18/2012

ID#: SUP 12-002 Tax Map: 48 Parcels: (A)94 Deadline Review Date:

Applicant Name: Clear Signal Towers, LLC Planner Assigned: Andrew

District: Cunningham Land Use: Rural Residential Zoning: A-1 PC Ad Date: 6/14/2012

PC-APO Date: 6/13/2012

Description: Hardware River Cell Tower BOS Ad Date: 7/5/2012

BOS-APO Date: 7/4/2012

Action: PC Approved Action Date: 6/27/2012 Put Out PH Sign: 6/13/2012

Expires/Comments: Total Acreage: 71.46 Pick Up PH Sign: 7/19/2012

Renewal Date: Sign Deposit Refunded

Approval Letter: \\f-st\planning\Planning Department Documents\Planning FY Received: 2012

FY Returned:

Payment Information

Amount Recieved	Payment Date	Payment Type	Check Number	Type	Line Number	Code	Descript
\$5,500.00	4/19/2012	Check	2334	SUP	3-100-013030-0039	SPCU	Hardware River
\$90.00	4/19/2012	Check	2368	DPH	3-100-013030-0032	SIGN	Sign Deposit



Special Use Permits (SUP) Submittals

Fluvanna County Planning
Department P.O. Box 540
Palmyra, VA 22963

Date Received: 3/14/2012 Status: PC Approved/Waiting on New Plats Status Date: 6/27/2012

ID#: SUP 12-003 Tax Map: 59 Parcels: (A)13B Deadline Review Date:

Applicant Name: Clear Signal Cell Towers, LLC Planner Assigned: Steve

District: Fork Union Land Use: Rural Residential Zoning: A-1 PC Ad Date: 6/14/2012

PC-APO Date: 6/13/2012

Description: Weber City Cell Tower BOS Ad Date: 7/5/2012

BOS-APO Date: 7/4/2012

Action: PC Approved Action Date: 6/27/2012 Put Out PH Sign: 6/13/2012

Expires/Comments: Total Acreage: 46.6 Pick Up PH Sign: 7/19/2012

Renewal Date: Sign Deposit Refunded

Approval Letter: \\f-t-st\planning\Planning Department Documents\Planning FY Received: 2012

FY Returned:

Payment Information

Amount Recieved	Payment Date	Payment Type	Check Number	Type	Line Number	Code	Description
\$5,500.00	4/19/2012	Check	2333	SUP	3-100-013030-0039	SPCU	Weber City Cell
\$90.00	4/19/2012	Check	2365	DPH	3-100-013030-0032	SIGN	Sign Deposit



Special Use Permits (SUP) Submittals

Fluvanna County Planning
Department P.O. Box 540
Palmyra, VA 22963

Date Received: 3/15/2012 Status: PC Approved/Waiting on New Plats Status Date: 6/27/2012

ID#: SUP 12-004 Tax Map: 50 Parcels: (A)3 Deadline Review Date:

Applicant Name: Clear Signal Cell Towers, LLC

Planner Assigned: Steve

District: Fork Union Land Use: Rural Preservation Zoning: A-1 PC Ad Date: 6/14/2012

PC-APO Date: 6/13/2012

Description: Cohasset Cell Tower

BOS Ad Date: 7/5/2012

Action: PC Approved Action Date: 6/27/2012

BOS-APO Date: 7/4/2012

Expires/Comments: Total Acreage: 97.7

Put Out PH Sign: 6/13/2012

Renewal Date:

Pick Up PH Sign: 7/19/2012

Sign Deposit Refunded

Approval Letter: \\ft-st\olanning\Planning Department Documents\Planning

FY Recieved: 2012

FY Returned:

Payment Information

Amount Recieved	Payment Date	Payment Type	Check Number	Type	Line Number	Code	Description
\$5,500.00	4/19/2012	Check	2336	SUP	3-100-013030-0039	SPCU	Cohasset Cell To
\$90.00	4/19/2012	Check	2366	DPH	3-100-013030-0032	SIGN	Sign Deposit



Received

JUN 04 2012

Fluvanna County

INVOICE

7050 W. Palmetto Park Rd #15-652
Boca Raton, FL 33433
Tel: (954) 609-9797 Fax: (877) 220-4593

DATE	INVOICE #
5/25/2012	2412
Project	
Reviews	

BILL TO

Fluvanna County Stephen Tugwell, Planning & Zoning 132 Main Street Palmyra, VA 22963

Project Ref/PO:
AT&T/Hardware River

Description	Rate	Amount																								
Site Plan and RF Review Evaluation: AT&T Mobility, Hardware River Application submitted by AT&T Wireless and Clear Signal International to construct a new 195 foot tower; #VA9032, Virginia Byway, Fluvanna County, Virginia. Review Completed 05-09-2012 <div style="text-align: center;">  <p>INVOICE CERTIFICATION</p> <table border="0"> <tr> <td>ORG #</td> <td>OBJECT #</td> <td>AMOUNT</td> </tr> <tr> <td>_____</td> <td>_____</td> <td>_____</td> </tr> <tr> <td>_____</td> <td>_____</td> <td>_____</td> </tr> <tr> <td>_____</td> <td>_____</td> <td>_____</td> </tr> <tr> <td>SIGNATURE</td> <td colspan="2">DATE</td> </tr> <tr> <td>_____</td> <td colspan="2">_____</td> </tr> <tr> <td>SIGNATURE</td> <td colspan="2">DATE</td> </tr> <tr> <td>_____</td> <td colspan="2">_____</td> </tr> </table> </div>	ORG #	OBJECT #	AMOUNT	_____	_____	_____	_____	_____	_____	_____	_____	_____	SIGNATURE	DATE		_____	_____		SIGNATURE	DATE		_____	_____		4,000.00	4,000.00
ORG #	OBJECT #	AMOUNT																								
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7050 W. Palmetto Park Rd #15-652
 Boca Raton, FL 33433
 Tel: (954) 609-9797 Fax: (877) 220-4593

Received
 JUN 04 2012
 Fluvanna County

INVOICE

DATE	INVOICE #
5/25/2012	2413
Project	
Reviews	

BILL TO

Fluvanna County
 Stephen Tugwell, Planning & Zoning
 132 Main Street
 Palmyra, VA 22963

Project Ref/PO:
ATT/Cohassett 446

Description	Rate	Amount																								
Site Plan and RF Review Evaluation: AT&T Mobility, Cohassett 446 Application submitted by AT&T Wireless and Clear Signal International to construct a new 195 foot tower; #VA9030 - SR 650, Palmyra, Fluvanna County, Virginia Review Completed 05-09-2012  <p>INVOICE CERTIFICATION</p> <table border="0"> <tr> <td>ORG #</td> <td>OBJECT #</td> <td>AMOUNT</td> </tr> <tr> <td>_____</td> <td>_____</td> <td>_____</td> </tr> <tr> <td>_____</td> <td>_____</td> <td>_____</td> </tr> <tr> <td>_____</td> <td>_____</td> <td>_____</td> </tr> <tr> <td>SIGNATURE</td> <td colspan="2">DATE</td> </tr> <tr> <td>_____</td> <td colspan="2">_____</td> </tr> <tr> <td>SIGNATURE</td> <td colspan="2">DATE</td> </tr> <tr> <td>_____</td> <td colspan="2">_____</td> </tr> </table>	ORG #	OBJECT #	AMOUNT	_____	_____	_____	_____	_____	_____	_____	_____	_____	SIGNATURE	DATE		_____	_____		SIGNATURE	DATE		_____	_____		4,000.00	4,000.00
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7050 W. Palmetto Park Rd #15-652
 Boca Raton, FL 33433
 Tel: (954) 609-9797 Fax: (877) 220-4593

Received

JUN 04 2012

Fluvanna County

INVOICE

DATE	INVOICE #
5/25/2012	2414
Project	
Reviews	

BILL TO

Fluvanna County
 Stephen Tugwell, Planning & Zoning
 132 Main Street
 Palmyra, VA 22963

Project Ref/PO:
AT&T/Weber City 439

Description	Rate	Amount																								
Site Plan and RF Review Evaluation: AT&T Mobility, Weber City 439 Application submitted by AT&T Wireless and Clear Signal International to construct a new 195 foot tower; #VA9029 - James Madison Hwy, Fork Union, Fluvanna County, Virginia Review Completed 05-09-2012  <p>INVOICE CERTIFICATION</p> <table> <tr> <td>ORG #</td> <td>OBJECT #</td> <td>AMOUNT</td> </tr> <tr> <td>_____</td> <td>_____</td> <td>_____</td> </tr> <tr> <td>_____</td> <td>_____</td> <td>_____</td> </tr> <tr> <td>_____</td> <td>_____</td> <td>_____</td> </tr> <tr> <td>SIGNATURE</td> <td>DATE</td> <td></td> </tr> <tr> <td>_____</td> <td>_____</td> <td></td> </tr> <tr> <td>SIGNATURE</td> <td>DATE</td> <td></td> </tr> <tr> <td>_____</td> <td>_____</td> <td></td> </tr> </table>	ORG #	OBJECT #	AMOUNT	_____	_____	_____	_____	_____	_____	_____	_____	_____	SIGNATURE	DATE		_____	_____		SIGNATURE	DATE		_____	_____		4,000.00	4,000.00
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Total	\$4,000.00
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BOARD OF SUPERVISORS AGENDA ITEM

Meeting Date: 7/18/12

SUBJECT:	FY12 Budget Supplement for Sheriff's Department Insurance Claim
MOTION(s):	I move the Board of Supervisors approve a supplemental appropriation of \$1,529.00 to the FY12 Sheriff's budget to reflect reimbursement from an insurance claim for damages to a vehicle.
STAFF CONTACT:	Eric Dahl, Budget Analyst
RECOMMENDATION:	I recommend approval of the supplemental appropriation as stated above.
TIMING:	June 30, 2012
DISCUSSION:	This action maintains the integrity of the FY12 budget.
FISCAL IMPLICATIONS:	The FY12 General Fund budget revenues and expenditures will increase by \$1,529.00.
POLICY IMPLICATIONS:	None
LEGISLATIVE HISTORY:	None
ENCLOSURES:	VaCorp letter and a copy of the reimbursement check.



VACoRP

June 25, 2012

308 Market Street, SE, Suites 1 & 2
Roanoke, Virginia 24011

540.345.8500

toll free 888.822.6772

fax 540.345.5330

toll free 877.212.8599

Fluvanna County
P.O. Box 540
Palmyra, VA 22963

Attention: Crystal Besecker, Budget Analyst

Virginia Association of Counties Self-Insurance Risk Pool

Participant: Fluvanna County

Claim Number: 0322012063093

Date of Loss: 05-03-12

Dear Ms. Besecker:

Enclosed please find a VACoRP property damage check in the amount of \$1,529.00 to cover the repair cost of the 2008 Ford Crown Victoria VIN3097 that hit a deer. This amount was determined by the Scott's Paint & Body Inc. estimate that was submitted in the amount of \$2,029.00 before the \$500.00 policy deductible was applied.

If you should have any questions regarding this payment, please feel free to call our office.

Sincerely,

Susan C. Farris, CIC, CISR
Claims Specialist

Enc. – check

VACORP CLAIMS
308 Market St. SE. STE 1 & 2
Roanoke, VA 24011
540-345-8500

FIRST CITIZENS BANK

39

68-183/514
412

DATE	CHECK NO.
6/26/2012	74339
AMOUNT	
\$ **1,529.00**	

PAY TO THE ORDER OF One Thousand Five Hundred Twenty-Nine and 00/100 Dollars*****

Fluvanna
P.O. Box 299
Route 15 S. County Admin Bldg
Palmyra, VA 22963

Michael Stapp

AUTHORIZED ACCOUNT SIGNER
TWO SIGNATURES REQUIRED OVER \$30,000

SECURITY FEATURES INCLUDED. DETAILS ON BACK

⑈ 74339 ⑈ ⑆ 0514018361008921921150 ⑈

REMITTANCE STATEMENT - PLEASE DETACH BEFORE DEPOSITING

Description	From Date	To Date	Invoice #	Invoice Amt	Amount
Auto Comprehensive			Repair Estimate	\$2,029.00	\$2,029.00
Auto Comprehensive			Deductible	\$2,029.00	(\$500.00)

Claim Number: 0322012063093 Claimant: Fluvanna Payee: Fluvanna
Check Number: 74339 Total Check Amt: \$1,529.00 Event Date: 5/3/2012 Department: 032 Fluvanna Date of Check: 6/26/2012
Memo: Repair Estimate

BOARD OF SUPERVISORS AGENDA ITEM

Meeting Date: 7/18/12

SUBJECT:	FY12 Four-for-Life Supplemental Appropriation
MOTION(s):	I move the Board of Supervisors approve the requested supplemental appropriation to accommodate additional funding received from the Office of Emergency Medical Services in the amount of \$2,590.28 for the FY12 Four-For-Life program.
STAFF CONTACT:	Eric Dahl, Budget Analyst
RECOMMENDATION:	I recommend approval to maintain the accuracy of the FY12 budget.
TIMING:	June 30, 2012
DISCUSSION:	None
FISCAL IMPLICATIONS:	This will increase the FY12 General Fund budget on both the revenue and expenditure sides by \$2,590.28. No additional funding is required by the County.
POLICY IMPLICATIONS:	None
LEGISLATIVE HISTORY:	N/A
ENCLOSURES:	Award letter from the Commonwealth of Virginia



COMMONWEALTH OF VIRGINIA

Department of Health

Office of Emergency Medical Services

1041 Technology Park Drive

Glen Allen, VA 23059-4500

1-800-523-6019 (VA only)

804-888-9100

FAX: 804-371-3108

Karen Remley, M.D., MBA FAAP
State Health Commissioner

Gary R. Brown
Director

P. Scott Winston
Assistant Director

March 20, 2012

FLUVANNA COUNTY
Post Office Box 299
Route 15, South
Palmyra VA 22963

Dear City/County Administrator:

IMMEDIATE ATTENTION REQUIRED

Please return this report within 30 days

Your locality will be receiving the Fiscal Year 2012 "Four-For-Life" payment for Emergency Medical Services (EMS) in the amount of **\$24,590.28**. *These funds are for the collection period March 1, 2011 through February 29, 2012.*

Guidelines for the use of these funds are attached. Prior to distribution of these funds to the local government, this office must receive your Report of Expenditures on last year's distribution. The total amount that must be reported for last year's distribution is annotated on the enclosed report.

The Four-For-Life program, as amended in 2000, stipulates that four additional dollars be charged and collected at the time of registration of each passenger vehicle, pickup and panel truck. The funds collected, pursuant to Section 46.2-694, Code of Virginia, shall be used only for emergency medical services. The law further states that the Department of Health shall return twenty-six percent (26%) of the registration fees collected to the locality wherein such vehicle is registered to provide funding for:

- (1) Training of volunteer or salaried emergency medical service personnel of licensed, nonprofit emergency medical service agencies; or
- (2) for the purchase of necessary equipment and supplies for licensed, nonprofit emergency medical service agencies.

It is important to recognize two clauses in the Four-For-Life legislation: (1) non-supplanting funds and (2) failure to report the use of funds by any local governing body will result in funds being retained. The Assistant Attorney General, at our request has offered the following interpretation for use of the funds. "Any funds received from Section 46.2-694 by a non-state agency cannot be used to match any other funds derived from Section 46.2-694 by that same non-state agency" Simply put, funds returned to localities cannot be used as the matching share of any grants offered using Four-For-Life funds.

*"Each local governing body shall report to the Board of Health on the use of **Four-For-Life** funds, which were returned to it. In any case in which the local governing body grants the funds to a regional emergency medical council to be distributed the licensed, nonprofit emergency medical and rescue services, the local governing body shall remain responsible for the proper use of the funds. If, at the end of any fiscal year, a report on the use of **Four-For-Life** funds for that year has not been received from a local governing body, any funds due to that local governing body for the next fiscal year shall be retained until such time as the report has been submitted to the Board."*

If you have any questions or need additional information, please do not hesitate to contact Brenda Carroll, OEMS Accountant, at (804) 888-9100.

Sincerely,



Dennis J. Molnar
Business Manager

Encl.:

Guidelines for Expenditures of EMS Funds
Four-For-Life Report of Expenditures Form

BOARD OF SUPERVISORS AGENDA ITEM

Meeting Date: 7/18/12

SUBJECT:	FY13 Grants Administrator Budget Transfer
MOTION(s):	I move to transfer the appropriated FY13 Grants Administrator salary and benefits in the amount of \$69,721.00 effective July 1, 2012 from the County Administration Department to the Economic Development Department.
STAFF CONTACT:	Steven M. Nichols, County Administrator
RECOMMENDATION:	Approval
TIMING:	July 1, 2012
DISCUSSION:	This transfer allows for a realignment of FY13 budgetary amounts with the appropriate changes made to the new Fluvanna County Organizational Chart.
FISCAL IMPLICATIONS:	The FY13 County Administration budget will decrease \$69,721.00 and the Economic Development budget will increase \$69,721.00.
POLICY IMPLICATIONS:	N/A
LEGISLATIVE HISTORY:	N/A
ENCLOSURES:	N/A



COUNTY OF FLUVANNA

"Responsive & Responsible Government"

P.O. Box 540 Palmyra, VA 22963 (434) 591-1910 FAX (434) 591-1911 www.co.fluvanna.va.us

STAFF REPORT

To: Fluvanna County Board of Supervisors
Case Number: SUP 12:02
Tax Map: 48(A)94

From: Andrew Pompei
District: Cunningham
Date: July 18, 2012

General Information: This request is to be heard by the Board of Supervisors Wednesday, July 18, 2012 at 7:00 pm in the Circuit Courtroom of the Fluvanna County Courts Building.

Applicant: Clear Signal Towers, LLC

Requested Action: A request for a Special Use Permit (SUP) to allow for a 175-foot wireless telecommunications tower (reduced from 195 feet per the original application) with respect to 71.46 acres of Tax Map 48, Section A, Parcel 94 (Attachment A).

Existing Zoning: A-1, Agricultural, General

Planning Area: Rural Residential

Zoning Ordinance: Article 27: *Regulation of Telecommunications Facilities*

Location: The affected property is located on the north side of West River Road (State Route 6) 1.3 miles west of its intersection with Hardware River Road (State Route 646). (Attachment B)

Existing Land Use: The property consists of managed timberland, most of which is planted with loblolly pines.

Adjacent Land Use: The surrounding area is largely undeveloped, with a few scattered residences nearby. Thistle Gate Vineyard, a farm winery, is located immediately east of the subject property.

Zoning History: No previous zoning activities

Analysis

The applicant has requested a Special Use Permit (SUP) to allow the construction of a 175-foot monopole-type telecommunications tower on Tax Map 48, Section A, Parcel 94. The tower will

be constructed within a 10,000 square foot (100' x 100') compound that will also house the necessary accessory structures.

Two (2) general guidelines are used when evaluating a request for a Special Use Permit (SUP), as set forth in the Fluvanna County Zoning Ordinance (Sec. 22-17-4D).

First, the proposed use should not tend to change the character and established pattern of the area or community.

Character of Surrounding Area

The proposed tower is located in the southwestern portion of the county off of State Route 6 (West River Road), near the Hardware River. The surrounding area is largely undeveloped and retains its rural, scenic character. A few scattered homes are located along existing roadways, interspersed amongst forests and open fields. Many of the surrounding parcels are quite large, with several spanning more than 40 acres. Thistle Gate Vineyard, Fluvanna County's first winery, is located immediately east of the subject property, along the Hardware River; a tasting room is under construction and is planned to open this summer.

State Route 6: Designated Virginia Byway

The visual impacts to State Route 6 should be considered, since the road is a designated Virginia Byway. According to the Virginia Department of Transportation (VDOT), roads may be designated as Virginia Byways if they meet the following criteria:

- The route provides important scenic values and experiences;
- There is a diversity of experiences, as in transition from one landscape scene to another;
- The route links together or provides access to scenic, historic, recreational, cultural, natural and archeological elements;
- The route bypasses major roads or provides opportunities to leave high-speed routes for variety and leisure in motoring. Landscape control or management along the route is feasible;
- The route allows for additional features that will enhance the motorist's experience and improve safety; and
- The local government has initiated zoning or other land-use controls, so as to reasonably protect the aesthetic and cultural value of the highway.

Due to local topography and the existing vegetation, the tower is not easily visible from State Route 6 or adjacent properties (Attachment C). Since the tower compound is located in a heavily-wooded area nearly 1,000 feet from the right-of-way, the tower's base and accompanying structures will not be visible (if the vegetation remains as-is).

Conformance with the Wireless Telecommunications Facilities Master Plan

According to the *Wireless Telecommunications Facilities Master Plan*, there are no existing towers in the area (Attachment D). The closest two (2) existing towers are located more than three (3) miles away (110' monopole-type tower at Cunningham Elementary School; guyed tower at Transco: Fluvanna Station). A 195' monopole-type tower was approved in 2011 approximately 1.75 miles west of the site, at the Veterans of Foreign Wars (VFW) Post 8169 (SUP 11:03). The maps provided by the applicant show that the area surrounding the proposed tower has very limited cellular coverage (Attachment A). The *Wireless Telecommunications Facilities Master Plan* does not designate this site as a proposed emergency service location (Attachment E).

Second, the proposed use should be compatible with the uses permitted by-right in that zoning district and shall not adversely affect the use/or value of neighboring property.

Zoning

The subject property and all adjoining parcels are zoned A-1 (Agricultural, General). The A-1 zoning district is intended to accommodate limited residential development, as well as small-scale commercial and industrial uses that are directly related to agriculture, forestry, and other traditionally rural uses. Non-concealed freestanding telecommunications antennas require a special use permit within A-1 districts.

If this request were approved, the applicant will be required to submit a site development plan for review, in accordance with Article 23: *Site Development Plans* of the Fluvanna County Zoning Ordinance (Attachment A).

Relationship to Neighboring Properties

The proposed tower will be more than one-quarter ($\frac{1}{4}$) mile from the nearest residence. Existing vegetation effectively screens the tower compound from State Route 6 and adjoining properties. Based on the balloon test, the tower itself will not be easily visible from adjacent parcels.

Since the subject property is managed timberland, clear-cutting the parcel would likely make the tower more visible to adjacent properties, including Thistle Gate Vineyards. To address this issue, the applicant and property owner have agreed to leave a sixty-foot (60') wide vegetated buffer along a portion of the property adjacent to Thistle Gate Vineyards (Attachment F).

Comprehensive Plan

According to the Comprehensive Plan, the subject property is designated for rural residential uses. Rural residential areas are intended to retain their rural character, with limited residential development permitted in clusters that maximize the amount of open space preserved. Generally, residential densities may be up to one unit per two acres.

The *Infrastructure* chapter of the Comprehensive Plan includes several recommendations regarding the siting and design of telecommunications facilities (page 110):

- Minimize the impacts of wireless communications facilities on surrounding areas;
- Encourage the location and co-location of wireless communication equipment on existing structures;
- Accommodate the growing need and demand for wireless communication services;
- Encourage coordination between communication providers;
- Establish consistent and balanced legal language governing wireless communications facilities that take into consideration the Comprehensive Plan and communications master plan; and
- Maintain compliance with applicable laws, including but not limited to the 1996 Telecommunications Act.

The *Community Design* chapter of the Comprehensive Plan also addresses the design and siting of telecommunications facilities. The plan encourages developers to use innovative design techniques to minimize the visual impact of new facilities (page 73).

Neighborhood Meeting

The neighborhood meeting was held on May 9, 2012. George and Leslie Cushnie, owners of Thistle Gate Vineyards (which lies immediately adjacent to the subject property), commented on the request. They were concerned with the visual impact the proposed tower would have on their property, especially if the existing trees were removed. Since the property is managed timberland, there is a high likelihood that the trees will be harvested, exposing the tower. Although the balloon test was not easily visible from the vineyards themselves, it was visible from the upper levels of their home, compromising their views of the Blue Ridge Mountains. The Cushnies are concerned that patrons would not be willing to visit the winery, if a large tower is visible from the tasting room and the rest of their property.

Between the neighborhood meeting and the Planning Commission's public hearing, the Cushnies worked with the property owner and applicant to reach a compromise intended to satisfy all parties involved. The applicant and property owner agreed to the following conditions (Attachment F):

- Reduce the height of the proposed tower from 195 feet to 175 feet; and
- Retain a forested buffer at least 60 feet in width along a portion of the boundary between the subject property (Tax Map 48(A)94) and the Cushnie property (Tax Map 48(1)3).

Technical Review Committee

The Technical Review Committee (TRC) meeting was held on May 10, 2012. The following comments were made:

1. Virginia Department of Transportation (VDOT):

The proposed entrance on State Route 6 must conform to the design standards for a low-volume commercial entrance.

2. Planning Commission:

Members were interested in how the proposed site relates to the *Wireless Telecommunications Facilities Master Plan*, which will be described by CityScape Consultants. They also asked the applicant to provide a vicinity map that better shows the site's relationship to the surrounding area.

3. Fire Department:

The Fire Department was interested in how the proposed site relates to the *Wireless Telecommunications Facilities Master Plan*. The Fire Department would like to have the ability to locate equipment on proposed tower, if the need arises.

4. Health Department:

The proposed tower will not impact existing buildings, water or sewage systems.

5. Central Virginia Electric Cooperative (CVEC):

Electricity is available along State Route 6.

Some of the TRC comments are attached to this staff report (Attachment G).

Planning Commission

On June 27, 2012, the Planning Commission recommended **approval** of SUP 12:02, subject to the conditions listed in the staff report (Vote: 3-0-1; Babbitt abstained, Halstead absent).

No members of the public spoke regarding this request.

In a response to a question from the Planning Commission, the applicant stated that, if the towers are approved, construction would likely begin in six (6) to eight (8) months, following additional study and permitting.

Consultant's Recommendation

CityScape Consultants, Inc. has reviewed this request (Attachment H). The consultants stated that:

1. The proposed facility is required because of generally accepted and adequately demonstrated technological reasons and is essential in order for AT&T to provide satisfactory existing communications service and alleviate a signal coverage issue;
2. AT&T's submissions indicate there is a substantial service void in the general area surrounding the subject site and that the addition of new service at a height of 195 feet will help relieve these concerns. Therefore, the proposed location will sufficiently accomplish satisfactory service, and there are no reasonable alternative technologies to accommodate the Applicant's needs without the construction of a new facility; and
3. The proposed site is supported by the *Wireless Telecommunications Facilities Master Plan*.

CityScape Consultants, Inc. recommends that the application be approved with the following conditions:

1. The Applicant confirms the new support structure will be capable of supporting a total of six (6) antenna arrays, in compliance with EIA/TIA 222-G;
2. The proposed new tower shall accommodate no less than six (6) different wireless services providers' antenna arrays, all of the same general design;
3. The Applicant shall expand the ground compound to accommodate up to six (6) different wireless service providers' ground-mounted electronic equipment;
4. The Applicant shall obtain all necessary County permits prior to any work on the site;
5. All access ports shall be sufficiently sealed to prevent infiltration or habitation by any type of wildlife; and
6. The facility shall be protected from access from unauthorized personnel both during construction and during all periods of operation.

The report by CityScape Consultants was prepared prior to the applicant stating that the proposed tower's height would be reduced from 195 feet to 175 feet. CityScape Consultants said that this change does not affect their recommendation.

Conclusion

Per CityScape Consultants, this request generally adheres to the guidelines set forth within the *Wireless Telecommunications Facilities Master Plan*. The proposed tower would improve coverage in an area with poor service. However, the tall monopole structure may negatively impact the area's scenic beauty. If the existing pine plantation were harvested, the tower may be visible to State Route 6, a Virginia Byway, and Thistle Gate Vineyard, Fluvanna County's first winery; the applicant has made efforts to mitigate the visual impact of the proposed tower on these important assets to the local tourism industry. In reviewing this request, the Planning Commission should consider how the proposed tower:

- Conforms with the *Wireless Telecommunications Facilities Master Plan*;
- Improves telecommunications infrastructure within Fluvanna County; and
- Impacts the rural character, and associated tourism potential, of the surrounding area.

If approved, staff recommends that the following conditions be imposed:

1. The tower, including antennae, will not be higher than 179 feet and will not be lit;
2. The tower shall be in the same location as shown in the application;
3. The applicant will retain a forested buffer of no less than sixty feet (60') in width on Tax Map 48(A)94 along its boundary with Tax Map 48(1)3, from State Route 6 to iron set "B" as shown on the plat recorded in Plat Book 2, Page 181 at the Clerk's Office of the Circuit Court of Fluvanna County;
4. The applicant confirms the new support structure will be capable of supporting a total of six (6) antenna arrays, in compliance with EIA/TIA 222-G;

5. The proposed new tower shall accommodate no less than six (6) different wireless services providers' antenna arrays, all of the same general design;
6. The applicant shall expand the ground compound to accommodate up to six (6) different wireless service providers' ground-mounted electronic equipment;
7. The tower shall be available for co-location by other telecommunications companies, with Fluvanna County having the right of first refusal prior to the approval of each proposed co-location;
8. The applicant shall obtain all necessary County permits prior to any work on the site;
9. All access ports shall be sufficiently sealed to prevent infiltration or habitation by any type of wildlife;
10. The facility shall be protected from access from unauthorized personnel both during construction and during all periods of operation;
11. All feed lines shall be installed within the shell of the monopole and no lines will be exposed except at the antennas;
12. If the structures should no longer be needed, the applicant shall remove them, and restore the grounds to the prior condition; and
13. Violation of any condition of this permit shall be grounds for revocation of this permit.

Suggested Motion

I move that the Board of Supervisors **approve/deny** SUP 12:02, a special use permit request to allow the construction of a 175-foot monopole telecommunications tower with respect to 71.46 acres of Tax Map 48, Section A, Parcel 94 (if approved) subject to the conditions listed in the staff report.

Attachments

- A: Application Package (Amended June 27, 2012)
- B: Aerial Vicinity Map
- C: Applicant's Balloon Test Photos
- D: Map of Existing Wireless Telecommunications Inventory
- E: Map of Public Safety Tower Sites
- F: Correspondence with Adjoining Property Owners (George & Leslie Cushnie)
- G: Technical Review Committee (TRC) Comments
- H: Consultant's Report

Copy

- Owner: C. Michael Gray, 390 Windy Ridge Road, Scottsville, VA 24590
- Applicant: Clear Signal Towers, LLC, Dorothy Brunetti, 1801 Libbie Avenue, Suite 201, Richmond, VA 23226
- Consultant: CityScape Consultants, 10704 Elmbrook Court, Raleigh, NC 27614

Hardware Kiver
VA9032/CV444

Received

MAR 12 2012

Fluvanna County



COMMONWEALTH OF VIRGINIA
COUNTY OF FLUVANNA

Application for Special Use Permit (SUP)

Owner of Record: C. Michael Gray
E911 Address: 390 Windy Ridge Rd, Scottsville, VA
Phone: _____ Fax: N/A
Email: N/A

Applicant of Record: Clear Signal Towers, LLC
E911 Address: 1801 Libbie Ave, Suite 201, Richmond
Phone: 804-337-6470 Fax: 804-648-4809
Email: dorothy@vacapital.com

Representative: Dorothy Brunetti
E911 Address: 1801 Libbie Ave, Suite 201, Richmond
Phone: 804-337-6470 Fax: 804-648-4809
Email: dorothy@vacapital.com

Note: If applicant is anyone other than the owner of record, written authorization by the owner designating the applicant as the authorized agent for all matters concerning the request shall be filed with this application.

Tax Map and Parcel(s): 48-A-94
Acreage: 71.46 Zoning: AFD
Request for a SUP in order to: Construct a tower

Deed Book Reference: 609-628
Deed Restrictions? No Yes (Attach copy)
Proposed use of Property: Wireless Telecom Facility

Is property in Agricultural Forestal District? No Yes
If Yes, what district: 04

*Two copies of a plan must be submitted, showing size and location of the lot, dimensions and location of the proposed building, structure or proposed use, and the dimensions and location of the existing structures on the lot.

By signing this application, the undersigned owner/applicant authorizes entry onto the property by County Employees, the Planning Commission, and the board of Supervisors during the normal discharge of their duties in regard to this request and acknowledges that county employees will make regular inspections of the site.

Date: 3/1/12 Signature of Owner/Applicant: _____

Subscribed and sworn to before me this 1st day of MARCH, 2012 Register # 7273598

My commission expires: _____ My Commission Expires October 31, 2013

Notary Public: Remela Ann Pugh

Certification: Date: _____

Zoning Administrator: Darren Coffey

All plats must be folded prior to submission to the Planning Department for review. Rolled plats will not be accepted.

OFFICE USE ONLY	
Date Received: <u>3-12-12</u>	Pre-Application Meeting: _____ PH Sign Deposit Received: _____ Application #: SUP <u>12:002</u>
\$800.00 fee plus mailing costs paid: _____ Mailing Costs: \$20.00 Adjacent Property Owner(APO) after 1st 15, Certified Mail	
Amendment of Condition: \$400.00 fee plus mailing costs paid: _____	
Telecommunications Tower \$1,500.00 fee plus mailing costs paid: _____ \$5,500 w/Consultant Review paid: <u>CK# 2334</u>	
Election District: <u>Cunningham</u>	Planning Area: <u>Rural Residential</u>
Public Hearings	
Planning Commission	Board of Supervisors
Advertisement Dates: <u>June 14th + 21st</u>	Advertisement Dates: <u>July 5th + 12th</u>
APO Notification: <u>June 13, 2012</u>	APO Notification: <u>July 4, 2012</u>
Date of Hearing: <u>June 27, 2012</u>	Date of Hearing: <u>July 18, 2012</u>
Decision: _____	Decision: _____

Received

MAR 12 2012

VA 9032/CV444

Fluvanna County Fluvanna County Virginia

Hardware River

Communications Facility Application Checklist

Date Submitted: 11/6/11

APPLICANT'S NAME: Clear Signal Towers, LLC
 Phone: 804-337-6470 FAX: 804-648-4809 E-mail: dorothy@vacapital.com
 PROPERTY OWNER: _____ Phone: _____
 APPLICANT'S CONTACT: Dorothy Brunetti
 Address: 1701 Kibbie Ave, Suite 201, Richmond VA 23226
 Phone: 804-337-6470 FAX: 804-648-4809 E-mail: dorothy@vacapital.com
 Lessor/Licenser Contact Information:
 Name: C. Michael Gray
 Address: Virginia Byway, Scottsville, VA 24590
 Phone: _____ FAX: N/A E-mail: N/A

Commercial Wireless Provider AT&T

New Structure: Yes No Co-location: Yes No Water Tower: Yes No
 Replace Existing Structure: Yes No Replacement (upgrade) of existing antennas Yes No
 Stealth Attached Facility: Yes No New Stealth Antenna Support Structure: Yes No

FACILITY INFORMATION:

Site Address: Virginia Byway, Scottsville VA 24590
 Latitude (NAD83): 37-47-35.5 Longitude (NAD83): 78-24-47.9
 Ground Elevation (AMSL) (ft): 385' Total Height of Tower: (AGL) (ft) ~~175~~ 175 (DB)
 RAD Center (ft): ~~175~~ 175 DB
 TAX Parcel Identification Number: 48-A-94
 Present Zoning of Property: AFD
 Land Use and Description of Property: _____
 FCC Antenna Structure Registration Number (ASR) (if applicable): N/A

Handwritten signature/initials

The following must be enclosed with this application:

1. A map (electronic preferable) of the same search ring submitted and used by the applicant's site locator;
2. A map (electronic preferable) indicating applicant's existing RF signal propagation;
3. A map (electronic preferable) indicating applicant's proposed new RF signal propagation;
4. A statement (electronic preferable) from a qualified individual that the applicant will comply with all FCC rules regarding human exposure to RF energy, along with the individual's qualifications;
5. A statement (electronic preferable) from the applicant that the applicant will comply with all applicable FCC rules regarding radio-frequency interference;
6. A statement (electronic preferable) that the submitted search ring is the same as utilized in the selection of the site;
7. Complete plans of the proposed facility to include a structural certification by a Registered Professional Engineer that the facility complies with applicable Federal, State and Buckingham County building codes.

Please Note: Supplemental information may be requested for purposes of clarity or confirmation.



Clear Signal Towers, LLC

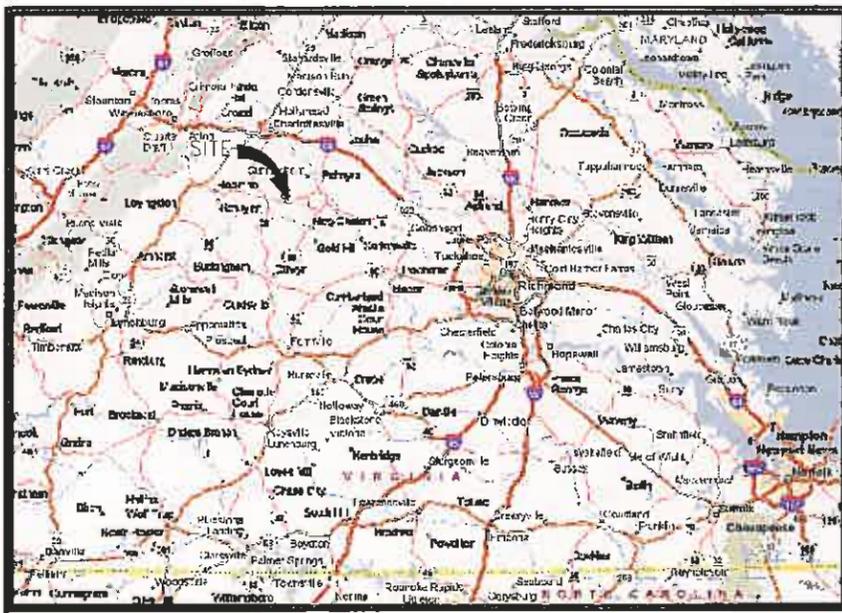
DIRECTIONS TO SITE:

FROM RICHMOND.
TAKE I-64 W TO EXIT 167 AND TURN RIGHT ONTO US-250. TURN LEFT ONTO FAIRGROUND RD AND THEN LEFT ONTO US-522. TURN RIGHT ONTO SR-6 AND FOLLOW FOR APPROXIMATELY 20 MILES. TURN RIGHT ONTO US-15 AND FOLLOW FOR APPROXIMATELY 4 MILES AND TURN LEFT ONTO BETHEL CHURCH RD. TURN RIGHT ONTO SR-6 AND FOLLOW FOR APPROXIMATELY 5 MILES. TURN RIGHT ONTO ACCESS ROAD AND FOLLOW TO SITE.



LOCAL MAP

NOT TO SCALE



VICINITY MAP

NOT TO SCALE

HARDWARE RIVER VA9032

VIRGINIA BYWAY
SCOTTSVILLE, VA 24590

PROJECT DESCRIPTION:

INSTALLATION AND OPERATION OF ANTENNAS AND ASSOCIATED EQUIPMENT

2 WORKING DAYS
BEFORE YOU DIG
1-800-552-7001
TOLL FREE
MISS UTILITY

APPROVAL

SA SITE ACQUISITION:	SIGNATURE	DATE	AT&T REGULATORY	SIGNATURE	DATE
SA ZONING:	SIGNATURE	DATE	AT&T RF:	SIGNATURE	DATE
SA CONSTRUCTION:	SIGNATURE	DATE	AT&T CONSTRUCTION:	SIGNATURE	DATE

REV. NO.	DESCRIPTION	BY	DATE	REV. NO.	DESCRIPTION	BY	DATE
1	ZONING DRAWINGS	OWW	08/01/11				

CONSULTING TEAM

ARCHITECTURE AND ENGINEERING:
WARREN WILLIAMS & ASSOCIATES
736 CARNEROS CIRCLE
HIGH POINT, NC 27265
PROJECT MANAGER:
TELEPHONE: WARREN WILLIAMS, P.E.
(757) 450-2288

SURVEY:
CAUSEWAY CONSULTANTS, PC
1005 S. BATTLEFIELD BLVD, SUITE B
CHESAPEAKE, VA 23322
CONTACT: EDDIE T. WHITE, LS
TELEPHONE: (757) 482-0474
FAX: (757) 482-9870

SOIL ENGINEER:
GEOENVIRONMENTAL RESOURCES, INC. (GER)
CONTACT: CHARLES CRAWLEY, PE
TELEPHONE: (757) 463-3200

STRUCTURAL ENGINEERING:
WARREN WILLIAMS & ASSOCIATES
736 CARNEROS CIRCLE
HIGH POINT, NC 27265
CONTACT: JASON CANFIELD, P.E.
TELEPHONE: (757) 450-2288

UTILITIES:
POWER COMPANY:
DOMINION VIRGINIA POWER
CONTACT: CUSTOMER SERVICE
TELEPHONE: 1-888-667-3000

TELEPHONE COMPANY:
VERIZON CONTACT: CUSTOMER SERVICE
CONTACT: 1-800-826-2355
TELEPHONE:

PROJECT SUMMARY

SITE INFORMATION:
VA9032
HARDWARE RIVER
VIRGINIA BYWAY
SCOTTSVILLE, VA 24590

LANDLORD INFORMATION:
C. MICHAEL GRAY
VIRGINIA BYWAY
SCOTTSVILLE, VA 24590

APPLICANT INFORMATION:
CLEAR SIGNAL TOWERS
1801 LIBBIE AVENUE
SUITE 201
RICHMOND, VA 23226

PROJECT DATA:
ZONING: AFD
JURISDICTION: FLUVANNA COUNTY
TAX MAP NO.: 48-A-94
SITE TYPE: RAW LAND
TOWER TYPE: MONOPOLE
TOWER HEIGHT: 195'
LEASE AREA: 100'X100'
AREA OF LAND: 3600 SF
DISTURBANCE:

(2C) GEOGRAPHIC COORDINATES:
LATITUDE: 37° 47' 35.5746" N
LONGITUDE: 78° 24' 47.9794" W
GROUND ELEV. (AMSL): 385'

DECLINATION:
9° 38' W CHANGING BY 0' 1" W PER YEAR

ADA COMPLIANCE:
FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION.
SITE WILL NOT BE SERVED BY CITY SEWER OR WATER.

SHEET INDEX

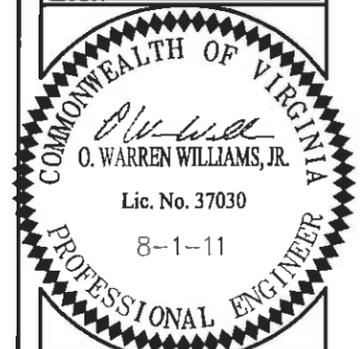
SHEET:	DESCRIPTION:
T-1	TITLE SHEET
T-2	LEGEND AND ABBREVIATIONS
N-1	GENERAL NOTES
C-1	SURVEY AND SITE PLAN
C-2	ENLARGED SITE PLAN
C-3	GRADING AND EROSION CONTROL PLAN
C-4	ELEVATION VIEW
C-5	FENCE NOTES AND DETAILS
C-6	CIVIL DETAILS

SHEET TOTAL:
9

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FAX (804)648-4809

WW&A
warren williams & associates
736 CARNEROS CIRCLE
HIGH POINT
NORTH CAROLINA
27265
(757) 450-2288

NO	DATE	DESCRIPTION
1	07/12/11	LEASE EXHIBIT
		BY: KMB CHK: OWW APP'D: OWW
2	07/25/11	LEASE EXHIBIT
		BY: KMB CHK: OWW APP'D: OWW
3	08/01/11	ZONING DRAWINGS
		BY: KMB CHK: OWW APP'D: OWW
4		
5		
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VA9032
HARDWARE RIVER
RAWLAND MONOPOLE
VIRGINIA BYWAY
SCOTTSVILLE, VA 24590
FLUVANNA COUNTY

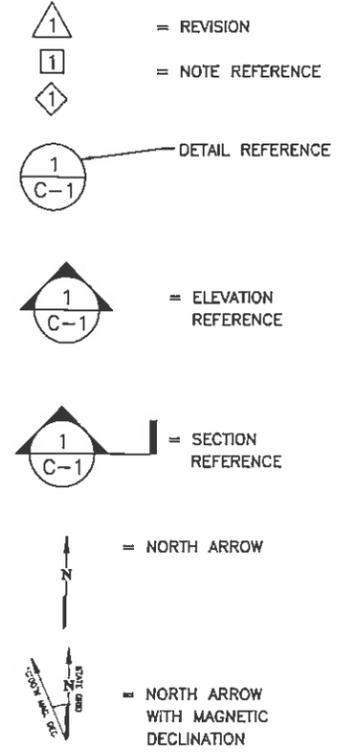
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TTY DATE: NA
COMM NO: VA9032

SHEET TITLE:
TITLE SHEET

SHEET NUMBER:
T-1

ABBREVIATIONS & SYMBOLS LIST

1P, 2P, & 3P	SINGLE POLE, TWO POLE, & THREE POLES	NEUT	NEUTRAL
A/C	AIR CONDITIONING	N	NORTH
ADJ	ADJUSTABLE	NA	NOT APPLICABLE
AFF	ABOVE FINISH FLOOR	NIC	NOT IN CONTRACT
AGL	ABOVE GROUND LEVEL	NTS	NOT TO SCALE
APPROX	APPROXIMATELY	OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	OC	ON CENTER
AWG	AMERICAN WIRE GAUGE	OD	OUTSIDE DIAMETER
A OR AMP	AMPERE	OPNG	OPENING
BLDG	BUILDING	OPP	OPPOSITE
BLK	BLOCK	OHT/OHP	OVERHEAD TELEPHONE/OVERHEAD POWER
BMR	BASE MOBILE RADIO	OHP	OVERHEAD POWER
B/S	BUILDING STANDARD	OHT	OVERHEAD TELEPHONE
CU	COPPER	OZ	OUNCE
CO	CLEAN OUT	PG	PAGE
C	CONDUIT SIZE AS NOTED	PIN(F)	PIN FOUND
CB	CIRCUIT BREAKER	PIN(S)	PIN SET
CKT	CIRCUIT	PJF	POLYVINYL JOINT FILLER
CLG	CEILING	PLYWD	PLYWOOD
CLR	CLEAR	PR	PAIR
CONC	CONCRETE	PROJ	PROJECT
CONST	CONSTRUCTION	PROP	PROPERTY
CONT	CONTINUOUS	PSI	PER SQUARE INCH
CFCI	CONTRACTOR FURNISHED CONTRACTOR INSTALLED	PSF	PER SQUARE FOOT
DB	DEED BOOK	PT	PRESSURE TREATED
DBL	DOUBLE	PVC	SCHEDULE 40 PLASTIC CONDUIT.
DIA, Ø	DIAMETER	RAD	RADIATION
DIAG	DIAGONAL	RECEPT	RECEPTACLE
DIM	DIMENSION	REQ'D	REQUIRED
DN	DOWN	RM	ROOM
DET, DETL	DETAIL	RO	ROUGH OPENING
DWG	DRAWING	S	SOUTH
DEF	DUAL ELEMENT FUSES	SW	SWITCH
E	EAST	SCH	SCHEDULE
EA	EACH	SHT	SHEET
EL, ELEV	ELEVATION	SIM	SIMILAR
ELECT	ELECTRICAL	SPEC	SPECIFICATION
EQ	EQUAL	SD	SQUARE
EQUIP	EQUIPMENT	SS	STAINLESS STEEL
EW	EACH WAY	STL	STEEL
EXIST/EX	EXISTING	STRUCT	STRUCTURAL
EXT	EXTERIOR	SUSP	SUSPENDED
EMT	ELECTRICAL METALLIC TUBING	THRD	THREADED
EC	EMPTY CONDUIT	THRU	THROUGH
FIN	FINISH	TM	TAX MAP
FLUOR	FLUORESCENT	TNND	TINNED
FLR	FLOOR	TOC	TOP OF CONCRETE
FT	FOOT	TYP	TYPICAL
GRS	GALVANIZED STEEL CONDUIT	UON	UNLESS OTHERWISE NOTED
G OR GRD	GROUND	UG	UNDERGROUND
GA	GAUGE	VERT	VERTICAL
GALV	GALVANIZE(D)	VIF	VERIFY IN FIELD
GC	GENERAL CONTRACTOR	VT	VINYL TILE
GPS	GLOBAL POSITIONING SYSTEM	W/	WITH
GWB	GYPSTUM WALL BOARD	WDW	WINDOW
HARD'WD	HARDWOOD	W	WEST
HEC	HIGH STRENGTH	W/D	WITHOUT
HORIZ	HORIZONTAL	W	WATTS
HR	HOUR	WP	WEATHERPROOF
HT	HEIGHT	XFRM	TRANSFORMER
HVAC	HEATING, VENTILATION AND AIR CONDITIONING		
ID	INSIDE DIA.	∠	ANGLE
IN	INCH	&	AND
INFO	INFORMATION	⊥	CENTER LINE
INS	INSULATION	⊥	PROPERTY LINE, PLATE
KW	KILOWATTS	⊙	AT
LB(S)	POUND(S)	#	NUMBER
LG	LONG		
MAX	MAXIMUM		
MECH	MECHANICAL		
MTL	METAL		
MFR	MANUFACTURER		
MGR	MANAGER		
MIN	MINIMUM		
MISC	MISCELLANEOUS		
MPH	MILES PER HOUR		
MTD	MOUNTED		



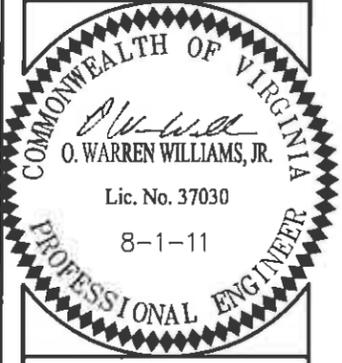
LEGEND

	EXISTING		NEW	CONCRETE
				PROPERTY LINE
				LEASE AREA
				EASEMENT
				BUILDING (FOOTPRINT)
				POWER POLE
				TELEPHONE/FIBEROPTIC PEDESTAL
				ASPHALT
				FENCE
				TEMPORARY BENCHMARK
				TREELINE
				CONTOURS
				SPOT ELEVATION
				SILT FENCE
				ITEMS TO BE REMOVED

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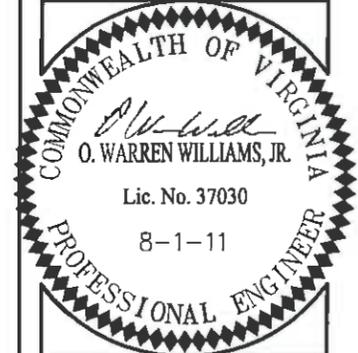
VA9032
HARDWARE
RIVER
RAWLAND
MONOPOLE
 VIRGINIA BYWAY
 SCOTTSVILLE, VA
 24590
 FLUVANNA COUNTY

DRAWN BY:	KMB
CHECKED BY:	OWW
TTV DATE:	NA
COMM NO.:	VA9032

SHEET TITLE
LEGEND AND
ABBREVIATIONS

SHEET NUMBER:
T-2

NO.	
1	07/12/11 LEASE EXHIBIT BY: KMB CHK OWW APP'D: OWW
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 24590
 FLUVANNA COUNTY

DRAWN BY:	KMB
CHECKED BY:	OWW
ITV DATE:	NA
COMM NO.	VA9032

SHEET TITLE
GENERAL NOTES

SHEET NUMBER:
N-1

SITE WORK GENERAL NOTES:

NOTES:

1. THE SUBCONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES PRIOR TO THE START OF CONSTRUCTION.
2. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY CONTRACTOR. EXTREME CAUTION SHOULD BE USED BY THE SUBCONTRACTOR WHEN EXCAVATING OR DRILLING PIERS AROUND OR NEAR UTILITIES. SUBCONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS WILL INCLUDE BUT NOT BE LIMITED TO A) FALL PROTECTION B) CONFINED SPACE C) ELECTRICAL SAFETY D) TRENCHING & EXCAVATION.
3. ALL SITE WORK SHALL BE AS INDICATED ON THE DRAWINGS AND PROJECT SPECIFICATIONS.
4. IF NECESSARY, RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
5. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF CONTRACTOR, OWNER AND/OR LOCAL UTILITIES.
6. SUBCONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION.
7. THE SUBCONTRACTOR SHALL PROVIDE SITE SIGNAGE IN ACCORDANCE WITH THE CINGULAR SPECIFICATION FOR SITE SIGNAGE.
8. THE SITE SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE BTS EQUIPMENT AND TOWER AREAS.
9. NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND. FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.
10. THE SUB GRADE SHALL BE COMPACTED AND BROUGHT TO A SMOOTH UNIFORM GRADE PRIOR TO FINISHED SURFACE APPLICATION.
11. THE AREAS OF THE OWNERS PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE TOWER, EQUIPMENT OR DRIVEWAY, SHALL BE GRADED TO A UNIFORM SLOPE, AND STABILIZED TO PREVENT EROSION.
12. SUBCONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE LOCAL JURISDICTION'S GUIDELINES FOR EROSION AND SEDIMENT CONTROL.

STRUCTURAL STEEL NOTES:

NOTES:

1. ALL STEEL WORK SHALL BE PAINTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND IN ACCORDANCE WITH ASTM A36 UNLESS OTHERWISE NOTED.
2. ALL WELDING SHALL BE PERFORMED USING E70XX ELECTRODES AND WELDING SHALL CONFORM TO AISC. WHERE FILLET WELD SIZES ARE NOT SHOWN, PROVIDE THE MINIMUM SIZE PER TABLE J2.4 IN THE AISC "MANUAL OF STEEL CONSTRUCTION". PAINTED SURFACES SHALL BE TOUCHED UP.
3. BOLTED CONNECTIONS SHALL BE ASTM A325 BEARING TYPE (3/4"Ø) CONNECTIONS AND SHALL HAVE MINIMUM OF TWO BOLTS UNLESS NOTED OTHERWISE.
4. NON-STRUCTURAL CONNECTIONS FOR STEEL GRATING MAY USE 5/8" DIA. ASTM A 307 BOLTS UNLESS NOTED OTHERWISE.
5. INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHOR, SHALL BE PER MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR CONTRACTOR APPROVAL WHEN DRILLING HOLES IN CONCRETE. SPECIAL INSPECTIONS, REQUIRED BY GOVERNING CODES, SHALL BE PERFORMED IN ORDER TO MAINTAIN MANUFACTURER'S MAXIMUM ALLOWABLE LOADS.
6. ALL EXPANSION/WEDGE ANCHORS SHALL BE STAINLESS STEEL OR HOT DIPPED GALVANIZED. THE ANCHOR BOLT DOWEL AND ROD SHALL BE STAINLESS STEEL WITH STAINLESS STEEL WASHERS.

CONCRETE AND REINFORCING STEEL NOTES:

1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318, ACI 336, ASTM A184, ASTM A185 AND THE DESIGN AND CONSTRUCTION SPECIFICATION FOR CAST-IN-PLACE CONCRETE.
2. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS, UNLESS NOTED OTHERWISE.
3. REINFORCING STEEL SHALL CONFORM TO ASTM A 615, GRADE 60, DEFORMED UNLESS NOTED OTHERWISE. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185 WELDED STEEL WIRE FABRIC UNLESS NOTED OTHERWISE. SPLICES SHALL BE CLASS "B" AND ALL HOOKS SHALL BE STANDARD, UNO.
4. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS SHOWN OTHERWISE ON DRAWINGS:
 - CONCRETE CAST AGAINST EARTH.....3 IN.
 - CONCRETE EXPOSED TO EARTH OR WEATHER:
 - #6 AND LARGER2 IN.
 - #5 AND SMALLER & WWF.....1 1/2 IN.
 - CONCRETE NOT EXPOSED TO EARTH OR WEATHER OR NOT CAST AGAINST THE GROUND:
 - SLAB AND WALL3/4 IN.
 - BEAMS AND COLUMNS.....1 1/2 IN.
5. A CHAMFER 3/4" SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE, UNO, IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.
6. CONCRETE/EXPANSION ANCHORS SHALL BE STAINLESS STEEL. INSTALLATION, SHALL BE PER MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR ENGINEERING APPROVAL WHEN DRILLING HOLES IN CONCRETE. EXPANSION BOLTS SHALL BE PROVIDED BY RAMSET/REDHEAD OR APPROVED EQUAL.

GENERAL NOTES

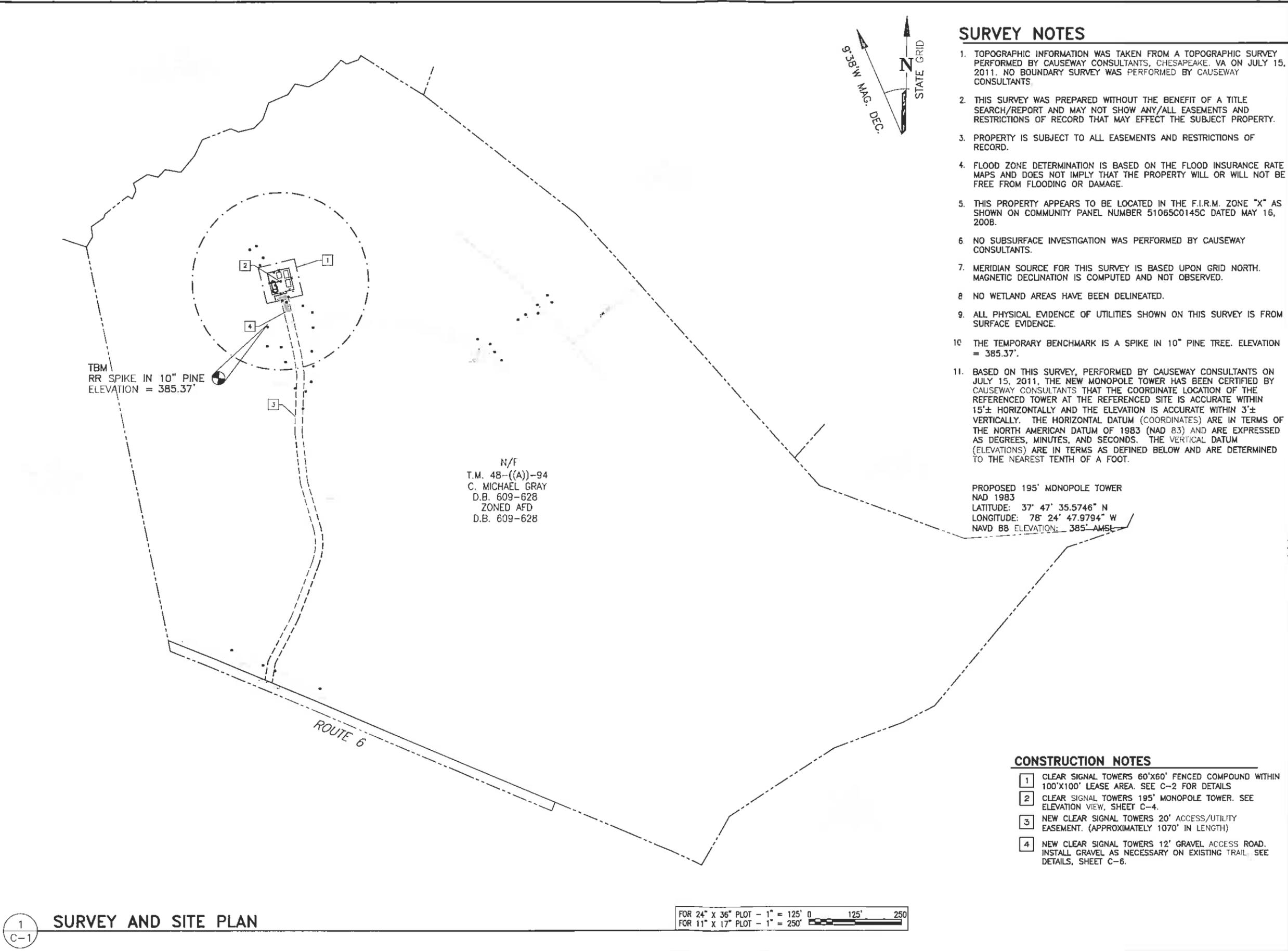
1. FOR THE PURPOSE OF CONSTRUCTION DRAWING, THE FOLLOWING DEFINITIONS SHALL APPLY:
 CONTRACTOR – CLEAR SIGNAL TOWERS
 SUBCONTRACTOR – GENERAL CONTRACTOR (CONSTRUCTION)
 OWNER – CLEAR SIGNAL TOWERS
 OEM – ORIGINAL EQUIPMENT MANUFACTURE
2. PRIOR TO THE SUBMISSION OF BIDS, THE BIDDING SUBCONTRACTOR SHALL VISIT THE CELL SITE TO FAMILIARIZE WITH THE EXISTING CONDITIONS AND TO CONFIRM THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN ON THE CONSTRUCTION DRAWINGS. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE ATTENTION OF CONTRACTOR.
3. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. SUBCONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK.

 ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
4. DRAWINGS PROVIDED HERE ARE NOT TO SCALE AND ARE INTENDED TO SHOW OUTLINE ONLY.
5. UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES, AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
6. THE SUBCONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
7. IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE SUBCONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY THE CONTRACTOR.
8. SUBCONTRACTOR SHALL DETERMINE ACTUAL ROUTING OF CONDUIT, POWER AND T1 CABLES, GROUNDING CABLES AS SHOWN ON THE POWER, GROUNDING AND TELCO PLAN DRAWING.
9. THE SUBCONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT SUBCONTRACTOR'S EXPENSE TO THE SATISFACTION OF OWNER.
10. SUBCONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.
11. SUBCONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION.
12. CONSTRUCTION SHALL COMPLY WITH SPECIFICATION 24782-000-3APS-A00Z-00002, "GENERAL CONSTRUCTION SERVICES FOR CONSTRUCTION OF AT&T GSM SITES."

SOIL COMPACTION NOTES FOR SLAB ON GRADE

NOTES:

1. EXCAVATE AS REQUIRED TO REMOVE VEGETATION & TOPSOIL EXPOSE UNDISTURBED NATURAL SUBGRADE AND PLACE CRUSHED STONE AS REQUIRED.
 2. COMPACTION CERTIFICATION: AN INSPECTION AND WRITTEN CERTIFICATION BY A QUALIFIED GEOTECHNICAL TECHNICIAN OR ENGINEER IS ACCEPTABLE.
 3. AS AN ALTERNATIVE TO INSPECTION AND WRITTEN CERTIFICATION, THE "UNDISTURBED SOIL" BASE SHALL BE COMPACTED WITH "COMPACTION EQUIPMENT", LISTED BELOW, TO AT LEAST 90% MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM D 1557 METHOD C.
 4. COMPACTED SUBBASE SHALL BE UNIFORM & LEVELED. PROVIDE 6" MINIMUM CRUSHED STONE OR GRAVEL COMPACTED IN 3" LIFTS ABOVE COMPACTED SOIL. GRAVEL SHALL BE NATURAL OR CRUSHED WITH 100 % PASSING 1" SLEEVE.
- COMPACTION EQUIPMENT:**
 HAND OPERATED DOUBLE DRUM, VIBRATORY ROLLER, VIBRATORY PLATE COMPACTOR OR JUMPING COMPACTOR.



SURVEY NOTES

1. TOPOGRAPHIC INFORMATION WAS TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY CAUSEWAY CONSULTANTS, CHESAPEAKE, VA ON JULY 15, 2011. NO BOUNDARY SURVEY WAS PERFORMED BY CAUSEWAY CONSULTANTS.
2. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH/REPORT AND MAY NOT SHOW ANY/ALL EASEMENTS AND RESTRICTIONS OF RECORD THAT MAY EFFECT THE SUBJECT PROPERTY.
3. PROPERTY IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.
4. FLOOD ZONE DETERMINATION IS BASED ON THE FLOOD INSURANCE RATE MAPS AND DOES NOT IMPLY THAT THE PROPERTY WILL OR WILL NOT BE FREE FROM FLOODING OR DAMAGE.
5. THIS PROPERTY APPEARS TO BE LOCATED IN THE F.I.R.M. ZONE "X" AS SHOWN ON COMMUNITY PANEL NUMBER 51065C0145C DATED MAY 16, 2008.
6. NO SUBSURFACE INVESTIGATION WAS PERFORMED BY CAUSEWAY CONSULTANTS.
7. MERIDIAN SOURCE FOR THIS SURVEY IS BASED UPON GRID NORTH. MAGNETIC DECLINATION IS COMPUTED AND NOT OBSERVED.
8. NO WETLAND AREAS HAVE BEEN DELINEATED.
9. ALL PHYSICAL EVIDENCE OF UTILITIES SHOWN ON THIS SURVEY IS FROM SURFACE EVIDENCE.
10. THE TEMPORARY BENCHMARK IS A SPIKE IN 10" PINE TREE. ELEVATION = 385.37'.
11. BASED ON THIS SURVEY, PERFORMED BY CAUSEWAY CONSULTANTS ON JULY 15, 2011, THE NEW MONOPOLE TOWER HAS BEEN CERTIFIED BY CAUSEWAY CONSULTANTS THAT THE COORDINATE LOCATION OF THE REFERENCED TOWER AT THE REFERENCED SITE IS ACCURATE WITHIN 15'± HORIZONTALLY AND THE ELEVATION IS ACCURATE WITHIN 3'± VERTICALLY. THE HORIZONTAL DATUM (COORDINATES) ARE IN TERMS OF THE NORTH AMERICAN DATUM OF 1983 (NAD 83) AND ARE EXPRESSED AS DEGREES, MINUTES, AND SECONDS. THE VERTICAL DATUM (ELEVATIONS) ARE IN TERMS AS DEFINED BELOW AND ARE DETERMINED TO THE NEAREST TENTH OF A FOOT.

PROPOSED 195' MONOPOLE TOWER
 NAD 1983
 LATITUDE: 37° 47' 35.5746" N
 LONGITUDE: 78° 24' 47.9794" W
 NAVD 88 ELEVATION: 385' AMSL

N/F
 T.M. 48--(A)--94
 C. MICHAEL GRAY
 D.B. 609-628
 ZONED AFD
 D.B. 609-628

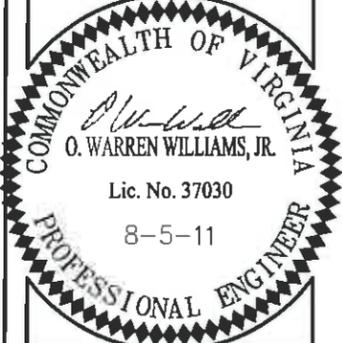
CONSTRUCTION NOTES

1. CLEAR SIGNAL TOWERS 60'X60' FENCED COMPOUND WITHIN 100'X100' LEASE AREA. SEE C-2 FOR DETAILS
2. CLEAR SIGNAL TOWERS 195' MONOPOLE TOWER. SEE ELEVATION VIEW, SHEET C-4.
3. NEW CLEAR SIGNAL TOWERS 20' ACCESS/UTILITY EASEMENT. (APPROXIMATELY 1070' IN LENGTH)
4. NEW CLEAR SIGNAL TOWERS 12' GRAVEL ACCESS ROAD. INSTALL GRAVEL AS NECESSARY ON EXISTING TRAIL. SEE DETAILS, SHEET C-6.

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 CLEAR SIGNAL TOWERS, LLC
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 SUITE 201
 RICHMOND, VA 23226
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 FAX (804)648-4809

WW&A
 warren williams & associates
 736 CARNEROS CIRCLE
 HIGH POINT
 NORTH CAROLINA
 27265
 (757) 450-2288

NO	DATE	DESCRIPTION	BY	CHK	APP'D
1	07/12/11	LEASE EXHIBIT	KMB	OWW	OWW
2	07/25/11	LEASE EXHIBIT	KMB	OWW	OWW
3	08/01/11	ZONING DRAWINGS	KMB	OWW	OWW
4					
5					
6					



VA9032
 HARDWARE
 RIVER
 RAWLAND
 MONOPOLE
 VIRGINIA BYWAY
 SCOTTSVILLE, VA
 24590
 FLUVANNA COUNTY

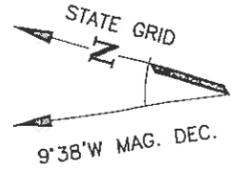
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CHECKED BY:	OWW
TTV DATE:	NA
COMM NO	VA9032

SHEET TITLE:
SURVEY AND SITE PLAN

SHEET NUMBER:
C-1

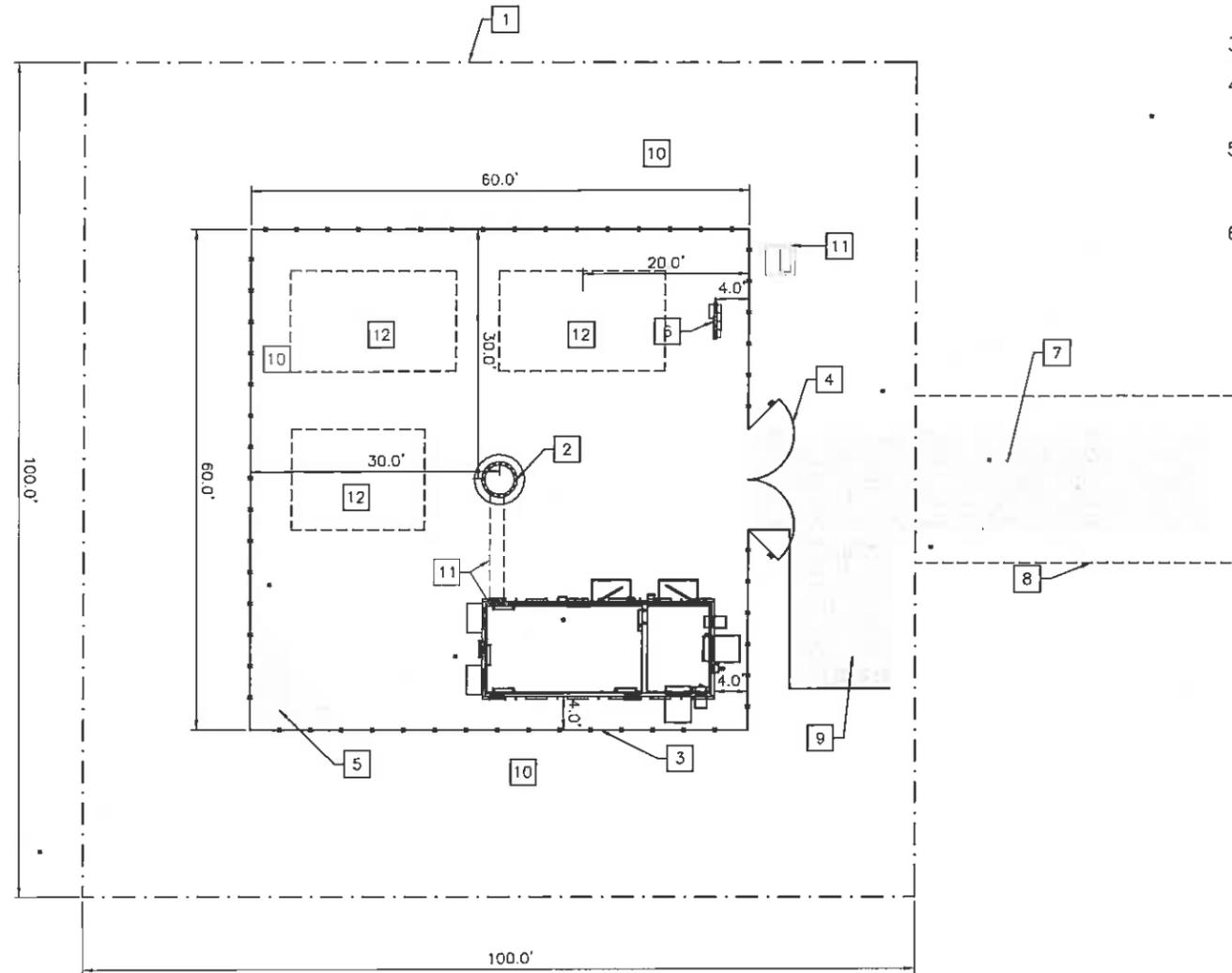
1
 C-1
SURVEY AND SITE PLAN

FOR 24" X 36" PLOT - 1" = 125' 0
 FOR 11" X 17" PLOT - 1" = 250'



SITE NOTES

1. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL ASSUME THE RESPONSIBILITY OF LOCATING ANY UNDERGROUND UTILITIES (PUBLIC OR PRIVATE) THAT MAY EXIST AND CROSS THROUGH THE AREA OF CONSTRUCTION THAT ARE NOT SHOWN ON THESE PLANS. BEFORE YOU DIG, CALL "MISS UTILITY" AT 1-800-552-7001. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, AT HIS EXPENSE, ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.
2. ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK AT THE FIRST PHASE OF CONSTRUCTION AND CHECKED PERIODICALLY TO ENSURE THEY ARE FUNCTIONING AS INDICATED.
3. THE STOCKPILING OF EXCESS MATERIAL ON SITE WILL NOT BE ALLOWED.
4. ANY VEGETATED AREA DISTURBED BY CONSTRUCTION SHALL BE TOPSOILED AND SEEDED TO RESTORE A PERMANENT VEGETATIVE COVER.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING WITH MATCHING MATERIALS ANY PAVEMENT, DRIVEWAYS, WALKS, CURBS, ETC. THAT MAY BE CUT, OR THAT ARE DAMAGED DURING CONSTRUCTION.
6. THE INDICATED DIRECTION OF NORTH WILL HAVE TO BE VERIFIED IN THE FIELD. THE MAGNETIC DECLINATION INDICATED IS CALCULATED BASED ON THE LATITUDINAL AND LONGITUDINAL COORDINATE GIVEN BY CAUSEWAY CONSULTANTS, PC.



CONSTRUCTION NOTES

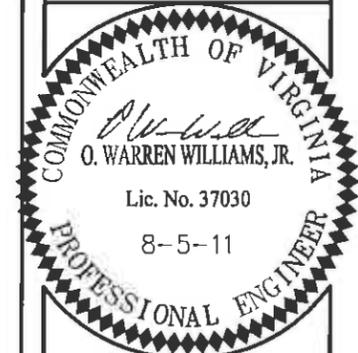
- 1 NEW CLEAR SIGNAL TOWERS 100'X100' LEASE AREA.
- 2 NEW CLEAR SIGNAL TOWERS 195' MONOPOLE TOWER. SEE ELEVATION VIEW, SHEET C-4.
- 3 NEW CLEAR SIGNAL TOWERS 60'X60' FENCED COMPOUND. SEE SHEET C-5 FOR DETAIL.
- 4 NEW CLEAR SIGNAL TOWERS 12' WIDE DOUBLE GATE. SEE SHEET C-5 FOR DETAIL.
- 5 INSTALL NEW GRAVEL WITHIN COMPOUND AS NEEDED. SEE SHEET C-6 FOR DETAIL.
- 6 NEW CLEAR SIGNAL TOWERS UTILITY SERVICE STAND.
- 7 NEW 12' GRAVEL ACCESS ROAD. SEE SHEET C-6 FOR DETAILS.
- 8 NEW 20' WIDE CLEAR SIGNAL TOWERS ACCESS/UTILITY EASEMENT (APPROXIMATELY 387' IN LENGTH)
- 9 NEW GRAVEL PARKING/TURNAROUND. SEE SHEET C-6 FOR DETAILS.
- 10 CLEAR TREES AS NECESSARY TO ACCOMMODATE NEW COMPOUND.
- 11 FUTURE AT&T EQUIPMENT SHELTER, ICE BRIDGE, FIBER PAD (BY OTHERS).
- 12 FUTURE CARRIERS.

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736 CAPNEROS CIRCLE
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NORTH CAROLINA
27265
(757) 450-2288

NO.	DATE	DESCRIPTION
1	07/12/11	LEASE EXHIBIT
	BY: KMB	CHK: OWW APP'D: OWW
2	07/25/11	LEASE EXHIBIT
	BY: KMB	CHK: OWW APP'D: OWW
3	08/01/11	ZONING DRAWINGS
	BY: KMB	CHK: OWW APP'D: OWW
4		
5		
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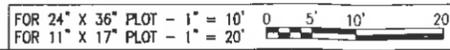
VA9032
HARDWARE
RIVER
RAWLAND
MONOPOLE
VIRGINIA BYWAY
SCOTTSVILLE, VA
24590
FLUVANNA COUNTY

DRAWN BY:	KMB
CHECKED BY:	OWW
TTV DATE:	NA
COMM NO.:	VA9032

SHEET TITLE:
ENLARGED SITE PLAN

SHEET NUMBER:
C-2

ENLARGED SITE PLAN





EROSION & SEDIMENT CONTROL NOTES:

- UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (3RD EDITION, 1992).
- THE CONTRACTOR MUST CONTACT THE PLANNING/CIVIL INSPECTIONS OFFICE FOR A PRE-CONSTRUCTION MEETING BEFORE ANY CONSTRUCTION ACTIVITY BEGINS.
- ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CONSTRUCTION.
- THE CONTRACTOR SHALL APPLY PERMANENT OR TEMPORARY SOIL STABILIZATION TO ALL DENUDED OR DISTURBED AREAS WITHIN 7 DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. SOIL STABILIZATION MUST ALSO BE APPLIED TO DENUDED AREAS WHICH MAY NOT BE AT FINAL GRADE BUT WHICH WILL REMAIN UNDISTURBED FOR LONGER THAN 30 DAYS. SOIL STABILIZATION MEASURES INCLUDE VEGETATIVE ESTABLISHMENT, MULCHING AND THE EARLY APPLICATION OF GRAVEL BASE MATERIAL ON AREAS TO BE PAVED.
- THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES DAILY AND AFTER EACH RUNOFF PRODUCING RAINFALL EVENT. ANY NECESSARY REPAIRS TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES AND CLEANUP OF SEDIMENTATION ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE MADE IMMEDIATELY.
- THE CONTRACTOR SHALL LIMIT SITE ACCESS BY CONSTRUCTION VEHICLES TO ENTRANCES PROTECTED BY A STONE CONSTRUCTION ENTRANCE (VESCH STD. & SPEC. 3.02) OR AN APPROVED COMPARABLE CONTROL MEASURE. SEDIMENT SHALL BE REMOVED FROM PAVED AREAS ON A DAILY BASIS (SEE DETAIL 2, SHEET C-9).
- STOCK PILES OF SOIL AND OTHER ERODIBLE MATERIAL SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION FOR STOCKPILES ON SITE AS WELL AS FOR MATERIALS TRANSPORTED FROM THE PROJECT SITE.
- THE CONTRACTOR SHALL MONITOR AND TAKE PRECAUTIONS TO CONTROL DUST INCLUDING (BUT NOT LIMITED TO) USE OF WATER, MULCH OR CHEMICAL DUST ADHESIVES AND CONTROL OF CONSTRUCTION SITE TRAFFIC.
- EFFLUENT FROM DE-WATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND CHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT ADJACENT PROPERTIES, WETLANDS, WATERWAYS OR THE STORM DRAINAGE SYSTEM.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ANY ADDITIONAL CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED NECESSARY BY THE PLAN APPROVING AUTHORITY.
- TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES ARE NOT TO BE REMOVED WITHOUT APPROVAL OF THE DIRECTOR OF COMMUNITY DEVELOPMENT OR HIS DESIGNEE WHEN ALL DISTURBED AREAS ARE STABILIZED. ONCE APPROVED, ALL MEASURES SHALL BE REMOVED WITHIN 30 DAYS. TRAPPED SEDIMENT SHALL BE SPREAD AND SEEDED.

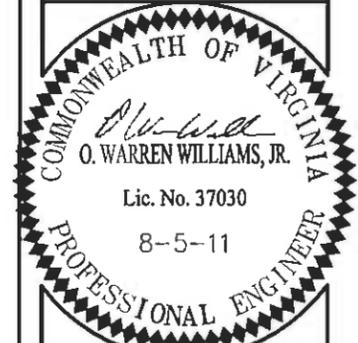
CONSTRUCTION NOTES:

- INSTALL NEW GRAVEL WITHIN COMPOUND AS NEEDED, SEE DETAIL, SHEET C-6.
- NEW SILT FENCE, SEE DETAIL, SHEET C-6.
- INSTALL TREE PROTECTION AS NECESSARY, SEE DETAIL, SHEET C-6.

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WW&A
 warren williams & associates
 736 CARNEROS CIRCLE
 HIGH POINT
 NORTH CAROLINA
 27265
 (757) 450-2288

NO.	DATE	DESCRIPTION
1	07/12/11	LEASE EXHIBIT BY: KMB CHK: OWW APP'D: OWW
2	07/25/11	LEASE EXHIBIT BY: KMB CHK: OWW APP'D: OWW
3	08/01/11	ZONING DRAWINGS BY: KMB CHK: OWW APP'D: OWW
4		
5		
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VA9032
 HARDWARE
 RIVER
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 MONOPOLE
 VIRGINIA BYWAY
 SCOTTSVILLE, VA
 24590
 FLUVANNA COUNTY

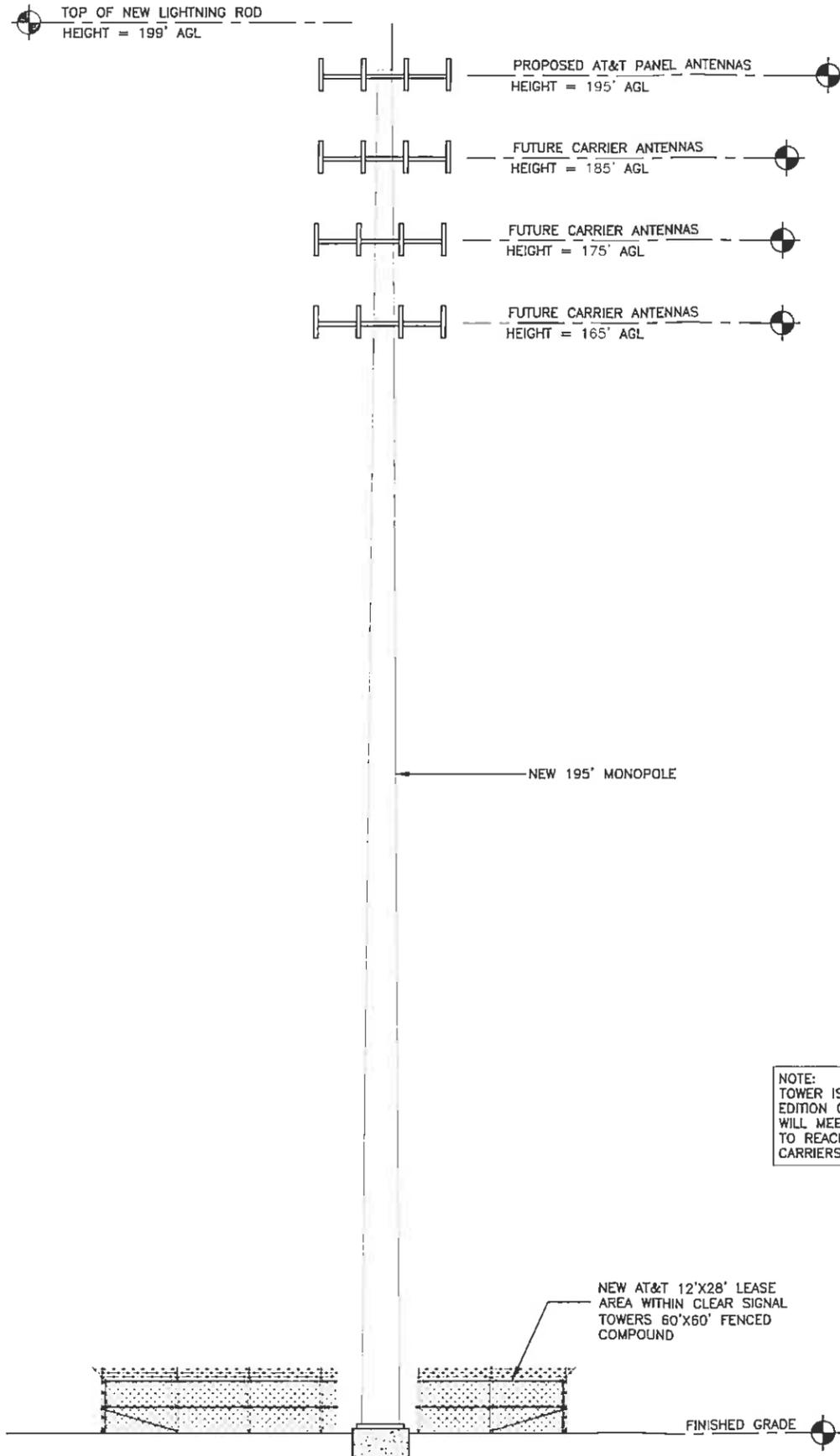
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CHECKED BY:	OWW
TTV DATE:	NA
COMM NO.:	VA9032

SHEET TITLE
**GRADING & EROSION
 CONTROL PLAN**

SHEET NUMBER:
C-3

1
C-3
GRADING & EROSION CONTROL PLAN

FOR 24" X 36" PLOT - 1" = 10'
 FOR 11" X 17" PLOT - 1" = 20'



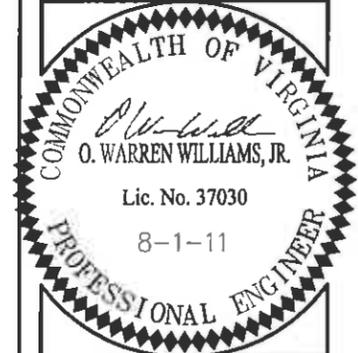
NOTE:
TOWER IS TO BE DESIGNED AND BUILT TO CONFORM TO THE LATEST EDITION OF THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE. ALL LOADS WILL MEET THE MINIMUM REQUIREMENTS FOR THE COUNTY. THE TOWER IS TO REACH THE HEIGHT INDICATED AND SUPPORT THE NUMBER OF FUTURE CARRIERS INDICATED TO BE INSTALLED.

TOWER ELEVATION
NOT TO SCALE

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warren williams & associates
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HIGH POINT
NORTH CAROLINA
27263
(757) 450-2282

NO.	DESCRIPTION
1	07/12/11 LEASE EXHIBIT BY: KMB CHK: OWW APP'D: OWW
2	07/25/11 LEASE EXHIBIT BY: KMB CHK: OWW APP'D: OWW
3	08/01/11 ZONING DRAWINGS BY: KMB CHK: OWW APP'D: OWW
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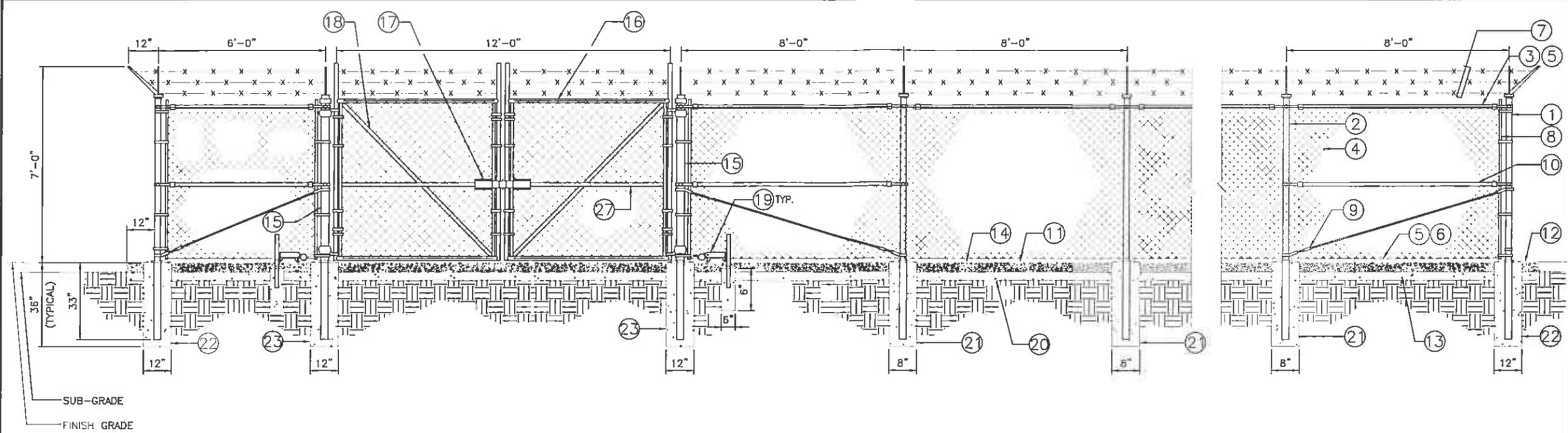


VA9032
HARDWARE
RIVER
RAWLAND
MONOPOLE
VIRGINIA BYWAY
SCOTTSVILLE, VA
24590
FLUVANNA COUNTY

DRAWN BY:	KMB
CHECKED BY:	OWW
ITV DATE:	NA
COMM NO:	VA9032

SHEET TITLE:
ELEVATION VIEW

SHEET NUMBER:
C-4



1 COMPOUND FENCE DETAIL
C-5 NOT TO SCALE

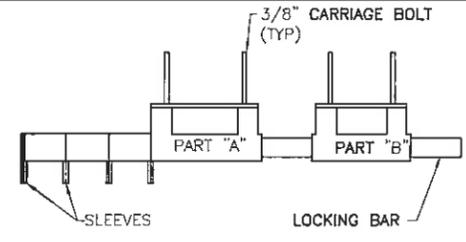
REFERENCE NOTES:

- ① CORNER, END OR PULL POST 3" OD SCHEDULE 40 PIPE.
- ② LINE POST: 2 1/2" OD SCHEDULE 40 PIPE, PER ASTM-F1083. LINE POSTS SHALL BE EQUALLY SPACED AT MAXIMUM 10'-0" OC
- ③ TOP RAIL & BRACE RAIL: 1 5/8" OD PIPE, PER ASTM-F1083.
- ④ FABRIC: 9 GA WIRE SIZE 2" MESH.
- ⑤ TIE WIRE: MINIMUM 9 GA ALUMINUM AT POSTS AND RAILS. A SINGLE WRAP OF FABRIC TIE AND AT TENSION WIRE BY HOG RINGS SPACED MAX. 24" INTERVALS.
- ⑥ TENSION WIRE: 7 GA GALVANIZED STEEL.
- ⑦ BARBED WIRE: DOUBLE STRAND 12-1/2" TWISTED WIRE TO MATCH WITH FABRIC 14 GA, 4 POINT BARBS SPACED ON APPROXIMATELY 5" CENTERS.
- ⑧ STRETCHER BAR.
- ⑨ 3/8" DIAGONAL ROD WITH GALVANIZED STEEL TURNBUCKLE OR DIAGONAL THREADED ROD.
- ⑩ FENCE CORNER POST BRACE: 1 5/8" OD EACH CORNER EACH WAY.
- ⑪ 1 1/2" MAXIMUM CLEARANCE FROM GRADE.
- ⑫ 4" FINISH OR AS DETERMINED BY CONSTRUCTION MANAGER DURING BID WALK.
- ⑬ 6" COMPACTED 95% BASE MATERIAL OR AS DETERMINED BY CONSTRUCTION MANAGER DURING BID WALK.
- ⑭ FINISH GRADE SHALL BE UNIFORM AND LEVEL.
- ⑮ GATE POST 4" SCHEDULE 40 PIPE, FOR GATE WIDTHS UP THRU 7 FEET OR 14 FEET FOR DOUBLE SWING GATE, PER ASTM-F1083.
- ⑯ GATE FRAME: PIPE, PER ASTM-F1083.
- ⑰ STYMILOCK MULTI TENANT LOCKING DEVICE, PATENT # 5868015 SEE CONTACT INFORMATION ON THIS SHEET

- ⑱ 1 PAIR INDUSTRIAL PIN HINGE
- ⑲ NOT USED
- ⑳ GEOTEXTILE FABRIC
- ㉑ LINE POST: CONCRETE FOUNDATION (2000 PSI)
- ㉒ CORNER POST: CONCRETE FOUNDATION (2000 PSI)
- ㉓ GATE POST: CONCRETE FOUNDATION (2000 PSI)

GENERAL NOTES:

- 1. INSTALL FENCING PER ASTM F-567
- 2. INSTALL SWING GATES PER ASTM F- 900
- 3. LOCAL ORDINANCE OF BARBED WIRE PERMIT REQUIREMENT SHALL BE COMPLIED IF REQUIRED.
- 4. POST & GATE PIPE SIZES ARE INDUSTRY STANDARDS. ALL PIPE TO BE GALV. (HOT DIP, ASTM A120 GRADE "A" STEEL). ALL GATE FRAMES SHALL BE WELDED. ALL WELDING SHALL BE COATED WITH (3) COATS OF COLD GALV. (OR EQUAL).
- 5. ALL OPEN POSTS SHALL HAVE END-CAPS.
- 6. USE GALVANIZED HOG-RING WIRE TO MOUNT ALL SIGNS.
- 7. ALL SIGNS MUST BE MOUNTED ON INSIDE OF FENCE FABRIC.



1. DRILL 3/8" HOLES IN THE GATE LEAF USING THE GATE DIMENSIONS PROVIDED.
2. SLIDE THE CARRIAGE BOLTS IN THE SLOTS ON THE BACK OF PART "B" AND PUSH THE BOLTS THROUGH THE HOLES DRILLED INTO THE GATE LEAF. PUT THE NUT AND THE LOCKNUT ON AND TIGHTEN AND CUT THE EXCESS BOLT OFF. DO THE SAME WITH PART "A".
3. ADD THE NUMBER OF SLEEVES NEEDED FOR THE NUMBER OF LOCKS AND SLIDE THE LOCKING BAR INTO PLACE THROUGH BOTH PART "A" AND PART "B". NOW INSTALL THE LOCKS.

*IF THE GATE HAS NO CENTER BAR IN THE GATE LEAF YOU MAY NEED TO MOUNT THE STYMILOCK VERTICALLY USING THE SAME DIMENSIONS GIVEN ON THE GATE FACE.
*VERTICAL APPLICATION MAY ALSO BE USED ON SLIDING GATES WITH MULTIPLE LOCKS.

STYMILOCK INSTALLATION

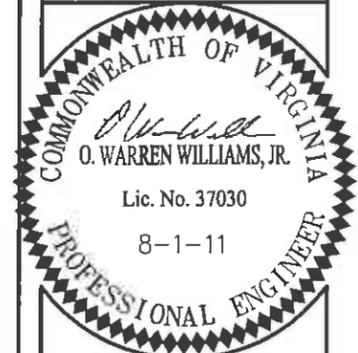


STYMILOCK CONTACT INFORMATION:
PATENT #5868015
PO BOX 1228 PINEVILLE, NC 28134
16248 MARVIN ROAD CHARLOTTE, NC 28277

Clear Signal Towers, LLC
CLEAR SIGNAL TOWERS, LLC
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NORTH CAROLINA
27265
(757) 450-2288

NO.	DATE	DESCRIPTION
1	07/12/11	LEASE EXHIBIT BY: KMB CHK OWW APP'D: OWW
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3	08/01/11	ZONING DRAWINGS BY: KMB CHK OWW APP'D: OWW
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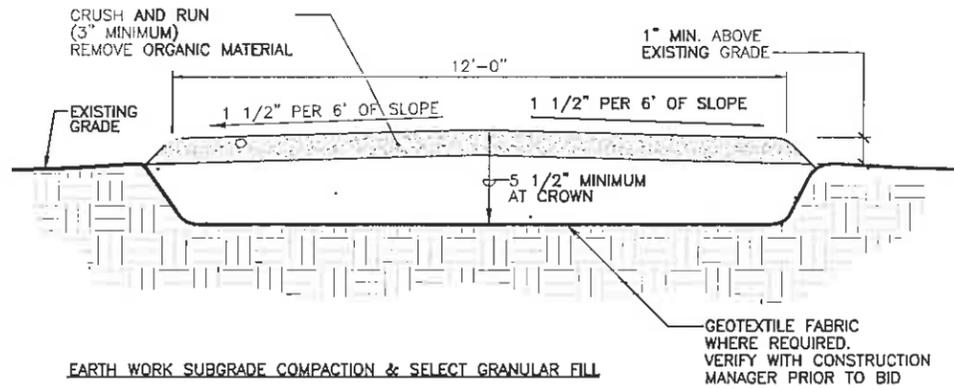


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24590
FLUVANNA COUNTY

DRAWN BY	KMB
CHECKED BY	OWW
TTV DATE:	NA
COMM NO.	VA9032

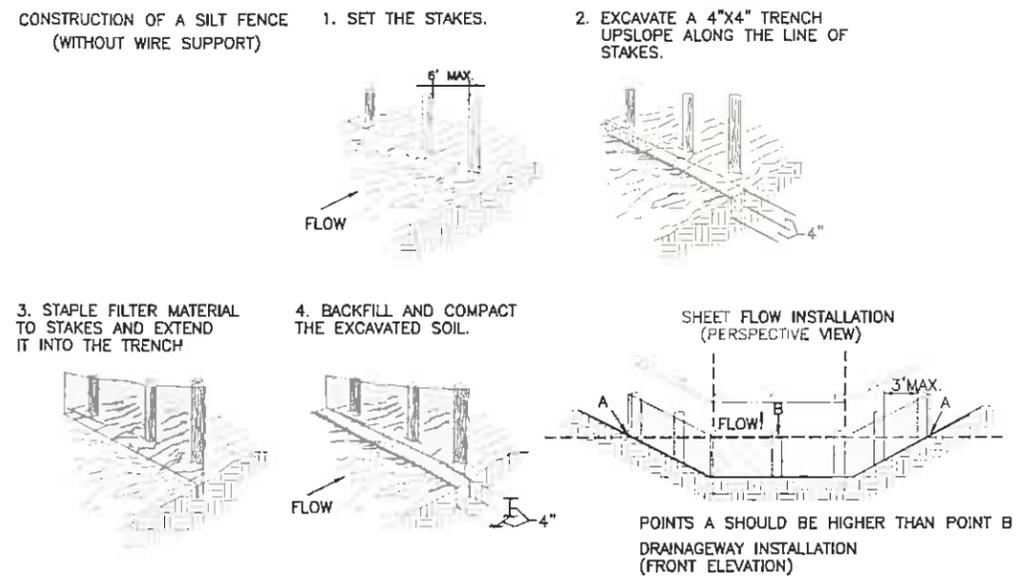
SHEET TITLE:
**FENCE NOTES AND
DETAILS**

SHEET NUMBER:
C-5

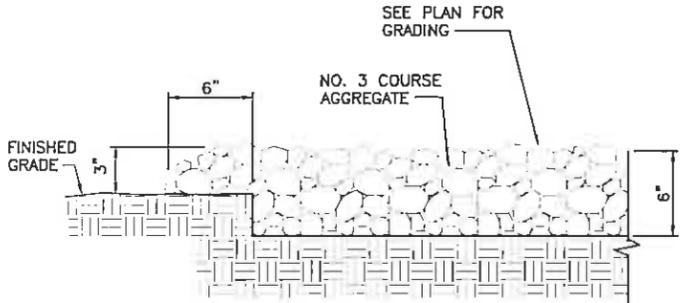


- EARTH WORK SUBGRADE COMPACTION & SELECT GRANULAR FILL**
- A CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING & GRUBBING THE CONSTRUCTION SITE AND ROADWAY AREAS. THE CONTRACTOR SHALL COMPLY WITH THE RECOMMENDATIONS CONTAINED WITHIN THE GEOTECHNICAL REPORT WHEN NECESSARY PREPARED FOR THIS SITE FOR SITE WORK PREPARATION & FOUNDATION WORK. AS A MINIMUM THE TOP 3" OF GRADE SHALL BE REMOVED. THE EXPOSED SUBGRADE COMPACTED, GEOTEXTILE FABRIC AS REQUIRED FOR UNSTABLE SOIL CONDITION.
 - B ALL SELECT GRANULAR FILL SHALL BE COMPACTED TO A 95% COMPACTION AT A MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557 OR WITHIN PLUS OR MINUS 3% OF OPTIMUM MOISTURE CONTENT.

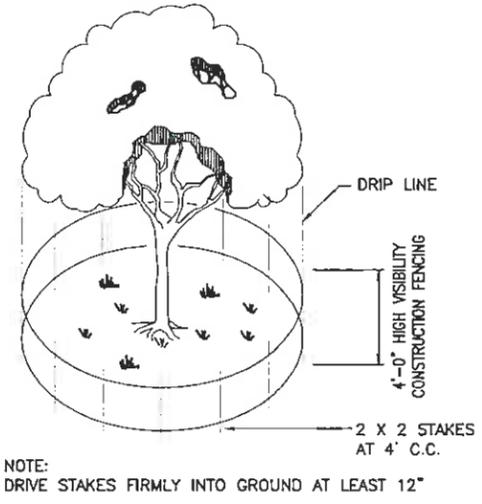
1 **TYPICAL ACCESS ROAD CROSS SECTION**
C-6 NOT TO SCALE



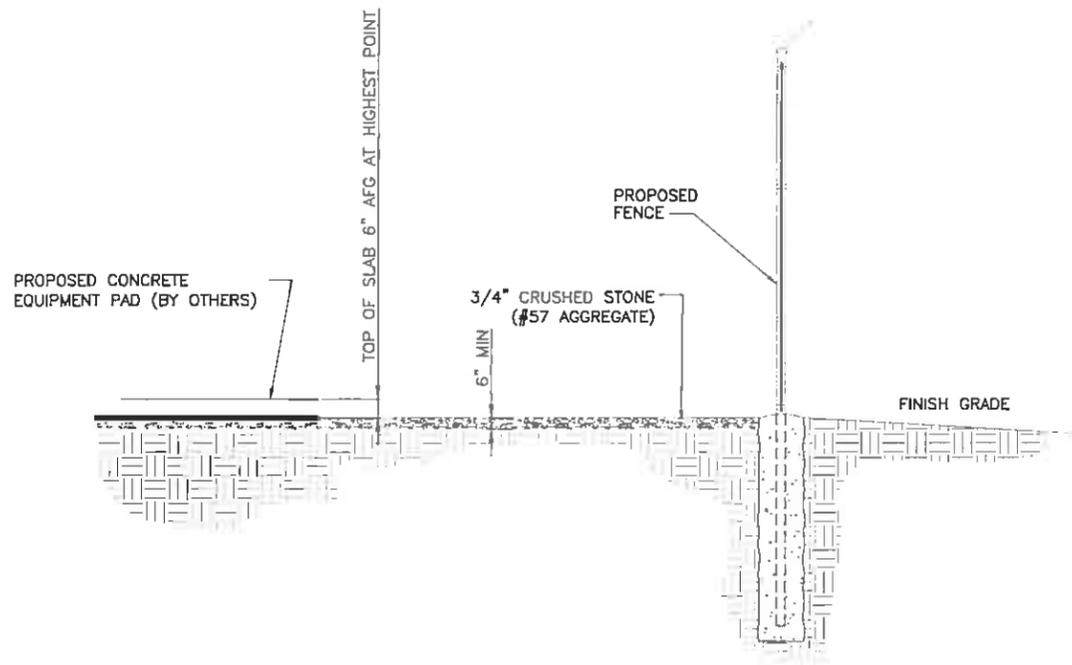
2 **SILT FENCE**
C-6 NOT TO SCALE



3 **SECTION - GRAVEL PARKING/TURN AROUND (OUTSIDE OF FENCED COMPOUND)**
C-6 NOT TO SCALE



4 **TREE PROTECTION**
C-6 NOT TO SCALE

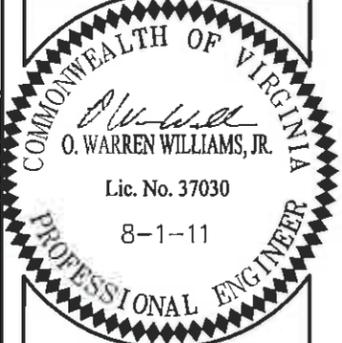


5 **TYPICAL SITE COMPOUND CROSS SECTION**
C-6 NOT TO SCALE

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NO.	DATE	DESCRIPTION
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DRAWN BY:	KMB
CHECKED BY:	OWW
ITV DATE:	NA
COMM NO.:	VA9032

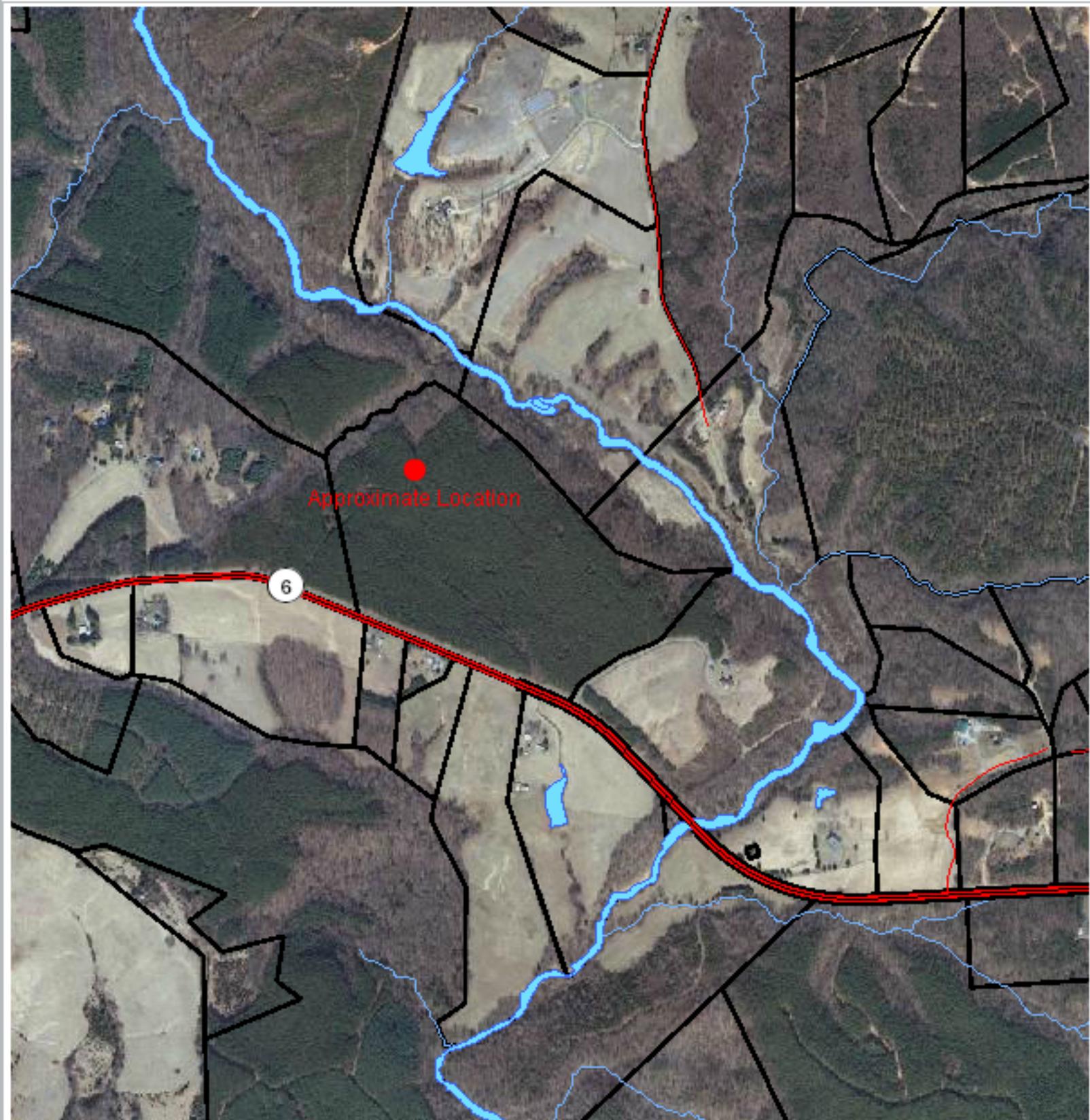
SHEET TITLE:
CIVIL DETAILS

SHEET NUMBER:
C-6



SUP 12:02

Proposed Hardware River Telecommunications Facility



Scale: 1:18055.954822	Date: 06/21/2012	Printed By: Andrew J. Pompei
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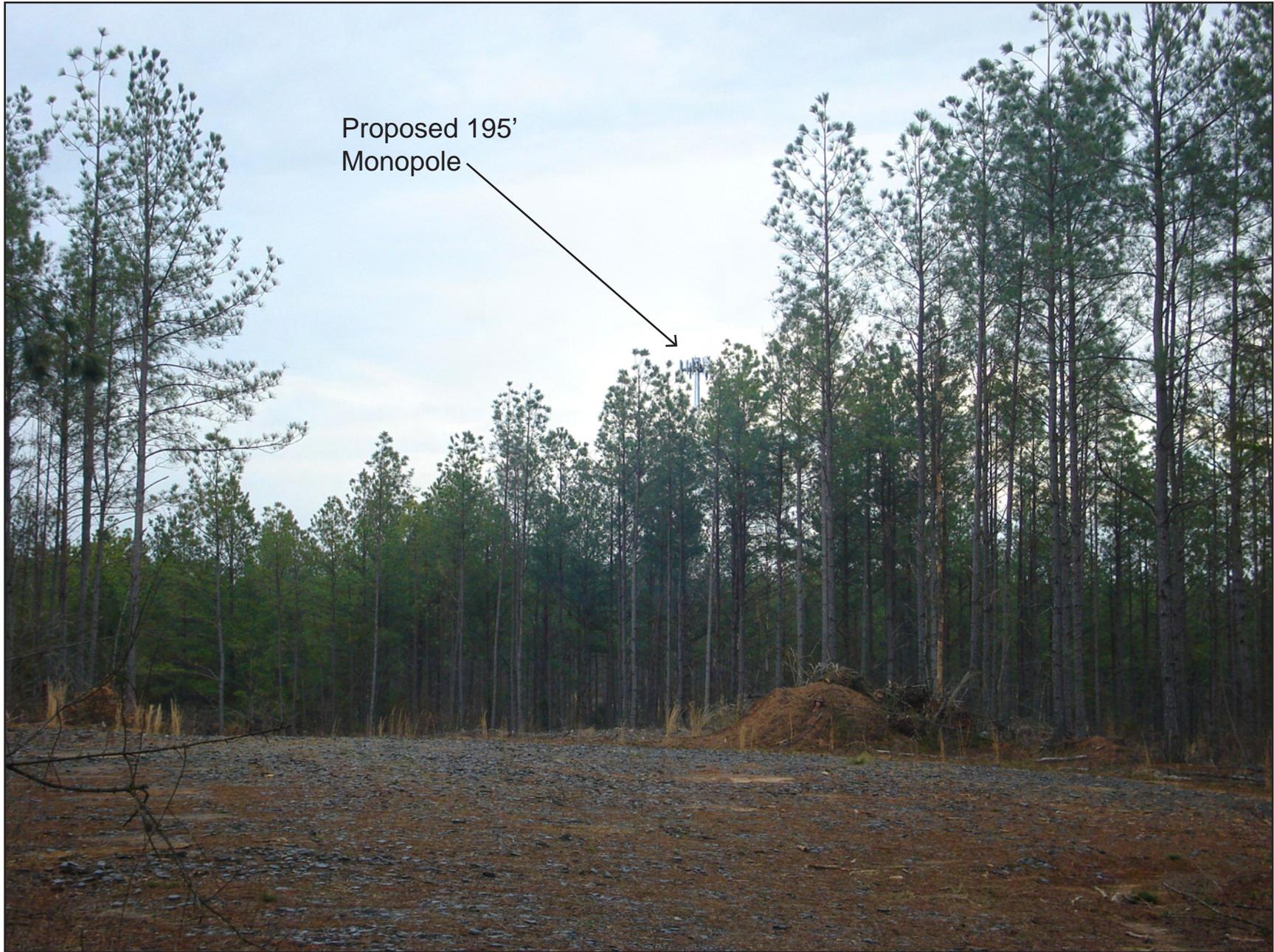
Under Virginia State Law, these real estate assessment records are public information. Display of this property information on the internet is specifically authorized by the Code of Virginia §58.1-3122.2(as amended).



Proposed 195'
Monopole
(not visible)

View from Gardener Ct. (not visible)

VA9032 Hardware River, Virginia Byway, Scottsville, VA



Proposed 195'
Monopole



Proposed 195'
Monopole

View from access road

VA9032 Hardware River, Virginia Byway, Scottsville, VA



Proposed 195'
Monopole (not
visible)



Proposed 195'
Monopole (not
visible)

View from winery east of site (not visible)

VA9032 Hardware River, Virginia Byway, Scottsville, VA

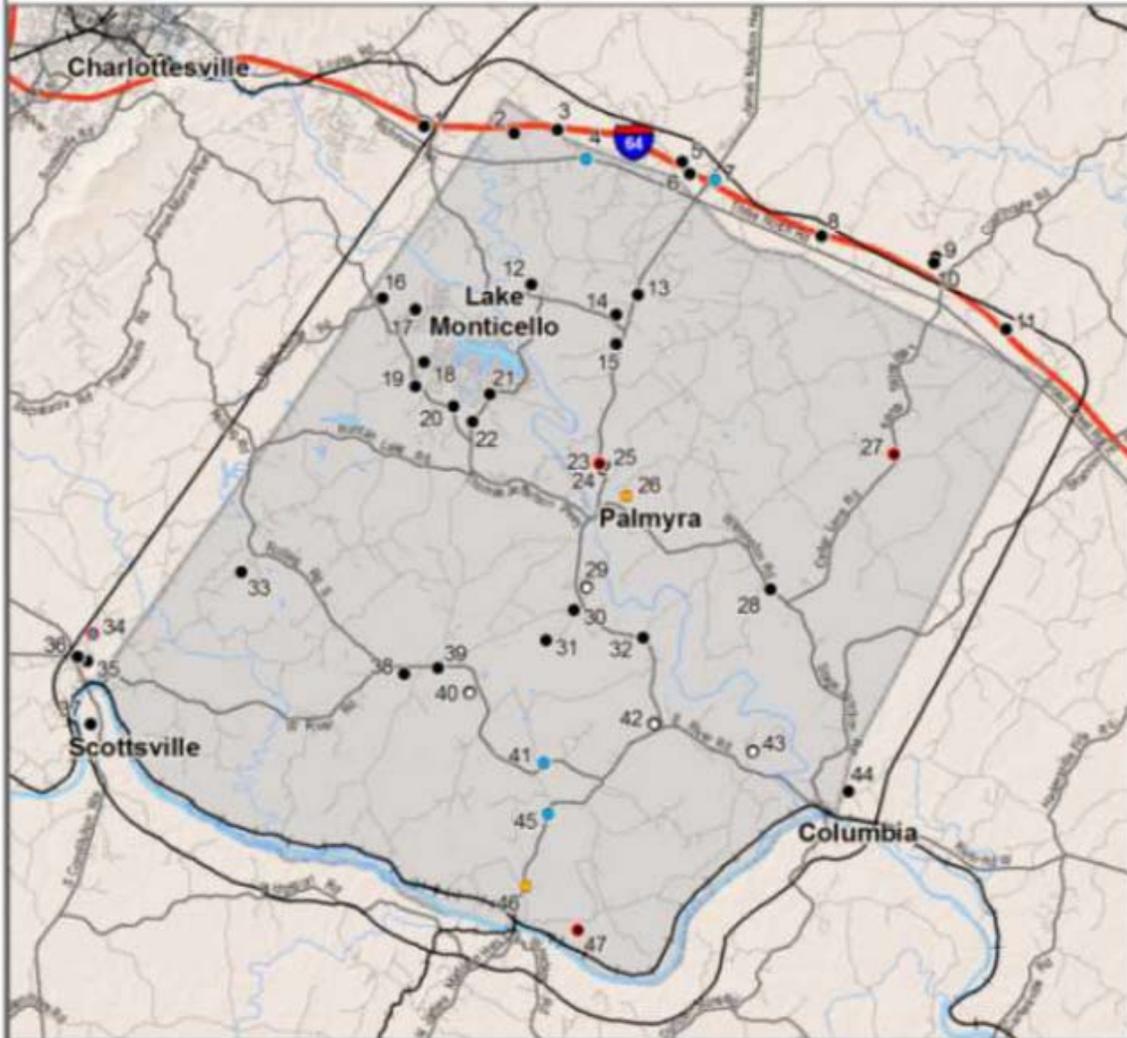


Proposed 195'
Monopole (not
visible)

View from Hawk's Crest Lane (not visible)

VA9032 Hardware River, Virginia Byway, Scottsville, VA

Existing Antenna Locations



- Tower
- Water Tank
- E911 Tower
- Not Built
- Pending / Proposed
- E911 Tower / Water Tower
- Limited Access Hwy
- Major Roads
- Minor Roads
- Railroads
- ⊞ County Boundary
- ⊞ 1 Mile Buffer Around County

Sources:
 CityScape Consultants, Inc.;
 US Geological Survey; Virginia DOT;
 Center for GISc at UNC Greensboro



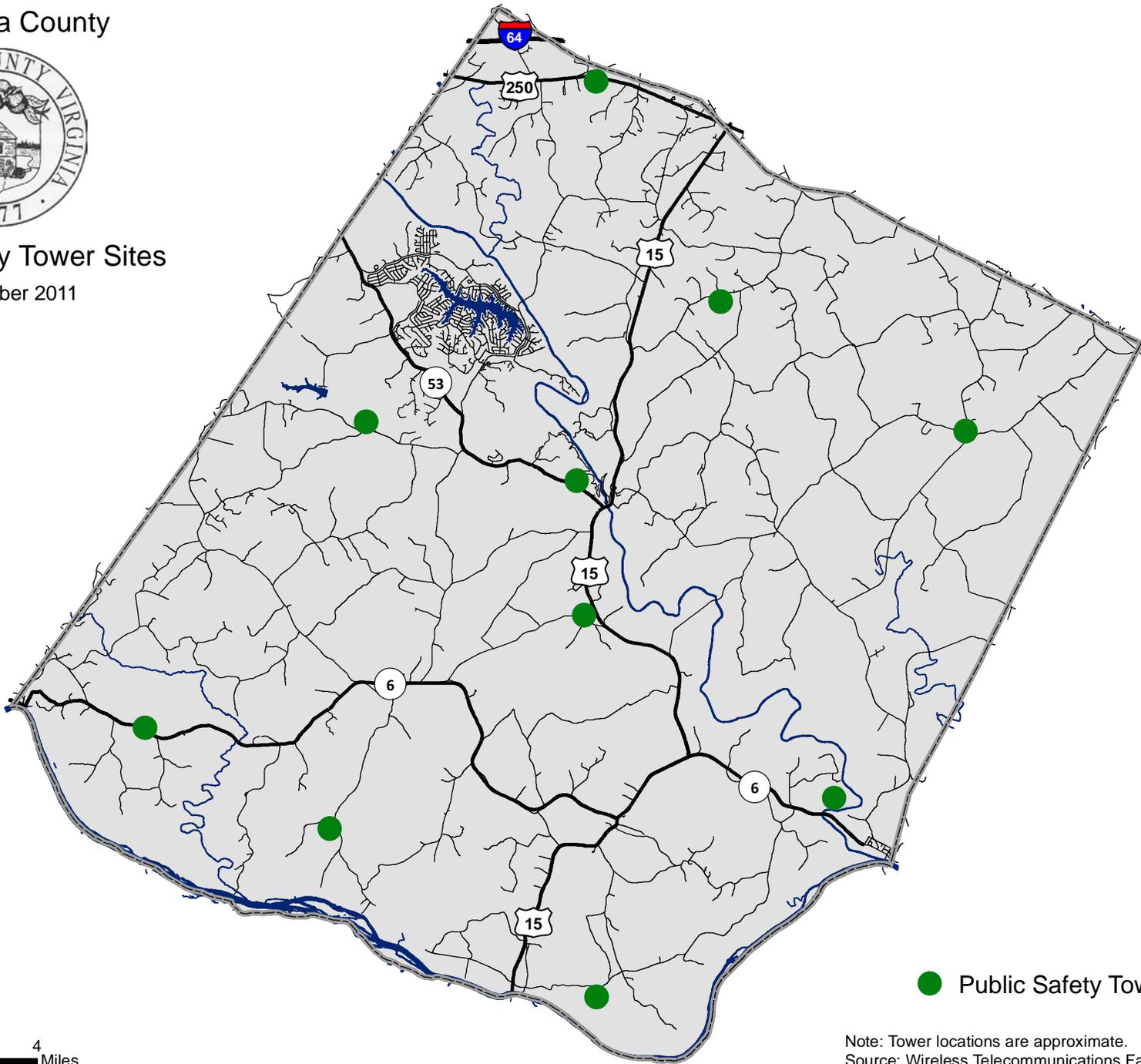
Map created on March 28, 2011 by the Center for GISc at UNC Greensboro

Fluvanna County

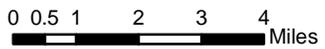


Public Safety Tower Sites

December 2011



● Public Safety Tower Sites



Note: Tower locations are approximate.
Source: Wireless Telecommunications Facilities Master Plan

From: [Darren Coffey](#)
To: rick@cityscapegov.com; [StevenTugwell](#); [Andrew Pompei](#)
Subject: FW: BOS Information
Date: Wednesday, February 15, 2012 10:28:08 AM

fyi

-----Original Message-----

From: Mary Weaver
Sent: Wednesday, February 15, 2012 10:11 AM
To: Donald Weaver; Joe Chesser; Mozell Booker; Robert Ullenbruch; Shaun V. Kenney
Cc: Darren Coffey
Subject: FW: BOS Information

FYI

-----Original Message-----

From: George Cushnie [<mailto:george@caiweb.com>]
Sent: Wednesday, February 15, 2012 9:37 AM
To: Mary Weaver
Subject: BOS Information

County Supervisors: I am writing to you to find out what actions I may take through the County government to prevent the installation of a 196 foot cell tower next to our property on Tax Map 48-A-94.

Through a neighbor, I learned that a balloon test was going to be conducted next to our property by Clear Signal Towers on Feb. 9, 2012 (incidentally, we were not informed). The test has been delayed. However, I contacted Clear Signal Towers (Dorothy Brunetti) and was told that the delay is only temporary.

We purchased this property in 2006 because of its rural nature and unobstructed views. A cell tower next to our property would greatly diminish our property value. Also, we are planning to build a wine tasting room on our property this year and the tower would also have an impact on business. The beautiful rural views of Fluvanna County are one of our drawing points.

Our property overlooks the Hardware River on two sides. We have some of the most pristine views in the County. I'm inviting anyone from the County to come by and see for themselves. If it is really needed, there must be a less intrusive place for the tower. I understand that the VFW property, just two miles west of us on RT. 6, has been approved for a 196 ft. tower. It seems that another tall tower this close would not be needed. Can't the cell phone companies be forced to piggyback?

Tax Map 48-A-94, which is approx. 75 acres planted in pines, is located between our property and a large beautiful property to the west. The owner of the western property may also be uninformed of the cell tower plan. The owner of Tax Map 48-A-94 is located on the opposite side (north) of the Hardware River and his line of sight would probably not be blighted by a tower. He seems to be willing to damage the property values of his neighbors for a monthly payment from the cell phone company. A decision I find morally reprehensible.

Please let me know if there is any way to engage the County Supervisors or other officials in this process.

Thank you,
George Cushnie
Thistle Gate Vineyard
5199 W. River Rd.
Scottsville, VA 24590-4665

Received

MAY 09 2012

May 9, 2012

Fluvanna County

Comments submitted to Fluvanna County Planning and Community Development Department
by:

George and Leslie Cushnie
5199 W. River Rd.
Scottsville, VA 24590

May, 9, 2012

Leslie and I are owners of Thistle Gate Farm and Vineyard, which adjoins the property related to SUP 12:02. We are located on Rt. 6 and we border the Hardware River. Use of our property as a commercial farm winery fits particularly well with the County 2029 Vision, which goals include agricultural use preservation, tourism, and an increased business tax base.

We are here this afternoon to ask the Technical Review Committee to send a negative recommendation on SUP 12:02 to the Planning Commission for the following six reasons:

1. The wireless tower is unnecessary. A site for a tower the same height as the proposed tower (nearly 200 feet tall) was previously approved for the VFW property located on Rt. 6, less than 2 miles west of this proposed site. Wireless phone companies should be forced to co-locate or piggy back use of these towers to avoid excessive visual damage to the appearance of this beautiful area, which is within the rural residential planning area of Fluvanna County.
2. The proposed tower would be visible from our home as we discovered during the balloon test conducted on March 19, 2012. We purchased this property based on its zoning, which is agricultural and views, which are very impressive. From our property, we can see Wintergreen resort, which is 30 miles away, and a number of other mountains. As we discovered during the balloon test, a cell tower, which is obviously a non-agricultural use of land, and unexpected in our area, would intrude on these views and reduce our enjoyment and the value of our property.
3. The balloon test was severely flawed in that it underestimates the visual damage that construction of a nearly 200 ft. tower would cause us. The only visual protection we have from the proposed site is a façade of pine trees located along the northwest side of our gravel driveway. The vast majority of these trees are not on our property, but rather on the property where the cell tower is proposed. Further, the trees lining our driveway are significantly higher than those closer to the proposed tower site, giving the false impression that the entire wooded property is densely forested and isolated from our property. This is because the pine trees along our driveway are at the edge of the proposed tower property, where they are exposed to much more light than the interior trees and therefore are taller and have more dense foliage. Again, we have no control over these pine trees. If they are cut down in the future, we will have an unobstructed view of the tower.
4. We are in the process of building a farm winery/tasting room on the southwest portion of our property, approximately 200 feet from the property where cell tower is proposed. This use of our property, as a farm winery, is explicitly protected as a by right privilege under the Code of

Virginia. The tower, which requires a special use permit, would be visible from our tasting room if the pine trees on the proposed site are partially or totally removed, as discussed in comment 3.

5. The proposed tower would loom well above existing pine trees. Even if a buffer of pine trees was retained, these trees would provide little visible protection. The interior pine trees are approximately 30 to 60 feet tall. The tower will therefore be approximately 150 feet higher than the trees. The only foliage on these trees is located near the top of the trees. Basically, they look like thin telephone poles with some pine needles on the top. The bases of the trees will be insufficient to hide the view of the tower.

6. The tower would be visible from the Hardware River, which is used by ourselves, other Fluvanna County residents and tourists for fishing, canoeing and kayaking. The Hardware River is an important County asset that should not be disturbed. A new Rt. 6 bridge will be constructed over the Hardware River in 2014. VDOT is designing provisions that will allow a put-in/take-out point for canoes and kayaks at the new bridge, near the edge of our property. As a result, use of the Hardware River for leisure enjoyment can be expected to increase after the new construction. A 200 ft cell tower would diminish the experience of boaters and fishermen.

Thank you for your time.
George and Leslie Cushnie

Andrew Pompei

From: George Cushnie [george@caiweb.com]
Sent: Tuesday, May 22, 2012 1:58 PM
To: Steven Tugwell
Cc: Andrew Pompei; Michael Gray
Subject: SUP 12:02

Steve: Leslie and I have come to an agreement with Michael Grey concerning SUP 12:02.

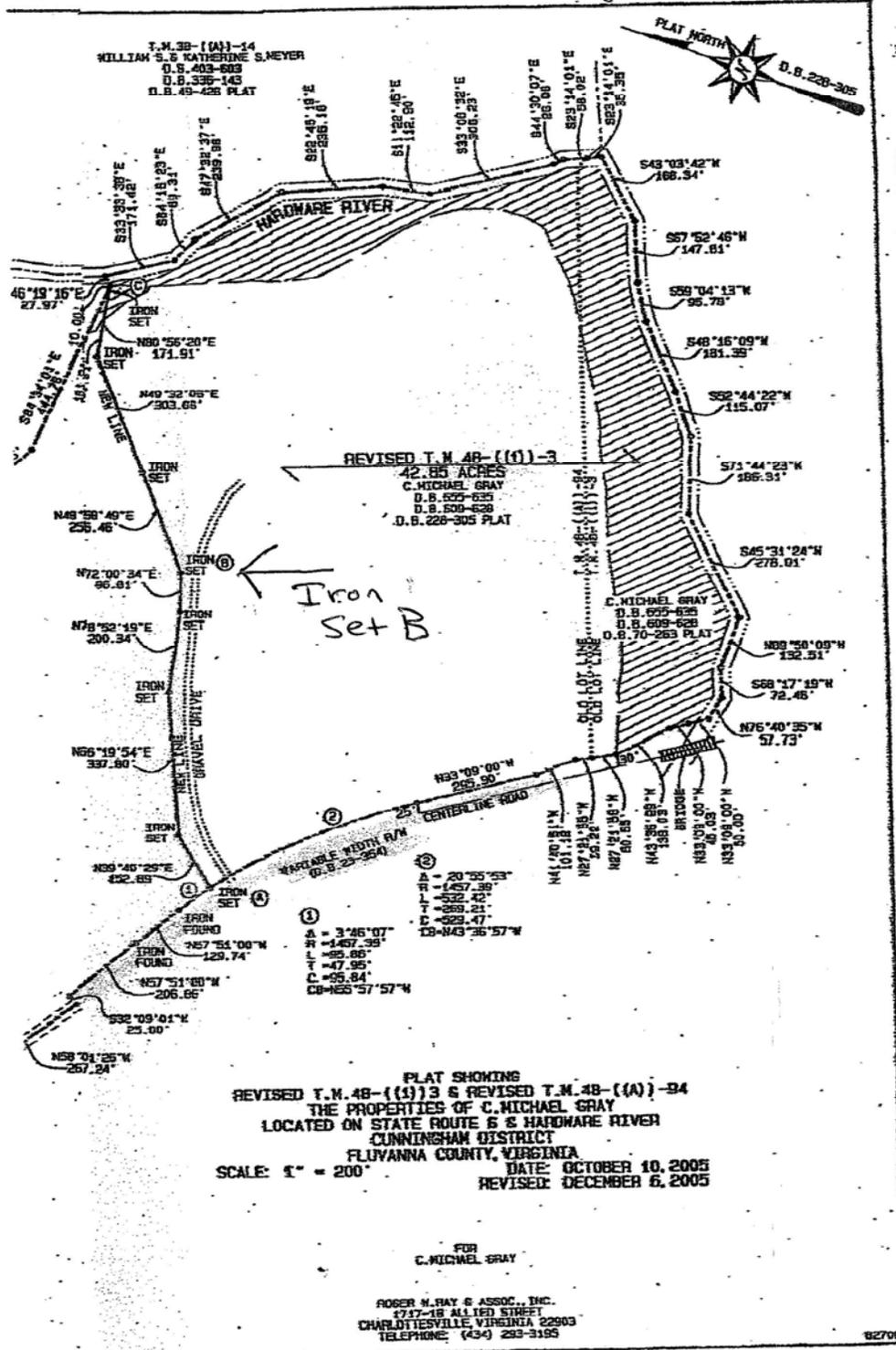
Leslie and I will drop our objections to the special use permit if the following three conditions are honored:

1. The cell tower is located as shown on the attached Google map (yellow text box).
2. The maximum height of the tower is 175 feet.
3. Michael Gray maintains a tree buffer of 60 feet deep on his property, along our driveway, from where the trees begin near Rt. 6 to iron set B as shown on the attached plat, that will convey with any sale of his property.

Please let me know if you have any questions.

Regards,
George and Leslie Cushnie

PLAT BY 2 PAGE 181



Andrew Pompei

From: Dorothy Brunetti [dorothy@vacapital.com]
Sent: Tuesday, May 22, 2012 3:51 PM
To: Andrew Pompei
Cc: Steven Tugwell; rick@cityscapegov.com
Subject: RE: SUP 12:02

Andrew,

Reads correctly and sounds like it covers all the fine points. Thank you for your time on this. We may want to include an exhibit from the survey that I forwarded to Mr. Grey that shows the actual buffer on the plat but you can ask the attorney about that.

Thank you,
Dorothy

Clear Signal Towers, LLC
Dorothy Brunetti
Chief Executive Officer
1801 Libbie Ave., Suite 201
Richmond, VA 23226
804-337-6470 (m)
804-915-9694 (o)
804-648-4809 (F)
dorothy@vacapital.com

From: Andrew Pompei [mailto:apompei@co.fluvanna.va.us]
Sent: Tuesday, May 22, 2012 3:48 PM
To: Dorothy Brunetti
Cc: Steven Tugwell; rick@cityscapegov.com
Subject: RE: SUP 12:02

Dorothy,

Thanks for the quick response! Based on your input and Mr. Cushnie's prior email, I have developed language describing the conditions you all have proposed. Please look over them and make sure they are accurate. Once they are OK, I'll send them on to the County Attorney to make sure they are in proper format.

- The tower, including antennae, will not be higher than 179 feet and will not be lit.
- The property owner will retain a forested buffer of no less than sixty feet (60') in width on Tax Map 48 (A)94 adjacent to its boundary with Tax Map 48(1)3, from the right-of-way of State Route 6 to iron set "B", as shown on the plat recorded in Plat Book 2, Page 181 at the Clerk's Office of the Circuit Court of Fluvanna County.

Thanks,
Andrew

Andrew J. Pompei
Planner | Fluvanna County
434.591.1910 | apompei@co.fluvanna.va.us

From: Dorothy Brunetti [<mailto:dorothy@vacapital.com>]
Sent: Tuesday, May 22, 2012 2:28 PM
To: Andrew Pompei
Cc: Steven Tugwell
Subject: RE: SUP 12:02

Andrew,

I have been speaking with Mr. Grey and have agreed to 175' foot tower in an effort to make this a "win win" for all parties involved. Mr. Grey has agreed to the 60' buffer around the property.

Thank You,
Dorothy

Clear Signal Towers, LLC
Dorothy Brunetti
Chief Executive Officer
1801 Libbie Ave., Suite 201
Richmond, VA 23226
804-337-6470 (m)
804-915-9694 (o)
804-648-4809 (F)
dorothy@vacapital.com

From: Andrew Pompei [<mailto:apompei@co.fluvanna.va.us>]
Sent: Tuesday, May 22, 2012 2:16 PM
To: Dorothy Brunetti
Cc: Steven Tugwell
Subject: FW: SUP 12:02

Dorothy,

Mr. Cushnie (owner of the vineyards/winery adjacent to the Hardware River site), spoke with us this morning and sent this email stating that he and Mr. Gray have come to an agreement regarding the proposed tower (see below). Mr. Gray was CC'ed on the email to us.

Have you agreed to these conditions? If these are conditions that the property owner (Mr. Gray) and applicant (Clear Signal) have agreed to, we would need written verification from the applicant. These conditions would then become part of the SUP, if approved.

If you could provide us with your response either way, it would be appreciated.

Thanks,
Andrew

Andrew J. Pompei
Planner | Fluvanna County
434.591.1910 | apompei@co.fluvanna.va.us

From: George Cushnie [<mailto:george@caiweb.com>]
Sent: Tuesday, May 22, 2012 1:58 PM
To: Steven Tugwell
Cc: Andrew Pompei; Michael Gray

5/24/2012

Subject: SUP 12:02

Steve: Leslie and I have come to an agreement with Michael Grey concerning SUP 12:02.

Leslie and I will drop our objections to the special use permit if the following three conditions are honored:

1. The cell tower is located as shown on the attached Google map (yellow text box).
2. The maximum height of the tower is 175 feet.
3. Michael Gray maintains a tree buffer of 60 feet deep on his property, along our driveway, from where the trees begin near Rt. 6 to iron set B as shown on the attached plat, that will convey with any sale of his property.

Please let me know if you have any questions.

Regards,
George and Leslie Cushnie

MEMORANDUM

To: County of Fluvanna, Office of Planning and Community Development
From: Fluvanna County Health Department, Environmental Health
Date: May 10, 2012

SDP 12:09 – Triangle Realtors – Property located on right side of Turkey Sag off of Rt. 53 in existing shopping center. Probable connection to Lake Monticello water & sewer.

SUP 12:01 – Clear Signal Towers, LLC - Tax Map 39-A-34, property belonging to William Davis. 331.29 acres directly across from Kidd's Store, southside of Rt. 6. Property does not contain any existing buildings, water or sewage systems.

SUP 12:02 – Clear Signal Towers, LLC – Tax Map 48-A-94, property belonging to Michael Gray. 71.46 acres on north side of Rt. 6 past Hardware River. Property does not contain any existing buildings, water or sewage systems.

SUP 12:03 – Clear Signal Towers, LLC – Tax Map 59-A-13B, property belonging to Richard White. 46.6 acres on East side of Rt. 15 before Bremo Bluff. The health department issued a permit for an agricultural well which was installed on June 10, 2009. There is a barn on the property but no septic systems.

SUP 12:04 Clear signal Towers, LLC – Tax Map 50-A-3, property belonging to Margaret Snoddy. 97.7 acres on Rt. 650, south of Rt. 6. Property does not contain any existing buildings, water or sewage systems.

ZTA 12:01 & ZTA 12:02 – Amendments to Zoning and Subdivision Ordinances. No apparent impact on health department regulations.

**Telecommunications Site Review
Virginia New Structure**

7050 W. Palmetto Park Road #15-652
Boca Raton, FL 33433-3483
Phone: 877-438-2851 • Fax: 877-220-4593

May 9, 2012

Mr. Steven Tugwell
Planning and Zoning
Fluvanna County
132 Main Street
Palmyra, Virginia 22963

**RE: AT&T Mobility Application
Hardware River
Site: 444**

Dear Mr. Tugwell,

At your request on behalf of Fluvanna County, Virginia, CityScape Consultants Inc., in its capacity as telecommunications consultant for the County, has considered the merits of an application submitted by AT&T Wireless ("AT&T") and Clear Signal International ("Clear"), to construct a new one hundred ninety-five (195) foot monopole type tower to include a four (4) foot top mounted lightning rod, as an antenna support structure. AT&T is actively upgrading their facilities throughout the State of Virginia and other areas in the southeast United States. Other carriers such as U.S. Cellular, T-Mobile and Verizon are doing much the same. This proposed new construction will allow AT&T to improve service along US-15. The new facility will expedite AT&T to bring new 3G (Third Generation) and 4G (Fourth Generation) electronic communication capabilities. Currently AT&T has limited facilities within Central Virginia. The proposed support structure is to be owned by Clear Signal Towers and will be located on property owned by C. Michael Grey. The proposed new facility will be located on State Road 650 near Palmyra in Fluvanna County, Virginia, see *figure 1*.

AT&T is proposing to top mount their antennas at the one hundred ninety-five (195)-foot level, using a single coaxial cable for each antenna. AT&T plans to install a new prefabricated shelter mounted on a new concrete foundation near the base of the tower, see *figure 2*. The Applicant has stated that the facility will be constructed to accommodate a total of four (4) antenna arrays which is contrary with Fluvanna County code, see *figure 3*. A new tower of this height must accommodate a total of six (6) antenna arrays.

All wireless communications systems depend on the concept of frequency resource reuse to achieve greater capacities. With some technologies, the individual channel frequencies are reused every few cells, but not too closely, since interference would result. In many other systems, power from one base station interferes with other base stations, impacting network capacity. Therefore, it is undesirable for wireless phones to communicate with more than a few base stations simultaneously.

A reasonable search area location is a key element in assuring that a site is justified. Generally, new wireless communication facilities are equally spaced with respect to existing sites. However, terrain, network capacity and other issues may necessitate a facility that it is *not* equally spaced with respect to existing sites. Typically the wireless provider is asked to provide a frequency grid or coverage predictions to indicate that a site is properly located.

Specifically, the undersigned has evaluated AT&T's proposal from the following perspectives:

1. The proposed facility is required due to technological reasons and is essential for the Applicant to provide telecommunications services, and,
2. The proposed new site was selected as reasonably within the targeted area and therefore acceptable within the AT&T Network design specifications. The Applicant has followed the guidelines of the Telecommunications Act of 1996, the State of Virginia and the Fluvanna County Ordinance.

The Applicant did not follow all guidelines. The required changes are reflected within the conditions of approval.

All designs and plans for the proposed new facilities were developed according to accepted practices of RF propagation engineering and the persons completing all work are sufficiently qualified within their disciplines.

Figure 4 represents the current service for AT&T at this location. *Figure 5* indicates the Applicant's predicted new service for this phase of Network deployment in Fluvanna County. CityScape anticipates this plan, if built as designed, should be sufficient to allow an improvement of regular cellular service to AT&T customers, in addition the proposed changes will increase the ability for citizens to utilize higher speed internet. Properly locating the site will justify the proposed construction of a new support structure.

The Applicant supplied a letter of compliance with all FCC standards regarding human exposure to Radio Frequency energy, and the Applicants will comply with all aspects of FCC rules regarding interference, see *figure 6*. CityScape is aware that this facility will operate in both the 800-megahertz and 1900-megahertz spectrum and could be an interference concern to Public Safety operations.

For the reasons listed below, it is our opinion that:

- ◆ The proposed facility is required because of generally accepted and adequately demonstrated technological reasons and is essential in order for AT&T to provide satisfactory existing communications service, to alleviate a signal coverage issue; and
 - ◆ AT&T's submissions indicate there is a substantial service void in the general area surrounding the subject site and that the addition of new service at a height of 195 feet will help relieve these concerns. Therefore the proposed location will sufficiently accomplish satisfactory service, and there are no reasonable alternative technologies to accommodate the Applicant's needs without the construction of a new facility; and,
 - ◆ The proposed new site is supported by the Fluvanna County Telecommunications Master Plan
-

The Applicant submitted photo simulations which are attached as Exhibits.

The site will be designed and constructed by professionals with expertise in the disciplines of maximizing the use of telecommunications facilities and construction. This practice corresponds with the desires of Fluvanna County.

Upon review and discussions with the Applicant, CityScape confirms a new support structure is required not only for proposed new AT&T equipment but will be needed for additional wireless carriers in the near future. Therefore, CityScape recommends this application with the tower height of 195 feet be approved with the following conditions:

That the Applicant;

1. Confirms the new support structure will be capable of supporting a total of six (6) antenna arrays, in compliance with EIA/TIA 222-G; and,
2. The proposed new tower shall accommodate no less than six (6) different wireless service provider's antenna arrays all of the same general design; and,
3. The Applicant shall expand the ground compound to accommodate up to six (6) different wireless service provider's ground mounted electronic equipment; and,
4. The Applicant obtain all necessary County permits prior to any work on the site; and,
5. All access ports shall be sufficiently sealed to prevent infiltration or habitation by any type of wildlife; and,
6. The facility shall be protected from access from unauthorized personnel both during construction and during all periods of operation.

Respectfully submitted,



Richard L. Edwards
FCC Licensed
PCIA Certified
CityScape Consultants, Inc.

AT&T Mobility Site: 444
Clear Signal Towers
Hardware River Site
Fluvanna County, Virginia
May 9, 2012
Page 4

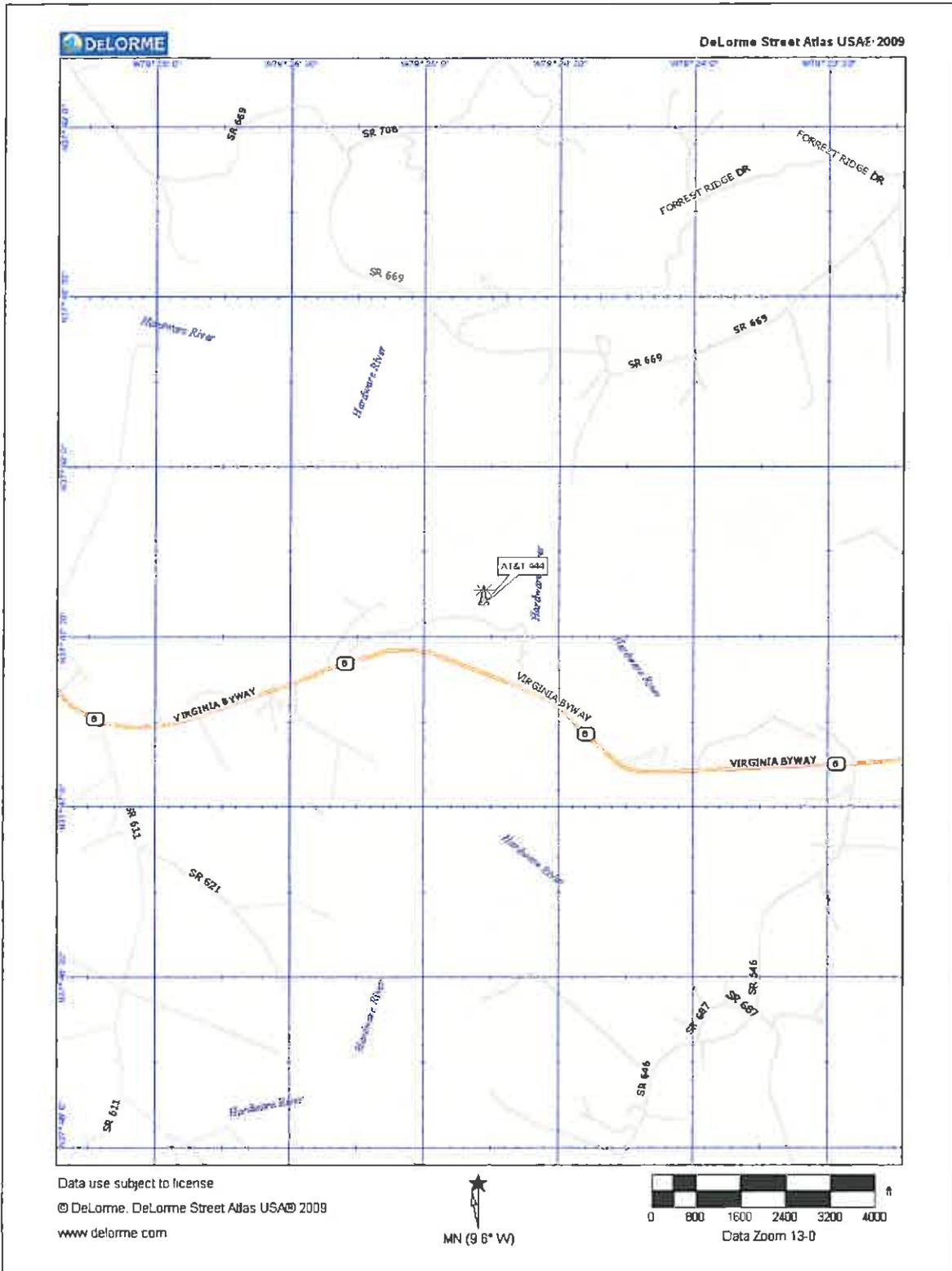


Figure 1. Site Location

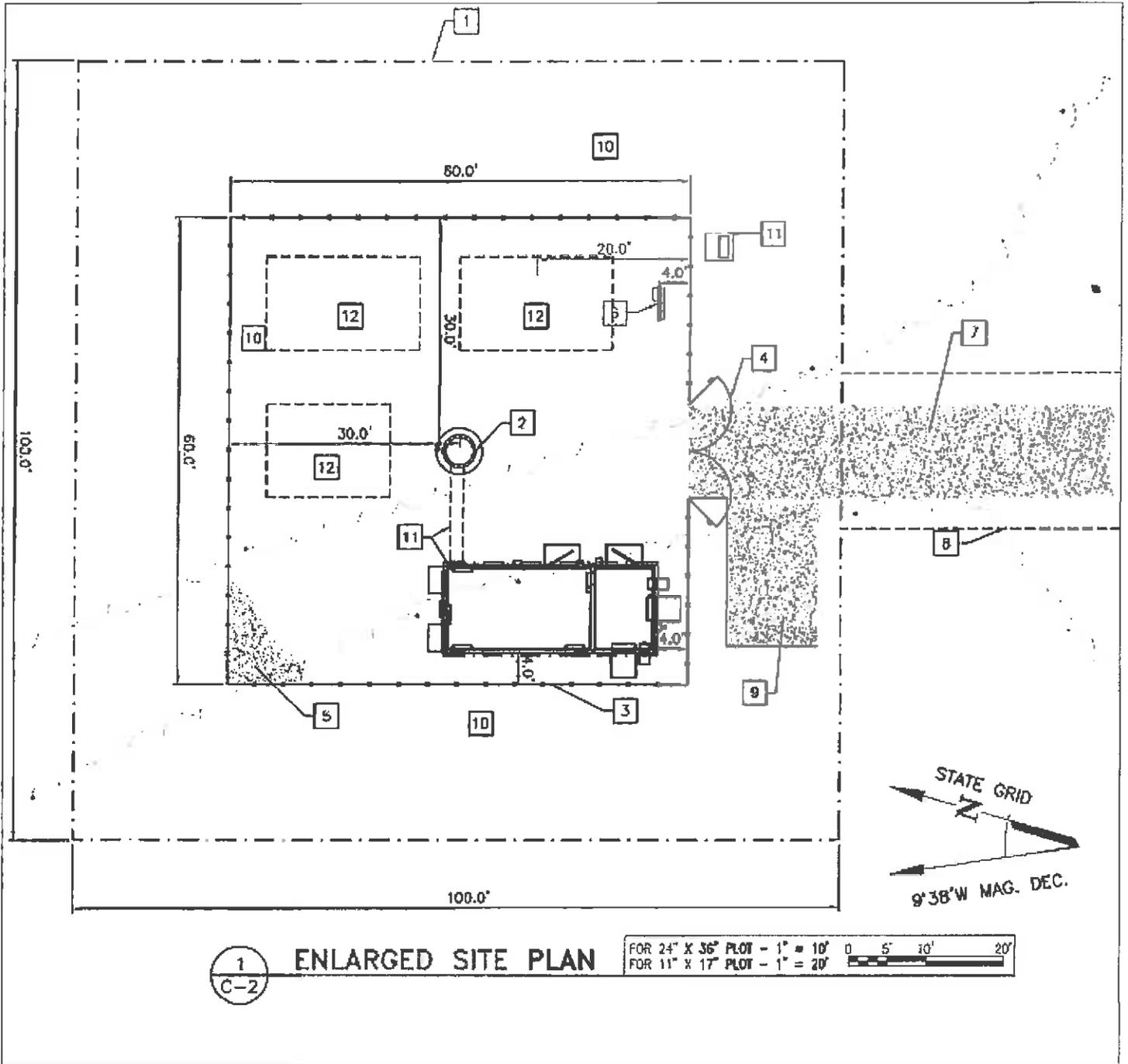


Figure 2. Proposed Ground Compound

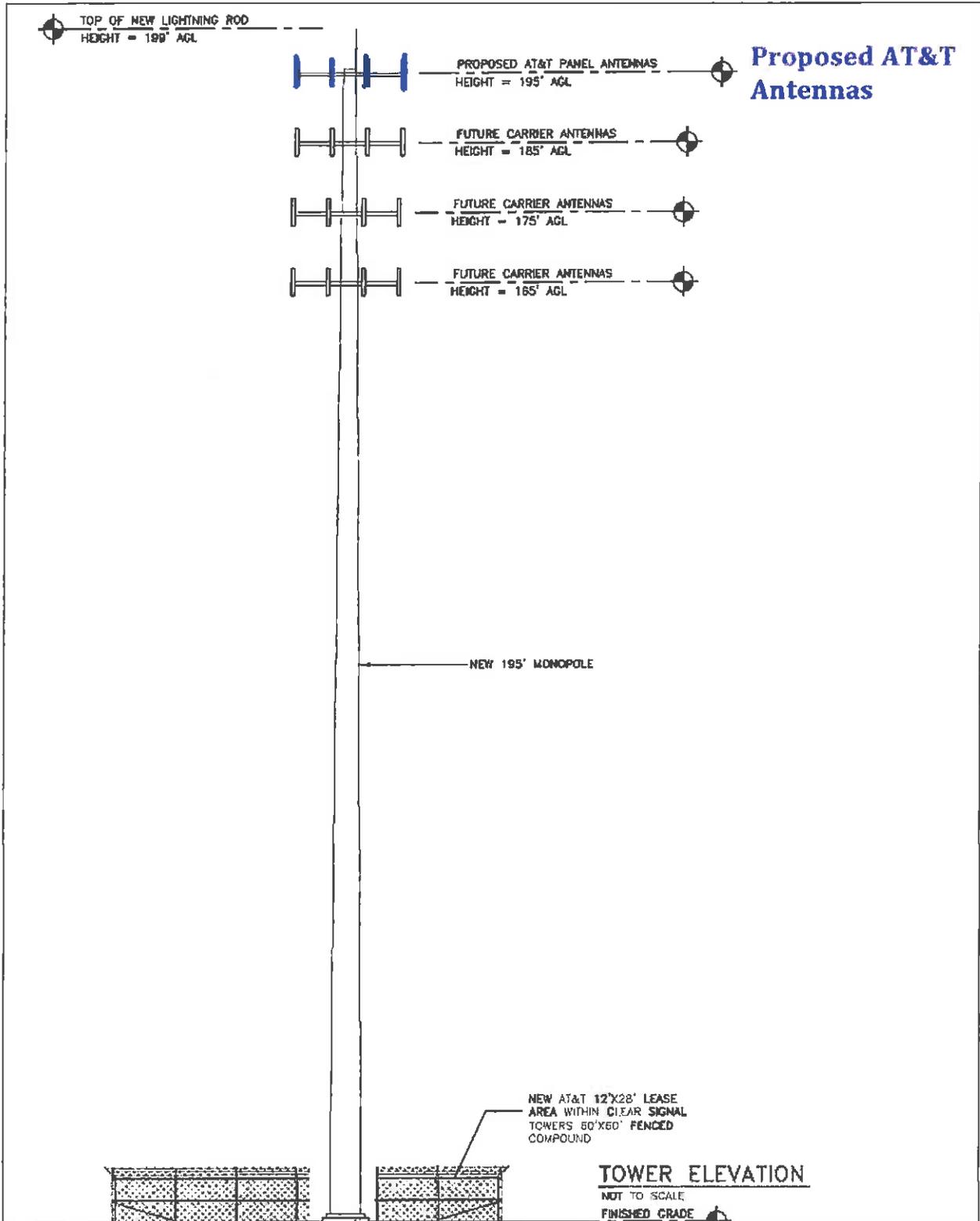


Figure 3. Proposed Tower Elevation

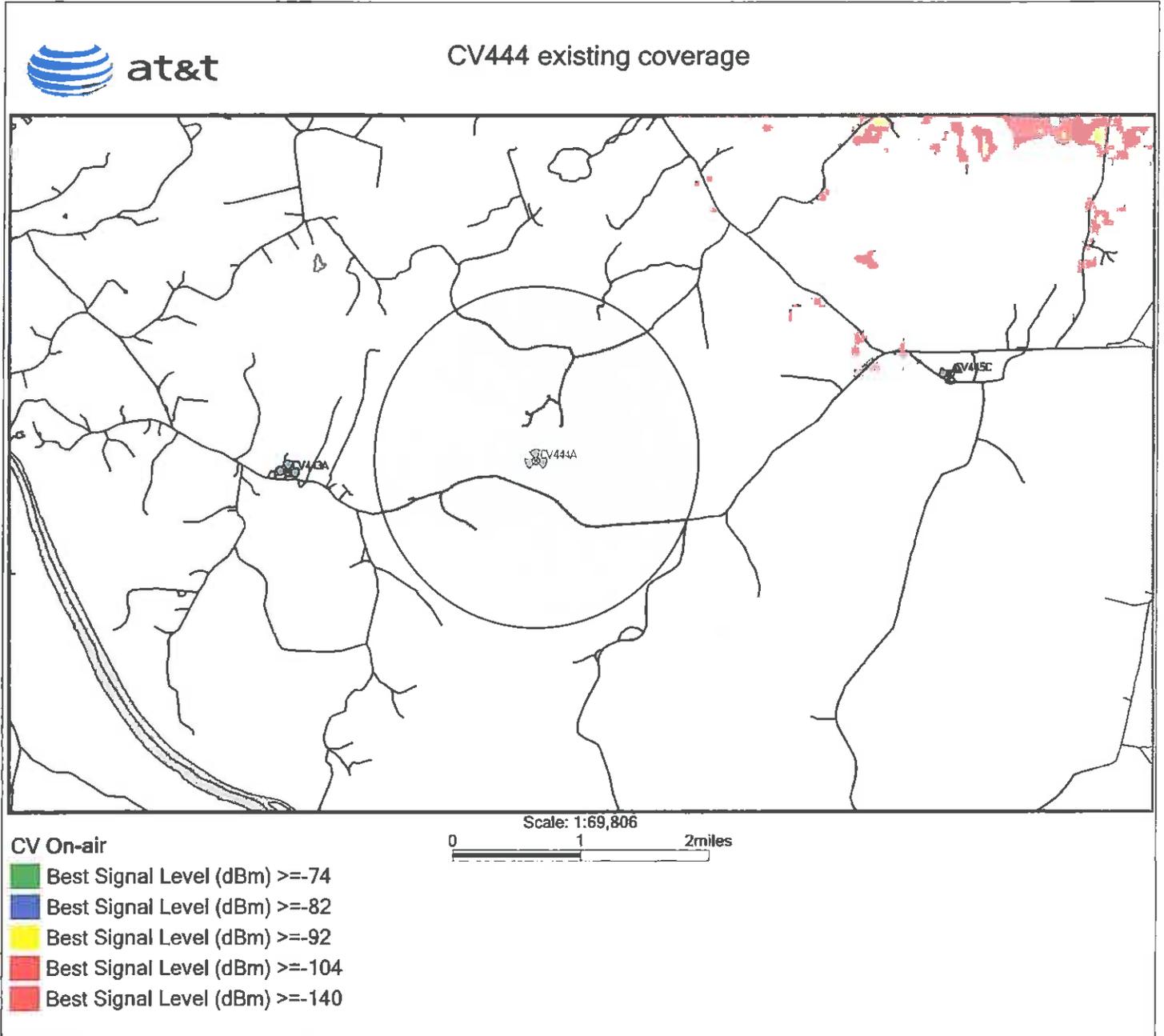


Figure 4. Current Service (Gray Indicates Target Area)

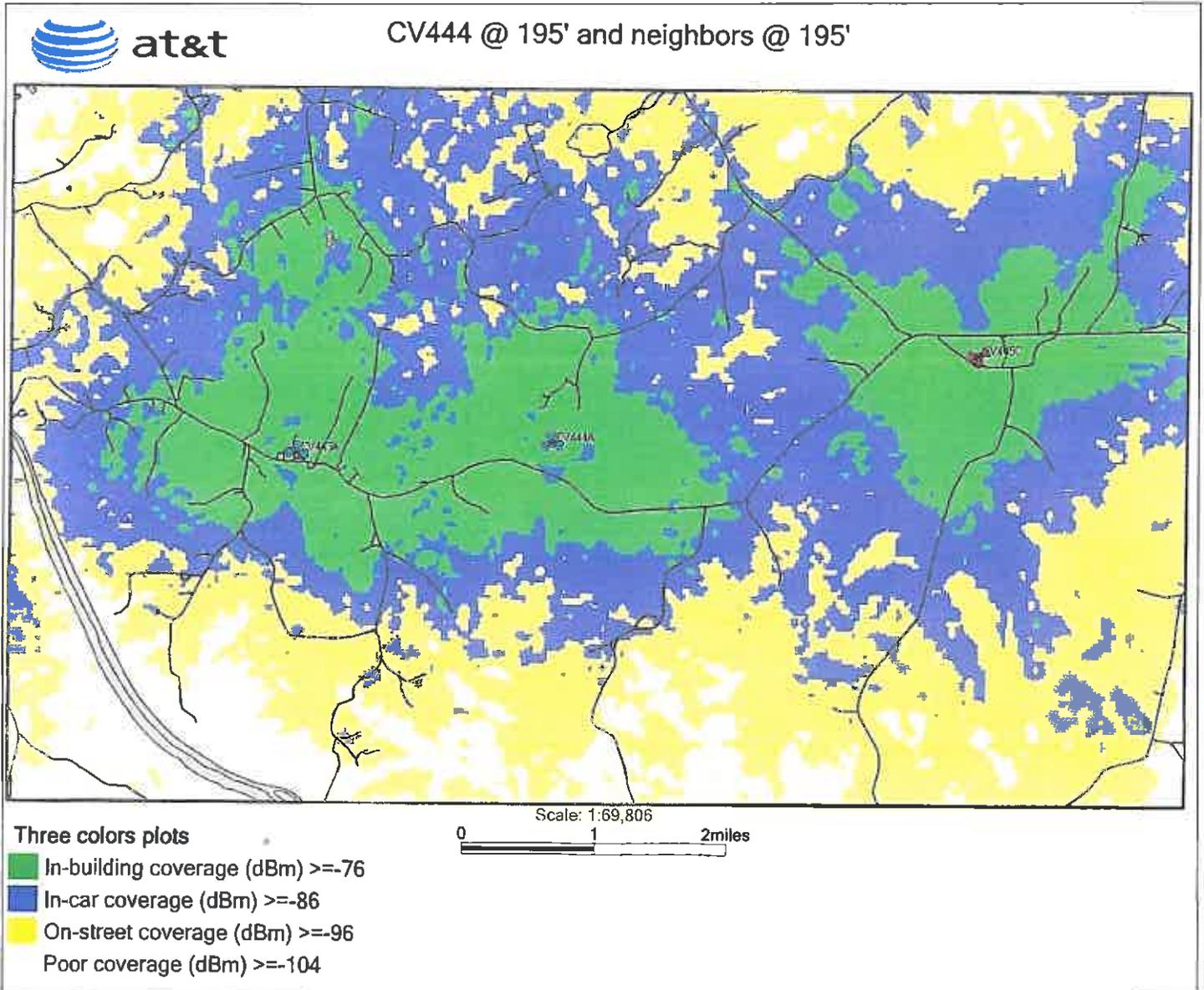


Figure 5. Projected New Service



November 7, 2011

Subject: AT& T Proposed Site – Communications Tower located on Virginia Byway (Tax Map 48-A-94) ~ Scottsville, VA: FCC Compliance Letter – Site (CV444/VA9032) “Hardware River”

AT&T will comply with all FCC rules regarding interference to other radio services and AT&T will comply with all FCC rules regarding human exposure to radio frequency energy.

Please do not hesitate to contact me with any questions or concerns regarding this project.

Sincerely,

Samuel J. Schroll

Samuel J. Schroll
RF Engineer
Solutelia /AT&T Mobility
4801 Cox Road, Suite 300
Glen Allen, Va. 23060
804-928-5571

Figure 6. Human Exposure and Interference Compliance Statements



COUNTY OF FLUVANNA

"Responsive & Responsible Government"

P.O. Box 540 Palmyra, VA 22963 (434) 591-1910 FAX (434) 591-1911 www.co.fluvanna.va.us

STAFF REPORT

To: Fluvanna County Board of Supervisors

Case Number: SUP 12:03

Tax Map: 59-A-13B

From: Steve Tugwell

District: Fork Union

Date: July 18, 2012

General Information: This request is to be heard by the Board of Supervisors on Wednesday, July 18, 2012 at 7:00 pm in the Circuit Courtroom of the Fluvanna County Courts Building.

Applicant: Clear Signal Towers, LLC

Requested Action: A request for a Special Use Permit (SUP) to allow for a 195-foot wireless telecommunications tower with respect to 46 acres of Tax Map 59, Section A, Parcel 13B (Attachment A).

Existing Zoning: A-1, Agricultural, General

Planning Area: Rural Residential

Zoning Ordinance: Article 27: *Regulation of Telecommunications Facilities*

Location: The affected property is located on the east side of James Madison Highway (U.S. Route 15) 1.2 miles south of its intersection with Winnsville Drive (Route 612). (Attachment B)

Existing Land Use: The property is agricultural and consists of farm-related buildings.

Adjacent Land Use: The surrounding area is zoned A-1, Agricultural, General and is very low-density residential in nature.

Zoning History: No Previous Zoning Activities

Analysis

The applicant has requested a Special Use Permit (SUP) to allow the construction of a 195-foot monopole-type telecommunications tower on Tax Map 59, Section A, Parcel 13B. The tower will be constructed within a 10,000 square foot (100' x 100') compound that will also house the necessary accessory structures.

When evaluating a request for a Special Use Permit (SUP), two (2) general guidelines are used for evaluation, as set forth in the Fluvanna County Zoning Ordinance (Sec. 22-17-4D).

First, the proposed use should not tend to change the character and established pattern of the area or community.

Character of Surrounding Area

The proposed tower is located in the southeastern portion of the county off of U.S. Route 15 (James Madison Highway), north of the James River. The surrounding area is not highly populated, and has land involved in agricultural production. A minimal number of dwellings are located within a mile of the proposed tower. The location of the proposed tower is screened by a dense stand of loblolly pines approximately 200 feet in width. According to the applicant's photosimulations, the tower would be visible from the immediate lease compound area, but not as visible from U.S. Route 15 (James Madison Highway). On the day of the balloon test, the proposed tower was not visible traveling north on Route 15, but was slightly visible when traveling south along Route 15. (Attachment C)

Conformance with Wireless Telecommunications Facilities Master Plan

According to the *Wireless Telecommunications Facilities Master Plan*, there are three (3) potential county owned properties that were considered as alternates, but were dismissed by the consultant due to their proximity to other planned sites. All three sites are along U.S. Route 15, and the consultant determined that an existing site that has been approved in Buckingham County would be spaced too close to county owned property in Fluvanna. (Attachment D)

Second, the proposed use should be compatible with the uses permitted by-right in that zoning district and shall not adversely affect the use/or value of neighboring property.

Zoning

The subject property and all surrounding property are zoned A-1 (Agricultural, General). Since the proposed tower will be less than 200 feet, it will not have to be lighted. The applicant is proposing to build a 195 foot non-concealed freestanding antenna support facility within a 100 foot by 100 foot lease area, which per Sec. 22-27-8, requires a special use permit, and is not permitted by-right. Some permitted by-right uses in the A-1 zoning district include single-family dwellings, minor utilities, home occupations, private kennels, and temporary sawmills to name a few.

If this request were approved, the applicant will be required to submit a site development plan for review, in accordance with Article 23: *Site Development Plans* of the Fluvanna County Zoning Ordinance.

Relationship to Neighboring Properties

The proposed tower will be located on a parcel of land engaged in agricultural purposes. This parcel contains farm related buildings including silos and barns. The tower would be screened by a substantial wooded area between U.S. Route 15 (James Madison Highway), and the lease area. Very few dwellings are located within a 1-mile proximity of the proposed tower, and existing vegetation would provide an effective screening from those properties. (Attachment E).

Comprehensive Plan

The Comprehensive Plan designates this area as within the Rural Residential Planning Area. The Infrastructure Chapter of the Comprehensive Plan has the following recommendations concerning the siting of cellular towers.

- Encourage the location and co-location of wireless communication equipment on existing structures;
- Accommodate the growing need and demand for wireless communication services;
- Encourage coordination between communication providers;
- Establish consistent and balanced legal language governing wireless communications facilities that take into consideration the Comprehensive Plan and communications master plan; and
- Maintain compliance with applicable laws, including but not limited to the 1996 Telecommunications Act.

The above recommendations are the primary reasons the county has procured a telecommunications consultant to assist with these applications.

Neighborhood Meeting

The neighborhood meeting was held on May 9, 2012. With the exception of the property owner, there were no other people there to speak with regard to this application.

Technical Review Committee

The Technical Review Committee (TRC) meeting was held on May 10, 2012. The following comments were made:

1. The Health Dept. stated that a permit was issued for an agricultural well which was installed on June 10, 2009, and that there is a barn on the property but no septic systems;
2. Central Virginia Electric Cooperative stated that Dominion power has jurisdiction at this site;

3. Planning staff stated that the consultant's report was forthcoming and their comments would be part of the staff report;
4. VDOT stated that an entrance permit will be required, and the entrance may need to be upgraded. (Attachment F).

Planning Commission

The Planning Commission considered this SUP request at their June 27th meeting, with very limited discussion. The Commission asked how long it would be before the tower were built if approved, and the applicant replied six to eight months. The Planning Commission recommended approval 3-0-1, with Dr. Babbitt abstaining. Mr. Halstead was absent.

Consultant's Recommendation

CityScape Consultants, Inc. has reviewed this request, and has stated that:

1. The proposed facility is required because of generally accepted and adequately demonstrated technological reasons and is essential in order for AT&T to provide satisfactory existing communications service and alleviate a signal coverage issue;
2. AT&T's submissions indicate there is a substantial service void in the general area surrounding the subject site and that the addition of new service at a height of 195 feet will help relieve these concerns. Therefore, the proposed location will sufficiently accomplish satisfactory service, and there are no reasonable alternative technologies to accommodate the Applicant's needs without the construction of a new facility; and
3. The proposed site is supported by the *Wireless Telecommunications Facilities Master Plan*.

CityScape Consultants, Inc. recommends that the application be approved with the following conditions:

1. The Applicant confirms the new support structure will be capable of supporting a total of six (6) antenna arrays, in compliance with EIA/TIA 222-G;
2. The proposed new tower shall accommodate no less than six (6) different wireless services providers' antenna arrays, all of the same general design;
3. The Applicant shall expand the ground compound to accommodate up to six (6) different wireless service providers' ground-mounted electronic equipment;
4. The Applicant shall obtain all necessary County permits prior to any work on the site;
5. All access ports shall be sufficiently sealed to prevent infiltration or habitation by any type of wildlife; and
6. The facility shall be protected from access from unauthorized personnel both during construction and during all periods of operation. (Attachment G)

Conclusion

This request for a special use permit for a 195 ft. monopole telecommunication facility appears to be in substantial conformance with the intent of the Comprehensive Plan's recognition that telecommunications are a critical part of the role of infrastructure throughout the county, and the criteria set forth in the Zoning Ordinance. In reviewing this request, the Planning Commission should consider how the proposed tower:

- Conforms with the *Wireless Telecommunications Facilities Master Plan*;
- Improves telecommunications infrastructure within Fluvanna County; and
- Impacts the rural character, and associated tourism potential, of the surrounding area.

If approved, staff recommends that the following conditions be imposed:

1. The tower, including antennae, will not be higher than 199 feet and will not be lit;
2. The tower shall be in the same location as shown in the application;
3. The Applicant confirms the new support structure will be capable of supporting a total of six (6) antenna arrays, in compliance with EIA/TIA 222-G;
4. The proposed new tower shall accommodate no less than six (6) different wireless services providers' antenna arrays, all of the same general design;
5. The Applicant shall expand the ground compound to accommodate up to six (6) different wireless service providers' ground-mounted electronic equipment;
6. The tower shall be available for co-location by other telecommunications companies, with Fluvanna County having the right of first refusal prior to the approval of each proposed co-location;
7. The Applicant shall obtain all necessary County permits prior to any work on the site;
8. All access ports shall be sufficiently sealed to prevent infiltration or habitation by any type of wildlife; and
9. The facility shall be protected from access from unauthorized personnel both during construction and during all periods of operation;
10. All feed lines shall be installed within the shell of the monopole and no lines will be exposed except at the antennas;
11. If the structures should no longer be needed, the applicant shall remove them, and restore the grounds to the prior condition; and
12. Violation of any condition of this permit shall be grounds for revocation of this permit.
13. The Board of Supervisors, or their representatives, has the right to inspect the property for compliance with these conditions at any time.

Suggested Motion

I move that the Board of Supervisors approve/deny SUP 12:03, a special use permit request to allow for a 195 foot monopole telecommunications tower pursuant to Fluvanna County Code Section 22-27-1 with respect to 46 acres of Tax Map 59, Section A, Parcel 13B, (if approved) subject to the conditions listed in the staff report.

Attachments

- A: Application, compliance letter, and APO letter
- B: Aerial Vicinity Map
- C: Applicant's Balloon Test Photos
- D: Map of County owned property and email from the consultant
- E: Map of Existing Wireless Telecommunications Inventory
- F: TRC comments
- G: Consultant's Report

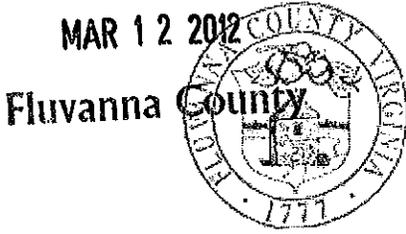
Copy

Owner: Richard and Lindsay White, 2214 James Madison Highway, Bremono Bluff, VA 23055
Applicant: Clear Signal Towers, LLC, Dorothy Brunetti, 1801 Libbie Avenue, Suite 201, Richmond, VA 23226
Consultant: CityScape Consultants, 10704 Elmbrook Court, Raleigh, NC 27614

Received

MAR 12 2012

Weber City
VA 9029 / CV 439



COMMONWEALTH OF VIRGINIA
COUNTY OF FLUVANNA

Application for Special Use Permit (SUP)

Owner of Record: Richard & Lindsay White
E911 Address: 2214 James Madison Hwy, Bremo Bluff
Phone: _____ Fax: N/A
Email: N/A

Applicant of Record: Clear Signal Towers, LLC
E911 Address: 1801 Libbie Ave, Suite 201, Richmond VA
Phone: 804-337-6470 Fax: 804-648-4809
Email: dorothy@vacapital.com

Representative: Dorothy Brunetti
E911 Address: 1801 Libbie Ave, Suite 201, Richmond
Phone: 804-337-6470 Fax: 804-648-4809
Email: dorothy@vacapital.com

Note: If applicant is anyone other than the owner of record, written authorization by the owner designating the applicant as the authorized agent for all matters concerning the request shall be filed with this application.
Is property in Agricultural Forestal District? No Yes
If Yes, what district: N/A

Tax Map and Parcel(s): 59-A-13B
Acreage: 46 Zoning: A-1
Request for a SUP in order to: construct a tower

Deed Book Reference: 124 P. 432
Deed Restrictions? No Yes (Attach copy)
Proposed use of Property: Wireless Telecom Facility

*Two copies of a plan must be submitted, showing size and location of the lot, dimensions and location of the proposed building, structure or proposed use, and the dimensions and location of the existing structures on the lot.

By signing this application, the undersigned owner/applicant authorizes entry onto the property by County Employees, the Planning Commission, and the board of Supervisors during the normal discharge of their duties in regard to this request and acknowledges that county employees will make regular inspections of the site.

Date: 3/1/12 Signature of Owner/Applicant: [Signature]

Subscribed and sworn to before me this 1st day of MARCH, 2012 Register # 7273598

My commission expires: _____ My Commission Expires October 31, 2013 Notary Public: [Signature]

Certification: Date: _____ Zoning Administrator: Darren Coffey

All plats must be folded prior to submission to the Planning Department for review. Rolled plats will not be accepted.

OFFICE USE ONLY	
Date Received: <u>3-12-12</u>	Pre-Application Meeting: _____ PH Sign Deposit Received: _____ Application #: SUP <u>12: 003</u>
\$800.00 fee plus mailing costs paid: _____ Mailing Costs: \$20.00 Adjacent Property Owner (APO) after 1st 15, Certified Mail	
Amendment of Condition: \$400.00 fee plus mailing costs paid: _____	
Telecommunications Tower \$1,500.00 fee plus mailing costs paid: _____ \$5,500 w/Consultant Review paid: <u>CK # 2333</u>	
Election District: <u>Fork Union</u>	Planning Area: <u>Rural Residential</u>
Public Hearings	
Planning Commission	Board of Supervisors
Advertisement Dates: <u>June 14th + 21st</u>	Advertisement Dates: <u>July 5th + 12th</u>
APO Notification: <u>June 13th</u>	APO Notification: <u>July 4th</u>
Date of Hearing: <u>June 27th</u>	Date of Hearing: <u>July 18th</u>
Decision: _____	Decision: _____

Received

MAR 12 2012

VA9029/CV489

Fluvanna County Virginia Weber City
Fluvanna County Communications Facility Application Checklist

Date Submitted: 11/6/11

APPLICANT'S NAME: Clear Signal Towers, LLC
 Phone: 804-337-6470 FAX: 804-648-4809 E-mail: dorothy@vacapital.com
 PROPERTY OWNER: _____ Phone: _____
 APPLICANT'S CONTACT: Dorothy Brunetti
 Address: 1901 Kibble Ave, Suite 201, Richmond VA 23226
 Phone: 804-337-6470 FAX: 804-648-4809 E-mail: dorothy@vacapital.com
 Lessor/Licensor Contact Information:
 Name: Richard and Lindsay White
 Address: 2214 James Madison Hwy, Bergamo Bluff, VA 23033
 Phone: _____ FAX: _____ E-mail: _____

Commercial Wireless Provider AT&T

New Structure: Yes No Co-location: Yes No Water Tower: Yes No
 Replace Existing Structure: Yes No Replacement (upgrade) of existing antennas Yes No
 Stealth Attached Facility: Yes No New Stealth Antenna Support Structure: Yes No

FACILITY INFORMATION:

Site Address: James Madison Hwy, Fork Union, VA 23055
 Latitude (NAD83): 37-44-15.8 Longitude (NAD83): 78-17-23.3
 Ground Elevation (AMSL) (ft): 432 ft. Total Height of Tower: (AGL) (ft) 195'
 RAD Center (ft): 194'
 TAX Parcel Identification Number: 59-A-13B
 Present Zoning of Property: A-2
 Land Use and Description of Property: Agricultural
 FCC Antenna Structure Registration Number (ASR) (if applicable): N/A

The following must be enclosed with this application:

1. A map (electronic preferable) of the same search ring submitted and used by the applicant's site locator;
2. A map (electronic preferable) indicating applicant's existing RF signal propagation;
3. A map (electronic preferable) indicating applicant's proposed new RF signal propagation;
4. A statement (electronic preferable) from a qualified individual that the applicant will comply with all FCC rules regarding human exposure to RF energy, along with the individual's qualifications;
5. A statement (electronic preferable) from the applicant that the applicant will comply with all applicable FCC rules regarding radio-frequency interference;
6. A statement (electronic preferable) that the submitted search ring is the same as utilized in the selection of the site;
7. Complete plans of the proposed facility to include a structural certification by a Registered Professional Engineer that the facility complies with applicable Federal, State and Buckingham County building codes.

Please Note: Supplemental information may be requested for purposes of clarity or confirmation.



Clear Signal Towers, LLC

WEBER CITY VA9029

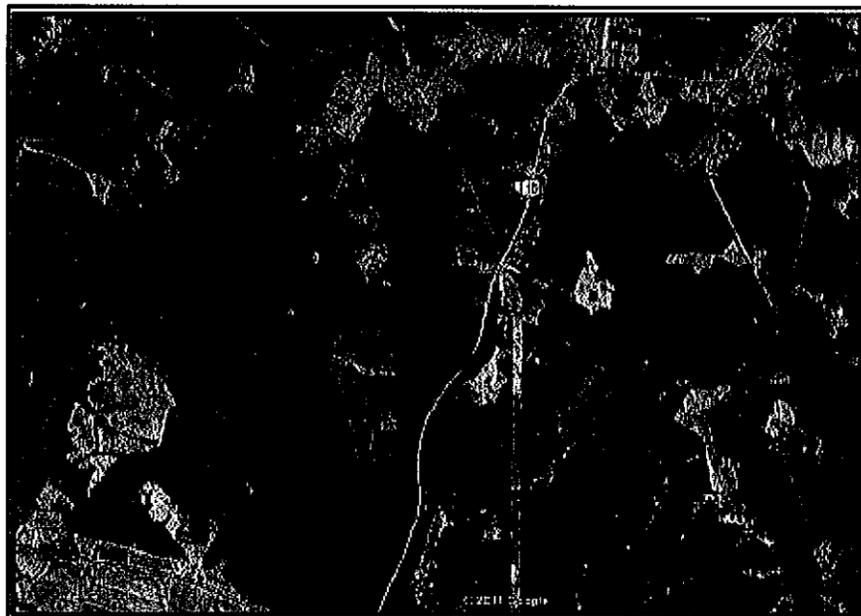
JAMES MADISON HIGHWAY
FORK UNION, VA 23055

PROJECT DESCRIPTION: INSTALLATION AND OPERATION OF ANTENNAS AND ASSOCIATED EQUIPMENT

 2 WORKING DAYS
BEFORE YOU DIG
1-800-552-7001
TOLL FREE
MISS UTILITY

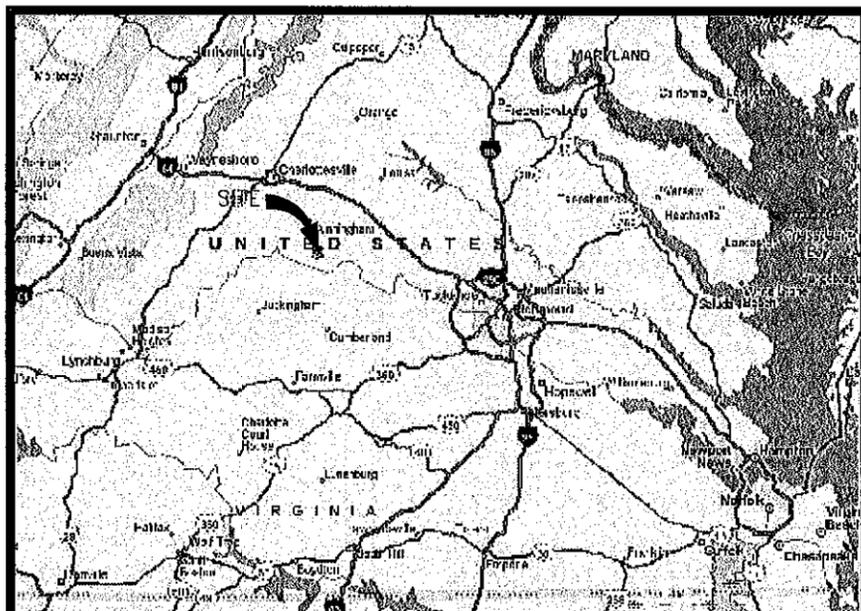
DIRECTIONS TO SITE:

FROM RICHMOND:
TAKE I-64 W TO EXIT 167 AND TURN RIGHT ONTO US-250. TURN LEFT ONTO FAIRGROUND RD AND THEN LEFT ONTO US-522. TURN RIGHT ONTO SR-6 AND FOLLOW FOR APPROXIMATELY 20 MILES. KEEP STRAIGHT ON US-15 AND FOLLOW FOR APPROXIMATELY 5 MILES. TURN LEFT ON DRIVEWAY AND FOLLOW TO SITE.



LOCAL MAP

NOT TO SCALE



VICINITY MAP

NOT TO SCALE



APPROVAL					
SAI SITE ACQUISITION:	SIGNATURE	DATE	AT&T REGULATORY	SIGNATURE	DATE
SAI ZONING:	SIGNATURE	DATE	AT&T RF:	SIGNATURE	DATE
SAI CONSTRUCTION:	SIGNATURE	DATE	AT&T CONSTRUCTION:	SIGNATURE	DATE

REV. NO.	DESCRIPTION	BY	DATE	REV. NO.	DESCRIPTION	BY	DATE
1	ZONING DRAWINGS	OWW	08/01/11				

CONSULTING TEAM

ARCHITECTURE AND ENGINEERING:
WARREN WILLIAMS & ASSOCIATES
736 CARNEROS CIRCLE
HIGH POINT, NC 27265
PROJECT MANAGER:
TELEPHONE: WARREN WILLIAMS, P.E. (757) 450-2288

SURVEY:
HAYDEN FRYE AND ASSOCIATES
333 KELLAM ROAD, SUITE 200
VIRGINIA BEACH, VA 23462
CONTACT:
TELEPHONE: HAYDEN FRYE, LS (757) 491-7228
FAX: (757) 491-7229

SOIL ENGINEER:
GEOENVIRONMENTAL RESOURCES, INC. (GER)
CONTACT:
TELEPHONE: CHARLES CRAWLEY, PE (757) 483-3200

STRUCTURAL ENGINEERING:
WARREN WILLIAMS & ASSOCIATES
736 CARNEROS CIRCLE
HIGH POINT, NC 27265
CONTACT:
TELEPHONE: JASON CANFIELD, P.E. (757) 450-2288

UTILITIES:
POWER COMPANY:
DOMINION VIRGINIA POWER
CONTACT:
TELEPHONE: CUSTOMER SERVICE 1-888-667-3000

TELEPHONE COMPANY:
VERIZON CONTACT:
CONTACT:
TELEPHONE: CUSTOMER SERVICE 1-800-826-2355

PROJECT SUMMARY

SITE INFORMATION:
VA9029
WEBER CITY
JAMES MADISON HIGHWAY
FORK UNION, VA 23055

LANDLORD INFORMATION:
RICHARD WHITE
JAMES MADISON HIGHWAY
FORK UNION, VA 23055

APPLICANT INFORMATION:
CLEAR SIGNAL TOWERS
1801 LIBBIE AVENUE
SUITE 201
RICHMOND, VA 23226

PROJECT DATA:
ZONING: A-1
JURISDICTION: FLUVANNA COUNTY
TAX MAP NO.: 59-A-13B
SITE TYPE: RAW LAND
TOWER TYPE: MONOPOLE
TOWER HEIGHT: 195'
LEASE AREA: 100'X100'
AREA OF LAND DISTURBANCE: 3600 SF

(2C) GEOGRAPHIC COORDINATES:
LATITUDE: 37° 44' 15.8" N
LONGITUDE: 78° 17' 23.3" W
GROUND ELEV. (AMSL): 432'

DECLINATION:
9° 42' W CHANGING BY 0° 1' W PER YEAR

ADA COMPLIANCE:
FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION.
SITE WILL NOT BE SERVED BY CITY SEWER OR WATER.

SHEET INDEX

SHEET:	DESCRIPTION:
T-1	TITLE SHEET
T-2	LEGEND AND ABBREVIATIONS
N-1	GENERAL NOTES
C-1	SURVEY AND SITE PLAN
C-2	ENLARGED SITE PLAN
C-3	GRADING AND EROSION CONTROL PLAN
C-4	ELEVATION VIEW
C-5	FENCE NOTES AND DETAILS
C-6	CIVIL DETAILS

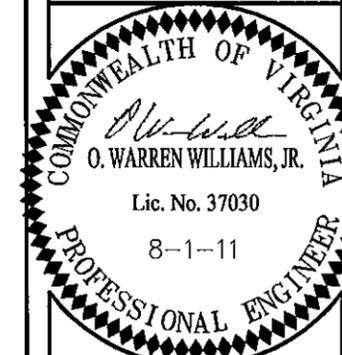
SHEET TOTAL:
9

Clear Signal Towers, LLC
CLEAR SIGNAL TOWERS, LLC
1801 LIBBIE AVENUE
SUITE 201
RICHMOND, VA 23226
TEL (804)951-9694
FAX (804)648-4809

WW&A
warren williams & associates
736 CARNEROS CIRCLE
HIGH POINT
NORTH CAROLINA
27265
(757) 450-2288

NO.	DATE	DESCRIPTION
1	08/01/11	ZONING DRAWINGS
2		
3		
4		
5		
6		

BY: KMB CHK: OWW APP'D: OWW



**VA9029
WEBER CITY
RAWLAND
MONOPOLE**
JAMES MADISON HWY
FORK UNION, VA
23055
FLUVANNA COUNTY

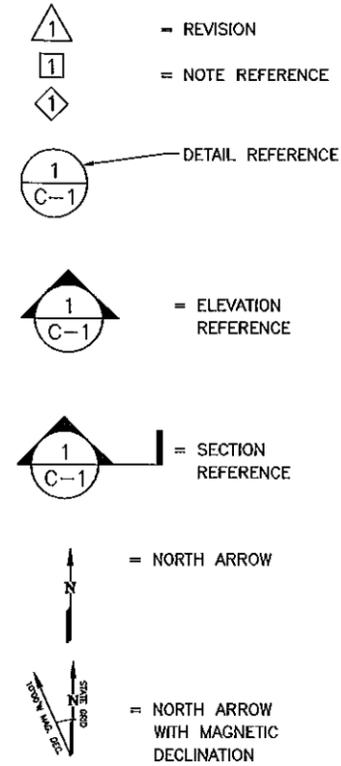
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CHECKED BY: OWW
TTV DATE: NA
COMM NO: VA9029

SHEET TITLE:
TITLE SHEET

SHEET NUMBER:
T-1

ABBREVIATIONS & SYMBOLS LIST

1P, 2P, & 3P	SINGLE POLE, TWO POLE, & THREE POLES	NEUT	NEUTRAL
A/C	AIR CONDITIONING	N	NORTH
ADJ	ADJUSTABLE	NA	NOT APPLICABLE
AFF	ABOVE FINISH FLOOR	NIC	NOT IN CONTRACT
AGL	ABOVE GROUND LEVEL	NTS	NOT TO SCALE
APPROX	APPROXIMATELY	OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	OC	ON CENTER
AWG	AMERICAN WIRE GAUGE	OD	OUTSIDE DIAMETER
A OR AMP	AMPERE	OPNG	OPENING
BLDG	BUILDING	OPP	OPPOSITE
BLK	BLOCK	OHT/OHP	OVERHEAD TELEPHONE/OVERHEAD POWER
BMR	BASE MOBILE RADIO	OHP	OVERHEAD POWER
B/S	BUILDING STANDARD	OHT	OVERHEAD TELEPHONE
CU	COPPER	OZ	OUNCE
CO	CLEAN OUT	PG	PAGE
C	CONDUIT SIZE AS NOTED	PIN(F)	PIN FOUND
CB	CIRCUIT BREAKER	PIN(S)	PIN SET
CKT	CIRCUIT	PJF	POLYVINYL JOINT FILLER
CLG	CEILING	PLYWD	PLYWOOD
CLR	CLEAR	PR	PAIR
CONC	CONCRETE	PROJ	PROJECT
CONST	CONSTRUCTION	PROP	PROPERTY
CONT	CONTINUOUS	PSI	PER SQUARE INCH
CFCI	CONTRACTOR FURNISHED CONTRACTOR INSTALLED	PSF	PER SQUARE FOOT
DB	DEED BOOK	PT	PRESSURE TREATED
DBL	DOUBLE	PVC	SCHEDULE 40 PLASTIC CONDUIT.
DIA, Ø	DIAMETER	RAD	RADIATION
DIAG	DIAGONAL	RECEPT	RECEPTACLE
DIM	DIMENSION	REQ'D	REQUIRED
DN	DOWN	RM	ROOM
DET, DETL	DETAIL	RO	ROUGH OPENING
DWG	DRAWING	S	SOUTH
DEF	DUAL ELEMENT FUSES	SW	SWITCH
E	EAST	SCH	SCHEDULE
EA	EACH	SHT	SHEET
EL, ELEV	ELEVATION	SIM	SIMILAR
ELECT	ELECTRICAL	SPEC	SPECIFICATION
EQ	EQUAL	SQ	SQUARE
EQUIP	EQUIPMENT	SS	STAINLESS STEEL
EW	EACH WAY	STL	STEEL
EXIST/EX	EXISTING	STRUCT	STRUCTURAL
EXT	EXTERIOR	SUSP	SUSPENDED
EMT	ELECTRICAL METALLIC TUBING	THRD	THREADED
EC	EMPTY CONDUIT	THRU	THROUGH
FIN	FINISH	TM	TAX MAP
FLUOR	FLUORESCENT	TNND	TINNED
FLR	FLOOR	TOC	TOP OF CONCRETE
FT	FOOT	TYP	TYPICAL
GRS	GALVANIZED STEEL CONDUIT	UON	UNLESS OTHERWISE NOTED
G OR GRD	GROUND	UG	UNDERGROUND
GA	GAUGE	VERT	VERTICAL
GALV	GALVANIZE(D)	VIF	VERIFY IN FIELD
GC	GENERAL CONTRACTOR	VT	VINYL TILE
GPS	GLOBAL POSITIONING SYSTEM	W/	WITH
GWB	GYPSUM WALL BOARD	WDW	WINDOW
HARD'WD	HARDWOOD	W	WEST
HEC	HIGH STRENGTH	W/O	WITHOUT
HORIZ	HORIZONTAL	W	WATTS
HR	HOUR	WP	WEATHERPROOF
HT	HEIGHT	XFRM	TRANSFORMER
HVAC	HEATING, VENTILATION AND AIR CONDITIONING		
ID	INSIDE DIA.	∠	ANGLE
IN	INCH	&	AND
INFO	INFORMATION	⊕	CENTER LINE
INS	INSULATION	⊔	PROPERTY LINE, PLATE
KW	KILOWATTS	⊙	AT
LB(S)	POUND(S)	#	NUMBER
LG	LONG		
MAX	MAXIMUM		
MECH	MECHANICAL		
MTL	METAL		
MFR	MANUFACTURER		
MGR	MANAGER		
MIN	MINIMUM		
MISC	MISCELLANEOUS		
MPH	MILES PER HOUR		
MTD	MOUNTED		



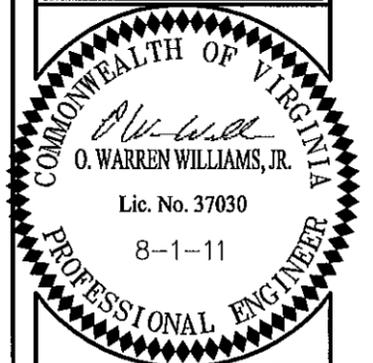
LEGEND

EXISTING	NEW	
		CONCRETE
		PROPERTY LINE
		LEASE AREA
		EASEMENT
		BUILDING (FOOTPRINT)
		POWER POLE
		TELEPHONE/FIBEROPTIC PEDESTAL
		ASPHALT
		FENCE
		TEMPORARY BENCHMARK
		TREELINE
		CONTOURS
		SPOT ELEVATION
		SILT FENCE
		ITEMS TO BE REMOVED

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 RICHMOND, VA 23226
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 27685
 (757) 450-2288

No.	Date	Description
1	08/01/11	ZONING DRAWINGS
	BY: KMB	CHK: OWW
		APP'D: OWW
2		
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VA9029
 WEBER CITY
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 MONOPOLE
 JAMES MADISON HWY
 FORK UNION, VA
 23055
 FLUVANNA COUNTY

DRAWN BY:	KMB
CHECKED BY:	OWW
TTV DATE:	NA
COMM NO:	VA9029

SHEET TITLE:
LEGEND AND ABBREVIATIONS

SHEET NUMBER:
T-2

SITE WORK GENERAL NOTES:

NOTES:

1. THE SUBCONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES PRIOR TO THE START OF CONSTRUCTION.
2. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY CONTRACTOR. EXTREME CAUTION SHOULD BE USED BY THE SUBCONTRACTOR WHEN EXCAVATING OR DRILLING PIERS AROUND OR NEAR UTILITIES. SUBCONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS WILL INCLUDE BUT NOT BE LIMITED TO A) FALL PROTECTION B) CONFINED SPACE C) ELECTRICAL SAFETY D) TRENCHING & EXCAVATION.
3. ALL SITE WORK SHALL BE AS INDICATED ON THE DRAWINGS AND PROJECT SPECIFICATIONS.
4. IF NECESSARY, RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
5. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF CONTRACTOR, OWNER AND/OR LOCAL UTILITIES.
6. SUBCONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION.
7. THE SUBCONTRACTOR SHALL PROVIDE SITE SIGNAGE IN ACCORDANCE WITH THE CINGULAR SPECIFICATION FOR SITE SIGNAGE.
8. THE SITE SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE BTS EQUIPMENT AND TOWER AREAS.
9. NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND. FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.
10. THE SUB GRADE SHALL BE COMPACTED AND BROUGHT TO A SMOOTH UNIFORM GRADE PRIOR TO FINISHED SURFACE APPLICATION.
11. THE AREAS OF THE OWNERS PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE TOWER, EQUIPMENT OR DRIVEWAY, SHALL BE GRADED TO A UNIFORM SLOPE, AND STABILIZED TO PREVENT EROSION.
12. SUBCONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE LOCAL JURISDICTION'S GUIDELINES FOR EROSION AND SEDIMENT CONTROL.

STRUCTURAL STEEL NOTES:

NOTES:

1. ALL STEEL WORK SHALL BE PAINTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND IN ACCORDANCE WITH ASTM A36 UNLESS OTHERWISE NOTED.
2. ALL WELDING SHALL BE PERFORMED USING E70XX ELECTRODES AND WELDING SHALL CONFORM TO AISC. WHERE FILLET WELD SIZES ARE NOT SHOWN, PROVIDE THE MINIMUM SIZE PER TABLE J2.4 IN THE AISC "MANUAL OF STEEL CONSTRUCTION". PAINTED SURFACES SHALL BE TOUCHED UP.
3. BOLTED CONNECTIONS SHALL BE ASTM A325 BEARING TYPE (3/4") CONNECTIONS AND SHALL HAVE MINIMUM OF TWO BOLTS UNLESS NOTED OTHERWISE.
4. NON-STRUCTURAL CONNECTIONS FOR STEEL GRATING MAY USE 5/8" DIA. ASTM A 307 BOLTS UNLESS NOTED OTHERWISE.
5. INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHOR, SHALL BE PER MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR CONTRACTOR APPROVAL WHEN DRILLING HOLES IN CONCRETE. SPECIAL INSPECTIONS, REQUIRED BY GOVERNING CODES, SHALL BE PERFORMED IN ORDER TO MAINTAIN MANUFACTURER'S MAXIMUM ALLOWABLE LOADS.
6. ALL EXPANSION/WEDGE ANCHORS SHALL BE STAINLESS STEEL OR HOT DIPPED GALVANIZED. THE ANCHOR BOLT DOWEL AND ROD SHALL BE STAINLESS STEEL WITH STAINLESS STEEL WASHERS.

CONCRETE AND REINFORCING STEEL NOTES:

1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318, ACI 336, ASTM A184, ASTM A185 AND THE DESIGN AND CONSTRUCTION SPECIFICATION FOR CAST-IN-PLACE CONCRETE.
2. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS, UNLESS NOTED OTHERWISE.
3. REINFORCING STEEL SHALL CONFORM TO ASTM A 615, GRADE 60, DEFORMED UNLESS NOTED OTHERWISE. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185 WELDED STEEL WIRE FABRIC UNLESS NOTED OTHERWISE. SPLICES SHALL BE CLASS "B" AND ALL HOOKS SHALL BE STANDARD, UNO.
4. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS SHOWN OTHERWISE ON DRAWINGS:
 CONCRETE CAST AGAINST EARTH.....3 IN.
 CONCRETE EXPOSED TO EARTH OR WEATHER:
 #6 AND LARGER2 IN.
 #5 AND SMALLER & WWF.....1 1/2 IN.
 CONCRETE NOT EXPOSED TO EARTH OR WEATHER OR NOT CAST AGAINST THE GROUND:
 SLAB AND WALL3/4 IN.
 BEAMS AND COLUMNS.....1 1/2 IN.
5. A CHAMFER 3/4" SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE, UNO, IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.
6. CONCRETE/EXPANSION ANCHORS SHALL BE STAINLESS STEEL. INSTALLATION, SHALL BE PER MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR ENGINEERING APPROVAL WHEN DRILLING HOLES IN CONCRETE. EXPANSION BOLTS SHALL BE PROVIDED BY RAMSET/REDHEAD OR APPROVED EQUAL.

GENERAL NOTES

1. FOR THE PURPOSE OF CONSTRUCTION DRAWING, THE FOLLOWING DEFINITIONS SHALL APPLY:
 CONTRACTOR - CLEAR SIGNAL TOWERS
 SUBCONTRACTOR - GENERAL CONTRACTOR (CONSTRUCTION)
 OWNER - CLEAR SIGNAL TOWERS
 OEM - ORIGINAL EQUIPMENT MANUFACTURE
2. PRIOR TO THE SUBMISSION OF BIDS, THE BIDDING SUBCONTRACTOR SHALL VISIT THE CELL SITE TO FAMILIARIZE WITH THE EXISTING CONDITIONS AND TO CONFIRM THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN ON THE CONSTRUCTION DRAWINGS. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE ATTENTION OF CONTRACTOR.
3. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. SUBCONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK.

 ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
4. DRAWINGS PROVIDED HERE ARE NOT TO SCALE AND ARE INTENDED TO SHOW OUTLINE ONLY.
5. UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES, AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
6. THE SUBCONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
7. IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE SUBCONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY THE CONTRACTOR.
8. SUBCONTRACTOR SHALL DETERMINE ACTUAL ROUTING OF CONDUIT, POWER AND T1 CABLES, GROUNDING CABLES AS SHOWN ON THE POWER, GROUNDING AND TELCO PLAN DRAWING.
9. THE SUBCONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT SUBCONTRACTOR'S EXPENSE TO THE SATISFACTION OF OWNER.
10. SUBCONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.
11. SUBCONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION.
12. CONSTRUCTION SHALL COMPLY WITH SPECIFICATION 24782-000-3APS-A00Z-00002, "GENERAL CONSTRUCTION SERVICES FOR CONSTRUCTION OF AT&T GSM SITES."

SOIL COMPACTION NOTES FOR SLAB ON GRADE

NOTES:

1. EXCAVATE AS REQUIRED TO REMOVE VEGETATION & TOPSOIL EXPOSE UNDISTURBED NATURAL SUBGRADE AND PLACE CRUSHED STONE AS REQUIRED.
2. COMPACTION CERTIFICATION: AN INSPECTION AND WRITTEN CERTIFICATION BY A QUALIFIED GEOTECHNICAL TECHNICIAN OR ENGINEER IS ACCEPTABLE.
3. AS AN ALTERNATIVE TO INSPECTION AND WRITTEN CERTIFICATION, THE "UNDISTURBED SOIL" BASE SHALL BE COMPACTED WITH "COMPACTION EQUIPMENT", LISTED BELOW, TO AT LEAST 90% MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM D 1557 METHOD C.
4. COMPACTED SUBBASE SHALL BE UNIFORM & LEVELED. PROVIDE 6" MINIMUM CRUSHED STONE OR GRAVEL COMPACTED IN 3" LIFTS ABOVE COMPACTED SOIL. GRAVEL SHALL BE NATURAL OR CRUSHED WITH 100 % PASSING 1" SLEEVE.

COMPACTION EQUIPMENT:

HAND OPERATED DOUBLE DRUM, VIBRATORY ROLLER, VIBRATORY PLATE COMPACTOR OR JUMPING COMPACTOR.

99

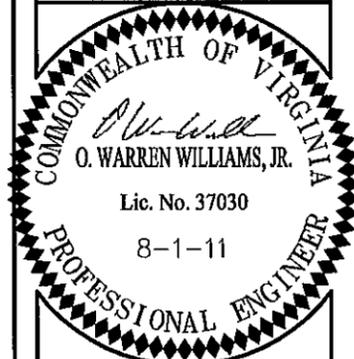
Clear Signal Towers, LLC

CLEAR SIGNAL TOWERS, LLC
 1801 LIBBIE AVENUE
 SUITE 201
 RICHMOND, VA 23226
 TEL (804)951-9694
 FAX (804)648-4809

WW&A
 warren williams & associates

736 CARNEROS CIRCLE
 HIGH POINT
 NORTH CAROLINA
 27265
 (757) 450-2288

NO.	
1	08/01/11 ZONING DRAWINGS BY: KMB CHK: OWW APP'D: OWW
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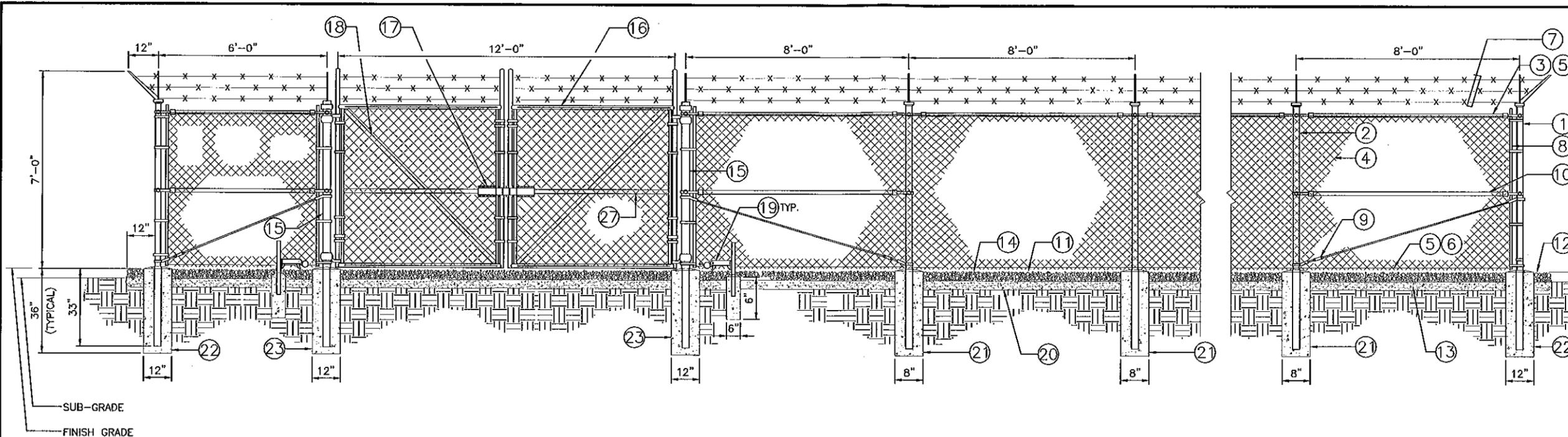
VA9029
 WEBER CITY
 RAWLAND
 MONOPOLE

JAMES MADISON HWY
 FORK UNION, VA
 23055
 FLUVANNA COUNTY

DRAWN BY:	KMB
CHECKED BY:	OWW
TTV DATE:	NA
COMM NO:	VA9029

SHEET TITLE:
GENERAL NOTES

SHEET NUMBER:
N-1



1 COMPOUND FENCE DETAIL
C-5 NOT TO SCALE

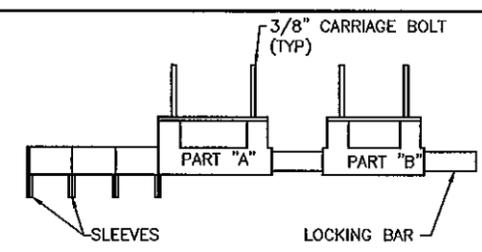
REFERENCE NOTES:

- ① CORNER, END OR PULL POST 3" OD SCHEDULE 40 PIPE.
- ② LINE POST: 2 1/2" OD SCHEDULE 40 PIPE, PER ASTM-F1083. LINE POSTS SHALL BE EQUALLY SPACED AT MAXIMUM 10'-0" OC
- ③ TOP RAIL & BRACE RAIL: 1 5/8" OD PIPE, PER ASTM-F1083.
- ④ FABRIC: 9 GA WIRE SIZE 2" MESH.
- ⑤ TIE WIRE: MINIMUM 9 GA ALUMINUM AT POSTS AND RAILS. A SINGLE WRAP OF FABRIC TIE AND AT TENSION WIRE BY HOG RINGS SPACED MAX. 24" INTERVALS.
- ⑥ TENSION WIRE: 7 GA GALVANIZED STEEL.
- ⑦ BARBED WIRE: DOUBLE STRAND 12-1/2" TWISTED WIRE TO MATCH WITH FABRIC 14 GA, 4 POINT BARBS SPACED ON APPROXIMATELY 5" CENTERS.
- ⑧ STRETCHER BAR.
- ⑨ 3/8" DIAGONAL ROD WITH GALVANIZED STEEL TURNBUCKLE OR DIAGONAL THREADED ROD.
- ⑩ FENCE CORNER POST BRACE: 1 5/8" OD EACH CORNER EACH WAY.
- ⑪ 1 1/2" MAXIMUM CLEARANCE FROM GRADE.
- ⑫ 4" FINISH OR AS DETERMINED BY CONSTRUCTION MANAGER DURING BID WALK.
- ⑬ 6" COMPACTED 95% BASE MATERIAL OR AS DETERMINED BY CONSTRUCTION MANAGER DURING BID WALK.
- ⑭ FINISH GRADE SHALL BE UNIFORM AND LEVEL.
- ⑮ GATE POST 4", SCHEDULE 40 PIPE, FOR GATE WIDTHS UP THRU 7 FEET OR 14 FEET FOR DOUBLE SWING GATE, PER ASTM-F1083.
- ⑯ GATE FRAME: PIPE, PER ASTM-F1083.
- ⑰ STYMILOCK MULTI TENANT LOCKING DEVICE, PATENT # 5868015 SEE CONTACT INFORMATION ON THIS SHEET

- ⑱ 1 PAIR INDUSTRIAL PIN HINGE
- ⑲ NOT USED
- ⑳ GEOTEXTILE FABRIC
- ㉑ LINE POST: CONCRETE FOUNDATION (2000 PSI)
- ㉒ CORNER POST: CONCRETE FOUNDATION (2000 PSI)
- ㉓ GATE POST: CONCRETE FOUNDATION (2000 PSI)

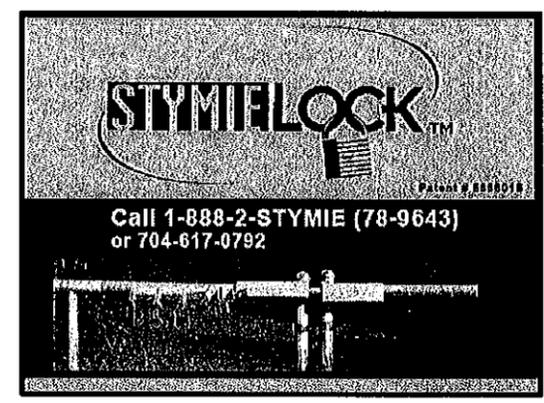
GENERAL NOTES:

- 1. INSTALL FENCING PER ASTM F-567
- 2. INSTALL SWING GATES PER ASTM F- 900
- 3. LOCAL ORDINANCE OF BARBED WIRE PERMIT REQUIREMENT SHALL BE COMPLIED IF REQUIRED.
- 4. POST & GATE PIPE SIZES ARE INDUSTRY STANDARDS. ALL PIPE TO BE GALV. (HOT DIP, ASTM A120 GRADE "A" STEEL). ALL GATE FRAMES SHALL BE WELDED. ALL WELDING SHALL BE COATED WITH (3) COATS OF COLD GALV. (OR EQUAL).
- 5. ALL OPEN POSTS SHALL HAVE END-CAPS.
- 6. USE GALVANIZED HOG-RING WIRE TO MOUNT ALL SIGNS.
- 7. ALL SIGNS MUST BE MOUNTED ON INSIDE OF FENCE FABRIC.



1. DRILL 3/8" HOLES IN THE GATE LEAF USING THE GATE DIMENSIONS PROVIDED.
 2. SLIDE THE CARRIAGE BOLTS IN THE SLOTS ON THE BACK OF PART "B" AND PUSH THE BOLTS THROUGH THE HOLES DRILLED INTO THE GATE LEAF. PUT THE NUT AND THE LOCKNUT ON AND TIGHTEN AND CUT THE EXCESS BOLT OFF. DO THE SAME WITH PART "A".
 3. ADD THE NUMBER OF SLEEVES NEEDED FOR THE NUMBER OF LOCKS AND SLIDE THE LOCKING BAR INTO PLACE THROUGH BOTH PART "A" AND PART "B". NOW INSTALL THE LOCKS.
- *IF THE GATE HAS NO CENTER BAR IN THE GATE LEAF YOU MAY NEED TO MOUNT THE STYMILOCK VERTICALLY USING THE SAME DIMENSIONS GIVEN ON THE GATE FACE.
- *VERTICAL APPLICATION MAY ALSO BE USED ON SLIDING GATES WITH MULTIPLE LOCKS.

STYMILOCK INSTALLATION

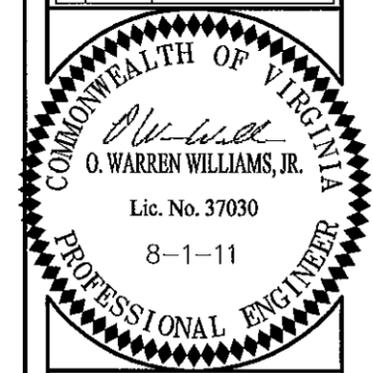


STYMILOCK CONTACT INFORMATION:
PATENT #5868015
PO BOX 1228 PINEVILLE, NC 28134
16248 MARVIN ROAD CHARLOTTE, NC 28277

Clear Signal Towers, LLC
CLEAR SIGNAL TOWERS, LLC
1801 LIBBIE AVENUE
SUITE 201
RICHMOND, VA 23226
TEL (804)951-9694
FAX (804)648-4809

WW&A
warren williams & associates
736 CARNEROS CIRCLE
HIGH POINT
NORTH CAROLINA
27285
(757) 450-2288

NO.	
1	08/01/11 ZONING DRAWINGS
	BY: KMB CHK: OWW APP'D: OWW
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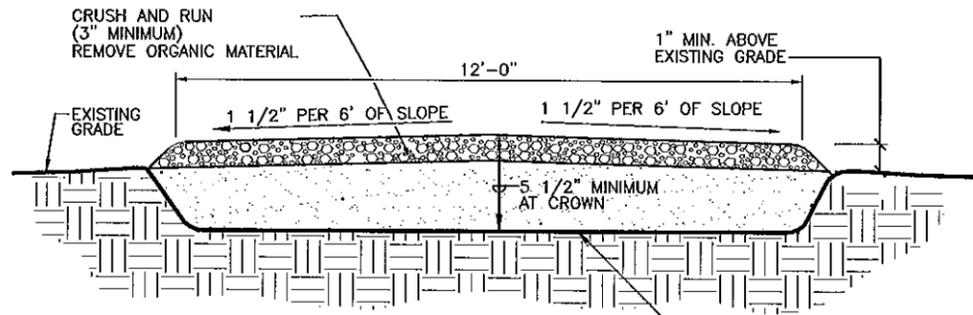


VA9029
WEBER CITY
RAWLAND
MONOPOLE
JAMES MADISON HWY
FORK UNION, VA
23055
FLUVANNA COUNTY

DRAWN BY:	KMB
CHECKED BY:	OWW
TTY DATE:	NA
COMM NO:	VA9029

SHEET TITLE:
FENCE NOTES AND DETAILS

SHEET NUMBER:
C-5



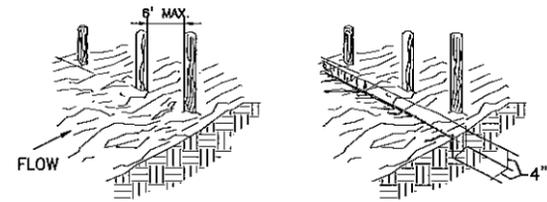
EARTH WORK SUBGRADE COMPACTION & SELECT GRANULAR FILL

- (A) CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING & GRUBBING THE CONSTRUCTION SITE AND ROADWAY AREAS. THE CONTRACTOR SHALL COMPLY WITH THE RECOMMENDATIONS CONTAINED WITHIN THE GEOTECHNICAL REPORT WHEN NECESSARY PREPARED FOR THIS SITE FOR SITE WORK PREPARATION & FOUNDATION WORK. AS A MINIMUM THE TOP 3" OF GRADE SHALL BE REMOVED. THE EXPOSED SUBGRADE COMPACTED, GEOTEXTILE FABRIC AS REQUIRED FOR UNSTABLE SOIL CONDITION.
- (B) ALL SELECT GRANULAR FILL SHALL BE COMPACTED TO A 95% COMPACTION AT A MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557 OR WITHIN PLUS OR MINUS 3% OF OPTIMUM MOISTURE CONTENT.

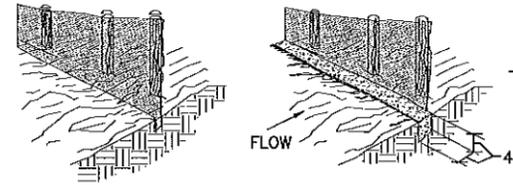
1 TYPICAL ACCESS ROAD CROSS SECTION
C-6 NOT TO SCALE

CONSTRUCTION OF A SILT FENCE (WITHOUT WIRE SUPPORT)

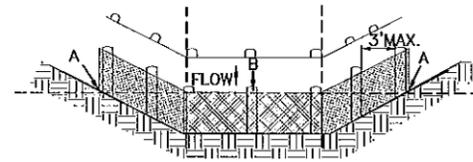
1. SET THE STAKES.
2. EXCAVATE A 4"x4" TRENCH UPSLOPE ALONG THE LINE OF STAKES.



3. STAPLE FILTER MATERIAL TO STAKES AND EXTEND IT INTO THE TRENCH.
4. BACKFILL AND COMPACT THE EXCAVATED SOIL.

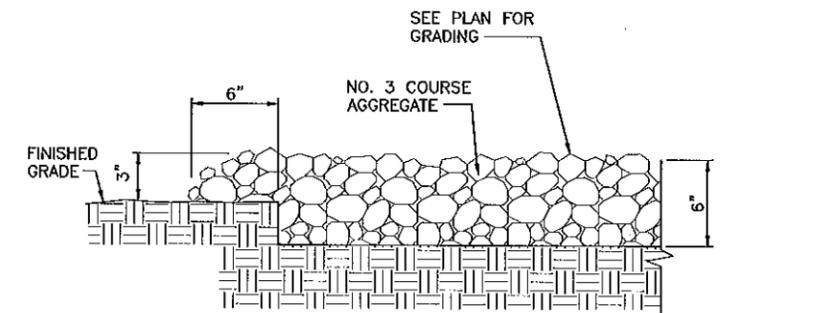


SHEET FLOW INSTALLATION (PERSPECTIVE VIEW)

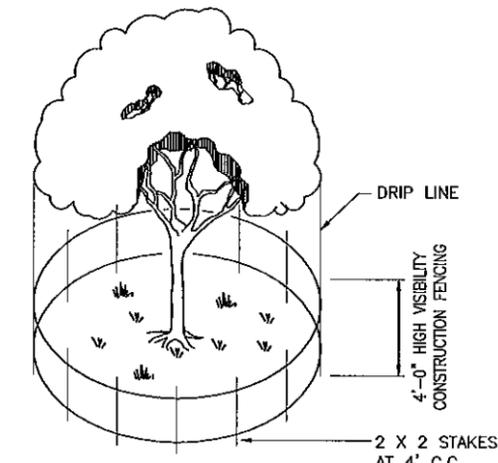


POINTS A SHOULD BE HIGHER THAN POINT B
DRAINAGEWAY INSTALLATION (FRONT ELEVATION)

2 SILT FENCE
C-6 NOT TO SCALE

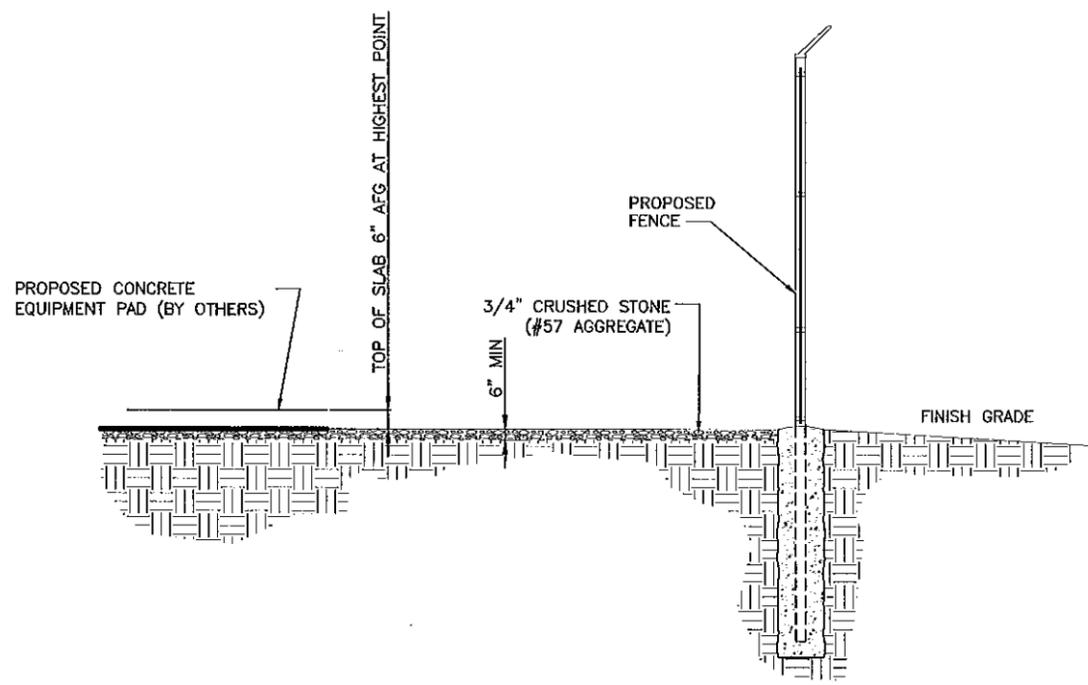


3 SECTION - GRAVEL PARKING/TURN AROUND (OUTSIDE OF FENCED COMPOUND)
C-6 NOT TO SCALE



NOTE: DRIVE STAKES FIRMLY INTO GROUND AT LEAST 12"

4 TREE PROTECTION
C-6 NOT TO SCALE



5 TYPICAL SITE COMPOUND CROSS SECTION
C-6 NOT TO SCALE

Clear Signal Towers, LLC
CLEAR SIGNAL TOWERS, LLC
1801 LIBBIE AVENUE
SUITE 201
RICHMOND, VA 23226
TEL (804)951-9694
FAX (804)648-4809

WW&A
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736 CARNEROS CIRCLE
HIGH POINT
NORTH CAROLINA
27285
(757) 450-2288

NO.	08/01/11	ZONING DRAWINGS
1	BY: KMB	CHK: OWW APP'D: OWW
2		
3		
4		
5		
6		

COMMONWEALTH OF VIRGINIA
O. WARREN WILLIAMS, JR.
Lic. No. 37030
8-1-11
PROFESSIONAL ENGINEER

VA9029
WEBER CITY
RAWLAND
MONOPOLE
JAMES MADISON HWY
FORK UNION, VA
23055
FLUVANNA COUNTY

DRAWN BY:	KMB
CHECKED BY:	OWW
TTV DATE:	NA
COMM NO:	VA9029

SHEET TITLE:
CIVIL DETAILS

SHEET NUMBER:
C-6



March 7, 2012

Subject: AT& T Proposed Site – Communications Tower located on James Madison Hwy. (Tax Map 59-A-13B) ~ Fork Union, VA: FCC Compliance Letter – Site (CV439/VA9029) “Weber City”

County Planning and Consultant:

Clear Signal Towers, LLC who is representing AT&T on the above mentioned site ask that a letter be drafted stating the reason for the proposed location and not the Fluvanna County Water Tank Site. AT&T looked at the county water tank site last year when we scrubbed the area to fulfill the need for the AT&T coverage objectives in Fluvanna. The county property does not meet the needs of AT&T’s network build-out as the site is too far north and will cause dropped calls at the river. The propagation maps included in the application package show the coverage at the proposed Clear Signal Site and should clarify any questions that you may have.

Please do not hesitate to contact me with any questions or concerns regarding this project.

Sincerely,

Samuel J. Schroll

Samuel J. Schroll
RF Engineer
Solutelia /AT&T Mobility
4801 Cox Road, Suite 300
Glen Allen, Va. 23060
804-928-5571

Received

MAR 12 2012

Fluvanna County



November 7, 2011

**Subject: AT& T Proposed Site – Communications Tower located on State
Route 650 (Tax Map 50-A-3) ~ Palmyra, VA: FCC Compliance Letter
– Site (CV446/VA9030) “Cohasset”**

AT&T will comply with all FCC rules regarding interference to other radio services and
AT&T will comply with all FCC rules regarding human exposure to radio frequency
energy.

Please do not hesitate to contact me with any questions or concerns regarding this project.

Sincerely,

Samuel J. Schroll

Samuel J. Schroll
RF Engineer
Solutelia /AT&T Mobility
4801 Cox Road, Suite 300
Glen Allen, Va. 23060
804-928-5571

Memorandum

DATE: June 28, 2012
RE: APO'S for **SUP 12:03** Public Hearing Letters
TO: Allyson Finchum
FROM: Lauren Ryalls

Please be advised the attached letter went out to the attached list of Adjacent Property Owners for the **July 18, 2012** Board of Supervisors meeting.



COUNTY OF FLUVANNA

"Responsive & Responsible Government"

P.O. Box 540 Palmyra, VA 22963 (434) 591-1910 FAX (434) 591-1911 www.co.fluvanna.va.us

NOTICE OF PUBLIC HEARING

June 28, 2012

«Title» «First_Name» «Last_Name»
 «Company_Name»
 «Address_Line_1»
 «City», «State» «ZIP_Code»
 TMP# «TMP_»

Re: Public Hearing on SUP 12:03

Dear «Title» «Last_Name»«Company_Name»:

This letter is to notify you that the Fluvanna County Board of Supervisors will hold a public hearing on the above referenced item on **Wednesday, July 18, 2012** at **7:00 PM** in the Circuit Court Room at the Fluvanna County Courts Building in Palmyra, VA. The request is described as follows:

SUP 12:03 – Clear Signal Towers, LLC (Weber City): *A request for a Special Use Permit (SUP) to allow for a 195-foot wireless communications tower with respect to 46.6 acres of Tax Map 59, Section A, Parcel 13B. The property is zoned A-1 (Agricultural, General) and is located on the east side of James Madison Highway (Route 15) 1.2 miles south of its intersection with Winnsville Drive (Route 612). The property is located in the Fork Union Election District and is within the Rural Residential Planning Area.*

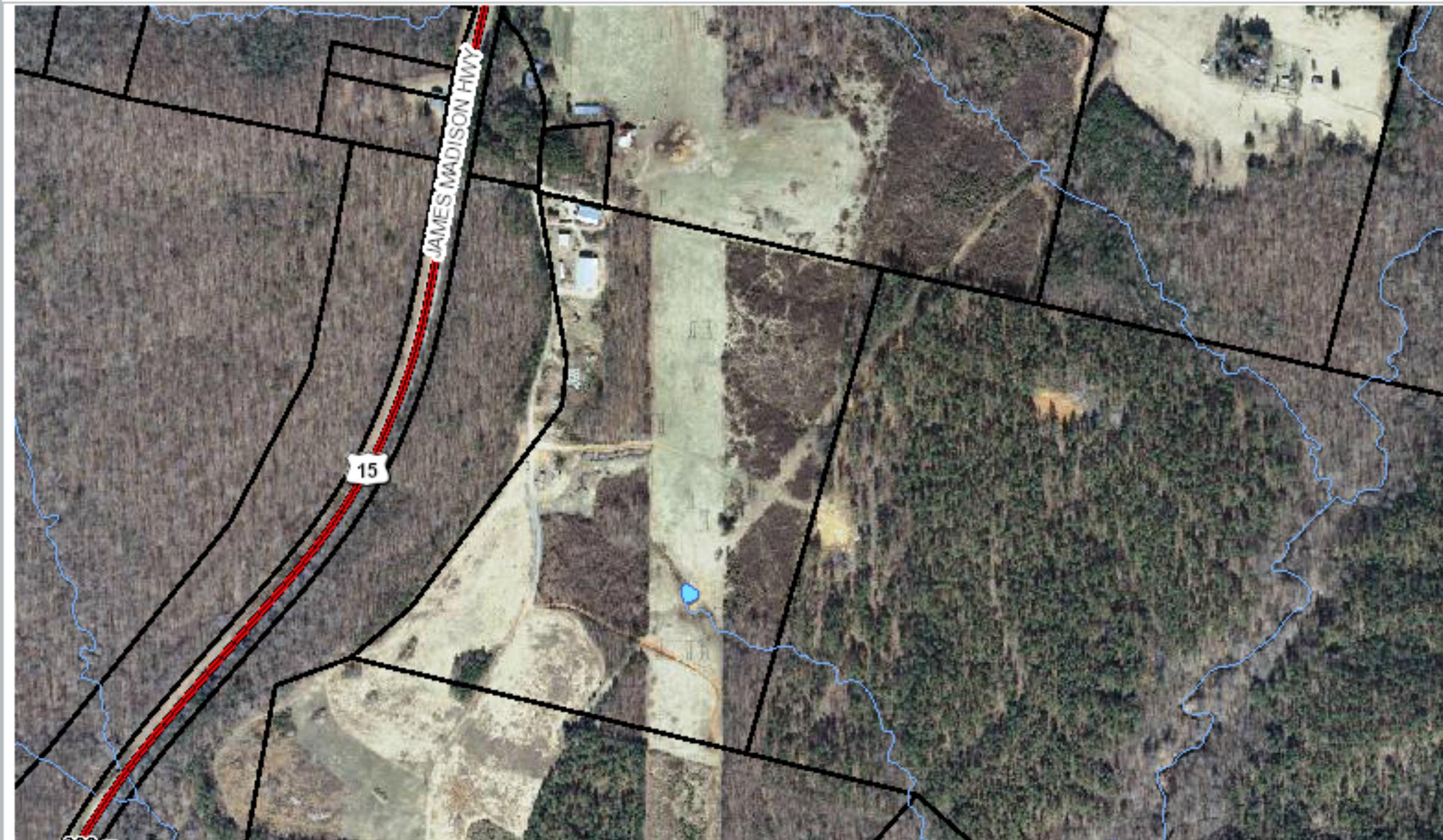
The applicant or applicant's representative must be present at the Board of Supervisors meeting. The tentative agenda and staff report will also be available for review by the public in the Fluvanna County Planning and Community Development Department during working hours (8:00 a.m. – 5:00 p.m., Monday through Friday). If you have any questions, please feel free to contact me by phone at 434-591-1910 or by email at stugwell@co.fluvanna.va.us.

Sincerely,

Steve Tugwell
 Senior Planner

SUP 12-03 Adjacent Property Owners

TMP#	Owner	Address	City, State	Zip Code
59 A 13	NEW FORESTRY LLC	3715 NORTHSIDE PKWY STE 2-500	ATLANTA, GA	30327
59 4 1A	SPRING GARDEN CEMETERY			
58 A 8E	WHITE, FRAYSER F II &	P.O. BOX 95	BREMO BLUFF, VA	23022
59 4 1	WHITE, RICHARD H.	P.O. BOX 55	FORK UNION, VA	23055
59 A 13B	WHITE, RICHARD H.	P.O. BOX 55	FORK UNION, VA	23055
58 A 57	WHITE, RICHARD H. & LINDSAY K.	P.O. BOX 55	FORK UNION, VA	23055



Scale: 1:9027.977411

Date: 06/18/2012

Printed By:

Under Virginia State Law, these real estate assessment records are public information. Display of this property information on the internet is specifically authorized by the Code of Virginia §58.1-3122.2(as amended).



Proposed 195'
Monopole



Proposed 195'
Monopole (not
visible)

View from Creasy Town Rd (not visible)

VA9029 Weber City, James Madison Highway, Fort Union, VA

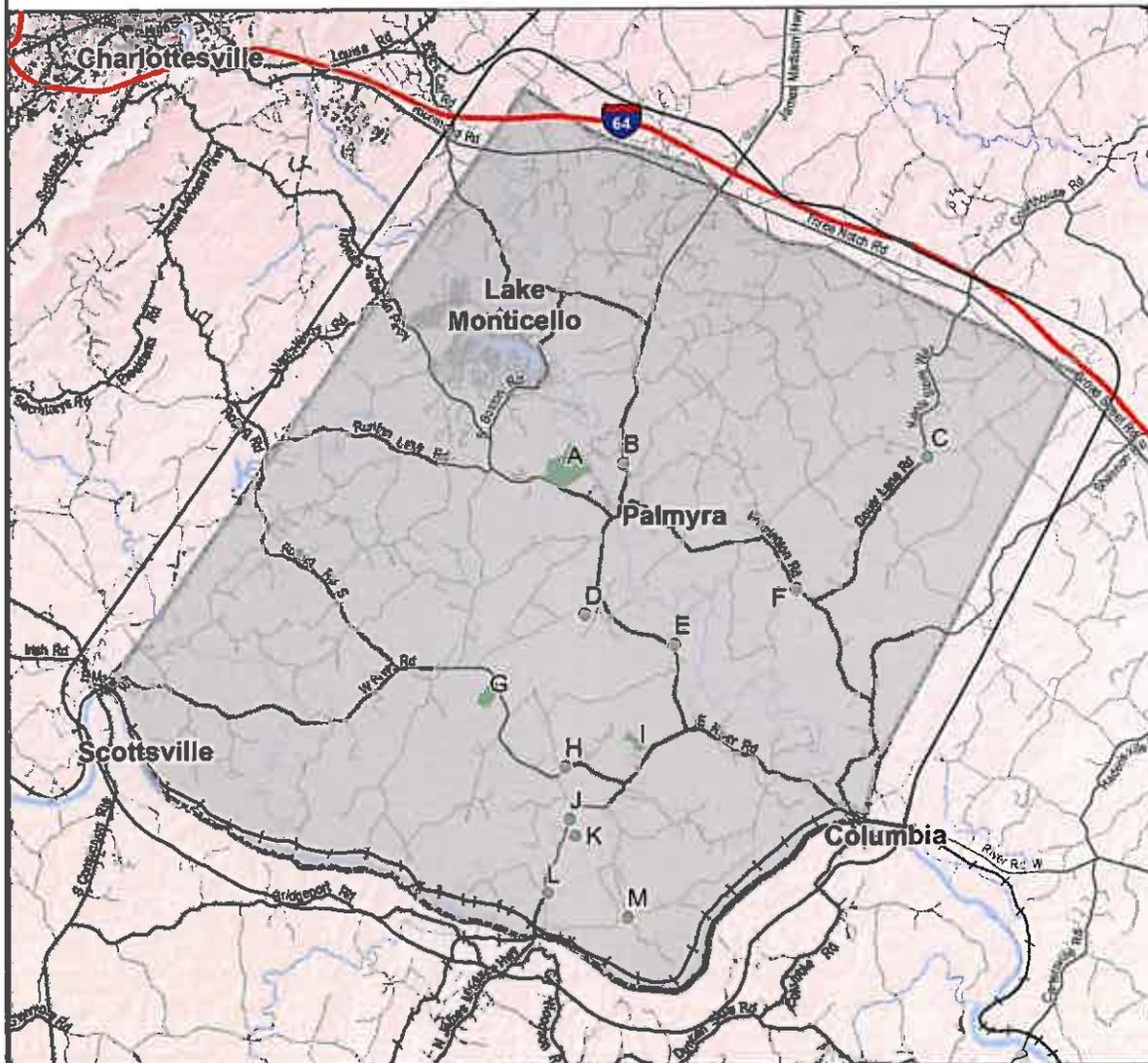


Proposed 195'
Monopole

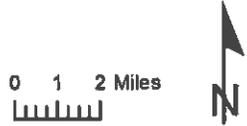
View from access road

VA9029 Weber City, James Madison Highway, Fort Union, VA

County Owned Property



	County Parcel Potentially Suitable for Site		Limited Access Hwy	Sources: CityScape Consultants, Inc.; US Geological Survey; Virginia DOT; Center for GISc at UNC Greensboro
	County Boundary		Major Roads	
	1 Mile Buffer Around County		Minor Roads	
			Railroads	



Map created on April 11, 2011 by the Center for GISc at UNC Greensboro

Figure 42: County-owned lands

Existing Antenna Locations

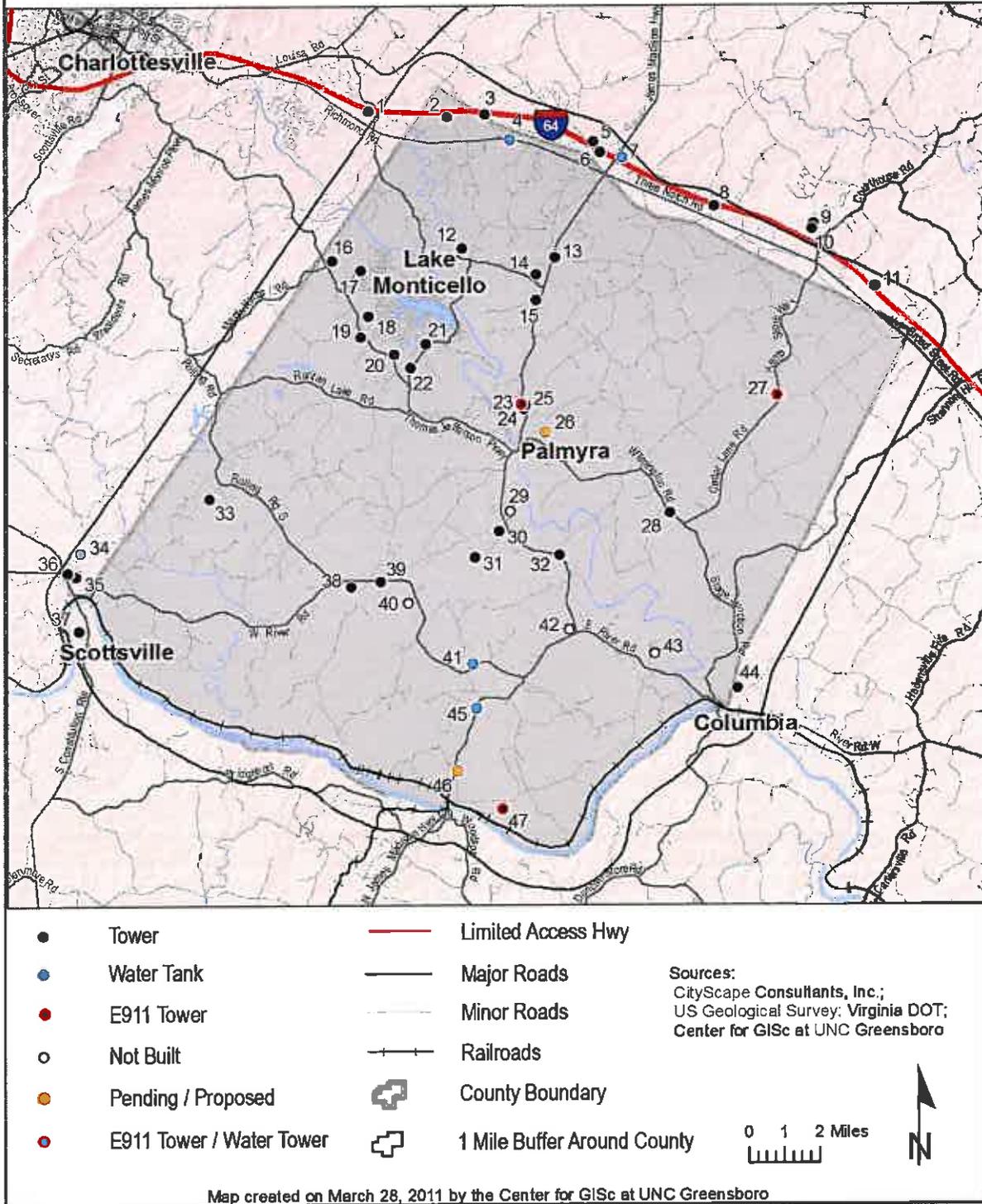


Figure 41: Existing Wireless Telecommunications Inventory



COUNTY OF FLUVANNA

"Responsive & Responsible Government"

P.O. Box 540 Palmyra, VA 22963 (434) 591-1910 FAX (434) 591-1911 www.co.fluvanna.va.us

May 11, 2012

Clear Signal Towers, LLC
1801 Libbie Avenue, Suite 201
Richmond, VA 23226

Delivered via mail

Re: TRC comments SUP 12:03 (Clear Signal Towers, LLC: Weber City) Construct 195' telecomm monopole, Tax Map: 59-A-13B

Dear Applicant:

The following comments are the result of the Technical Review Committee meeting.

1. The Health Dept. stated that a permit was issued for an agricultural well which was installed on June 10, 2009, and that there is a barn on the property but no septic systems;
2. Central Virginia Electric Cooperative stated that Dominion power has jurisdiction at this site;
3. Planning staff stated that the consultant's report was forthcoming and their comments would be part of the staff report;
4. VDOT stated that an entrance permit will be required, and the entrance may need to be upgraded.

Please provide any other materials or documentation that is to be included in the Planning Commission packet by **Friday, May 25, 2012**. Submitting revisions by this deadline will place your request on the **June 27, 2012** Planning Commission agenda.

If you have any questions or need additional information, please contact me at 434-591-1910.

Sincerely,

Steve Tugwell
Senior Planner
Dept. of Planning & Community Development

Cc: Richard and Lindsay White, 2214 James Madison Highway, Bremono Bluff, VA 23055

Telecommunications Site Review Virginia New Structure



Consultants, Inc.

7050 W. Palmetto Park Road #15-652
Boca Raton, FL 33433-3483
Phone: 877-438-2851 • Fax: 877-220-4593

May 9, 2012

Mr. Steven Tugwell
Planning and Zoning
132 Main Street
Palmyra, Virginia 22963

RE: AT&T Mobility Application Weber City 439

Dear Mr. Tugwell,

At your request on behalf of Fluvanna County, Virginia, CityScape Consultants Inc., in its capacity as telecommunications consultant for the County, has considered the merits of an application submitted by AT&T Wireless ("AT&T") and Clear Signal International ("Clear"), to construct a new one hundred ninety-five (195) foot monopole type tower to include a four (4) foot top mounted lightning rod, as an antenna support structure. AT&T is actively upgrading their facilities throughout the State of Virginia and other areas in the southeast United States. Other carriers such as U.S. Cellular, T-Mobile and Verizon are doing much the same. This proposed new construction will allow AT&T to improve service along US-15. The new facility will expedite AT&T to bring new 3G (Third Generation) and 4G (Fourth Generation) electronic communication capabilities. Currently AT&T has limited facilities within Central Virginia. The proposed support structure is to be owned by Clear Signal Towers and will be located on property owned by Richard White. The proposed new facility will be located just off Highway US-15; James Madison Highway in Fluvanna County, Virginia, see *figure 1*.

AT&T is proposing to top mount their antennas at the one hundred ninety-five (195)-foot level, using a single coaxial cable for each antenna. AT&T plans to install a new prefabricated shelter mounted on a new concrete foundation near the base of the tower, see *figure 2*. The Applicant has stated that the facility will be constructed to accommodate a total of four (4) antenna arrays which is contrary with Fluvanna County code, see *figure 3*. A new tower of this height must accommodate a total of six (6) antenna arrays.

All wireless communications systems depend on the concept of frequency resource reuse to achieve greater capacities. With some technologies, the individual channel frequencies are reused every few cells, but not too closely, since interference would result. In many other systems, power from one base station interferes with other base stations, impacting network capacity. Therefore, it is undesirable for wireless phones to communicate with more than a few base stations simultaneously.

A reasonable search area location is a key element in assuring that a site is justified. Generally, new wireless communication facilities are equally spaced with respect to existing sites. However, terrain, network capacity and other issues may necessitate a facility that it is *not* equally spaced with respect to existing sites. Typically the wireless provider is asked to provide a frequency grid or coverage predictions to indicate that a site is properly located.

Specifically, the undersigned has evaluated AT&T's proposal from the following perspectives:

1. The proposed facility is required due to technological reasons and is essential for the Applicant to provide telecommunications services, and,
2. The proposed new site was selected as reasonably within the targeted area and therefore acceptable within the AT&T Network design specifications. The Applicant has followed the guidelines of the Telecommunications Act of 1996, the State of Virginia and the Fluvanna County Ordinance.

The Applicant did not follow all guidelines. The required changes are reflected within the conditions of approval.

All designs and plans for the proposed new facilities were developed according to accepted practices of RF propagation engineering and the persons completing all work are sufficiently qualified within their disciplines.

Figure 4 represents the current service for AT&T at this location. *Figure 5* indicates the Applicant's predicted new service for this phase of Network deployment in Fluvanna County. CityScape anticipates this plan, if built as designed, should be sufficient to allow an improvement of regular cellular service to AT&T customers, in addition the proposed changes will increase the ability for citizens to utilize higher speed internet. Properly locating the site will justify the proposed construction of a new support structure.

The Applicant supplied a letter of compliance with all FCC standards regarding human exposure to Radio Frequency energy, and the Applicants will comply with all aspects of FCC rules regarding interference, see *figure 6*. CityScape is aware that this facility will operate in both the 800-megahertz and 1900-megahertz spectrum and could be an interference concern to Public Safety operations.

For the reasons listed below, it is our opinion that:

- ◆ The proposed facility is required because of generally accepted and adequately demonstrated technological reasons and is essential in order for AT&T to provide satisfactory existing communications service, to alleviate a signal coverage issue; and
 - ◆ AT&T's submissions indicate there is a substantial service void in the general area surrounding the subject site and that the addition of new service at a height of 195 feet will help relieve these concerns. Therefore the proposed location will sufficiently accomplish satisfactory service, and there are no reasonable alternative technologies to accommodate the Applicant's needs without the construction of a new facility; and,
 - ◆ The proposed new site is supported by the Fluvanna County Telecommunications Master Plan
-

The Applicant submitted photo simulations which are attached as Exhibits.

The site will be designed and constructed by professionals with expertise in the disciplines of maximizing the use of telecommunications facilities and construction. This practice corresponds with the desires of Fluvanna County.

Upon review and discussions with the Applicant, CityScape confirms a new support structure is required not only for proposed new AT&T equipment but will be needed for additional wireless carriers in the near future. Therefore, CityScape recommends this application with the tower height of 195 feet be approved with the following conditions:

That the Applicant;

1. Confirms the new support structure will be capable of supporting a total of six (6) antenna arrays, in compliance with EIA/TIA 222-G; and,
2. The proposed new tower shall accommodate no less than six (6) different wireless service provider's antenna arrays all of the same general design; and,
3. The Applicant shall expand the ground compound to accommodate up to six (6) different wireless service provider's ground mounted electronic equipment; and,
4. The Applicant obtain all necessary County permits prior to any work on the site; and,
5. All access ports shall be sufficiently sealed to prevent infiltration or habitation by any type of wildlife; and,
6. The facility shall be protected from access from unauthorized personnel both during construction and during all periods of operation.

Respectfully submitted,



Richard L. Edwards
FCC Licensed
PCIA Certified
CityScape Consultants, Inc.

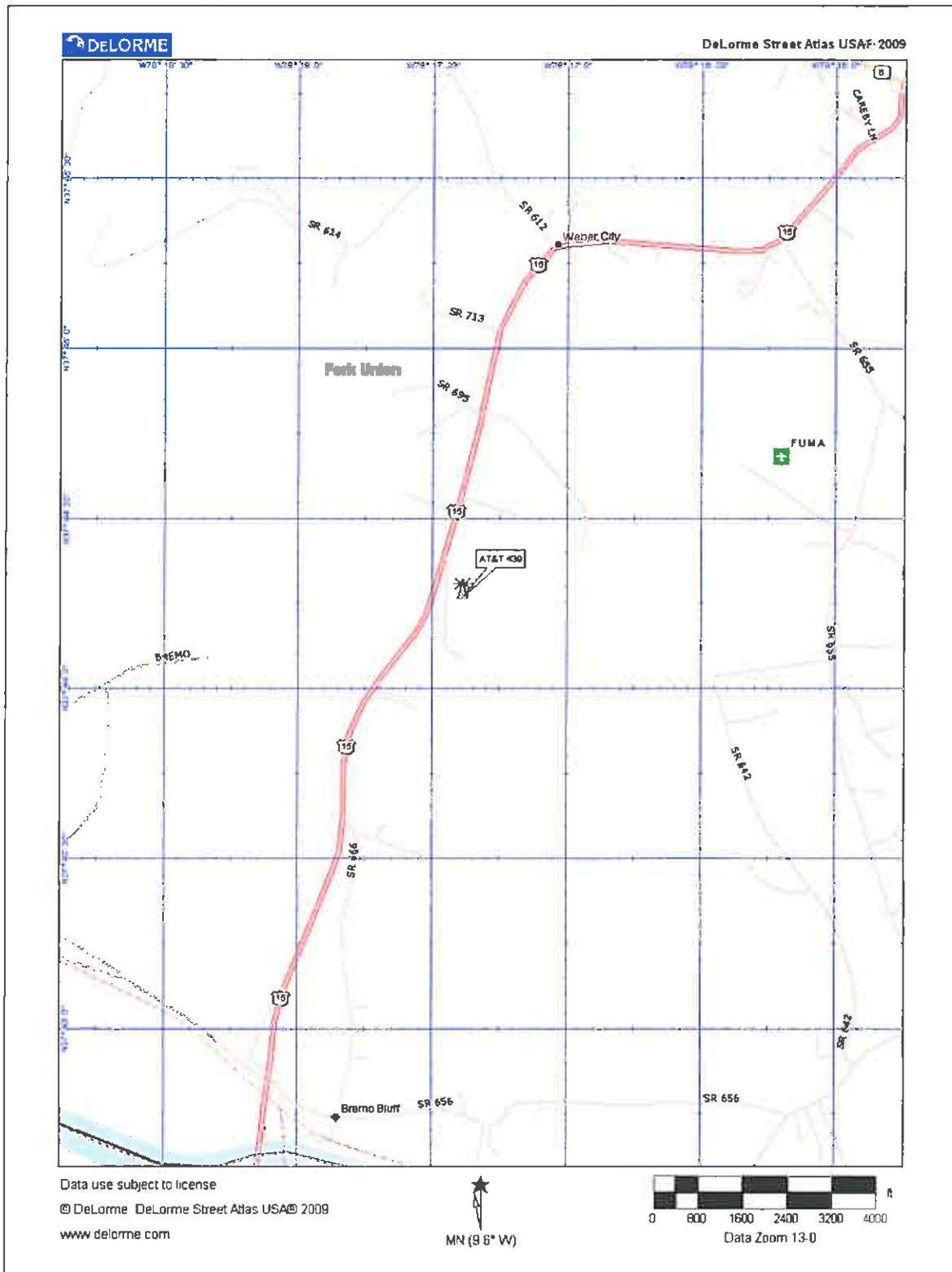


Figure 1. Site Location

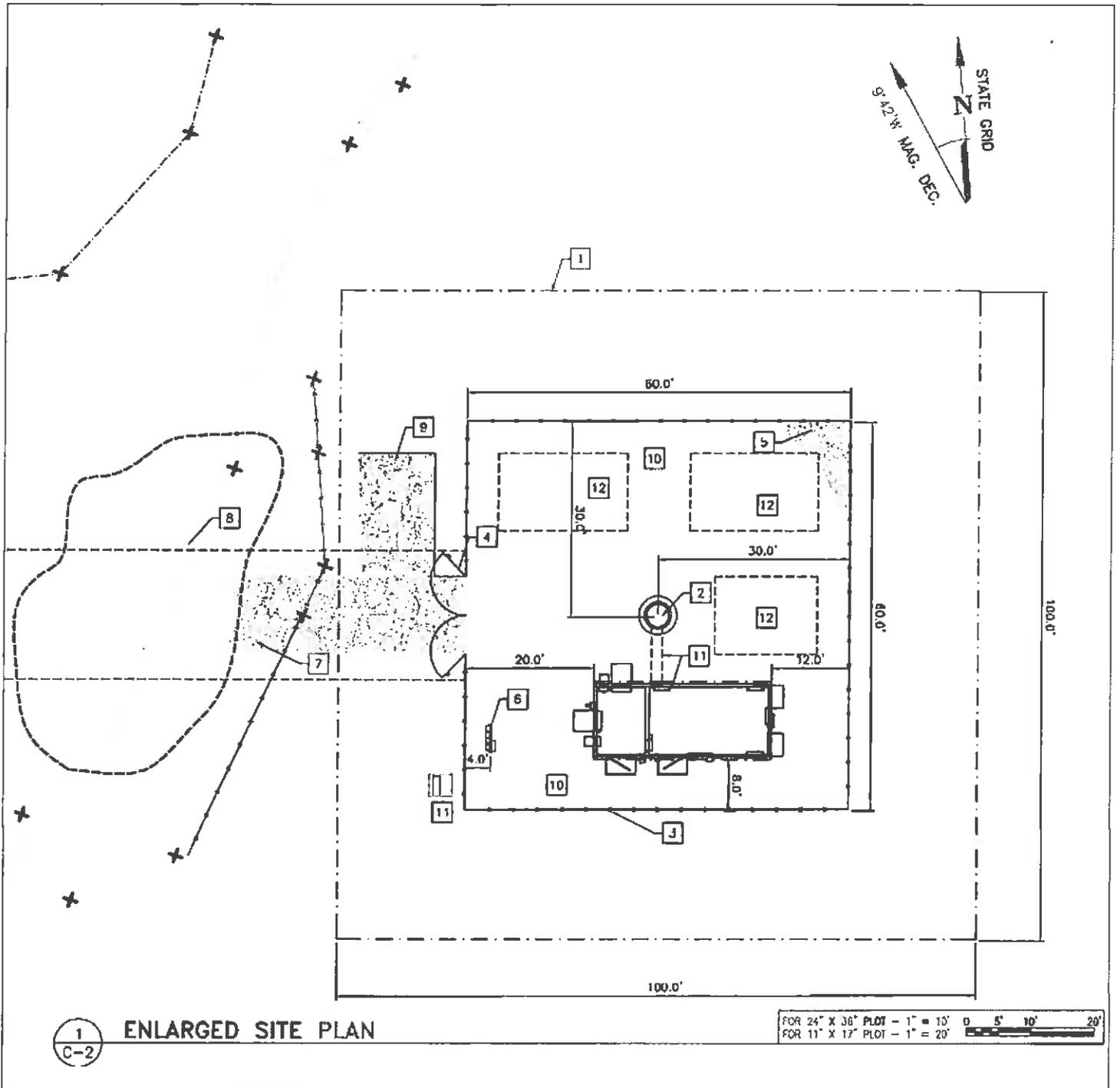


Figure 2. Proposed Ground Compound

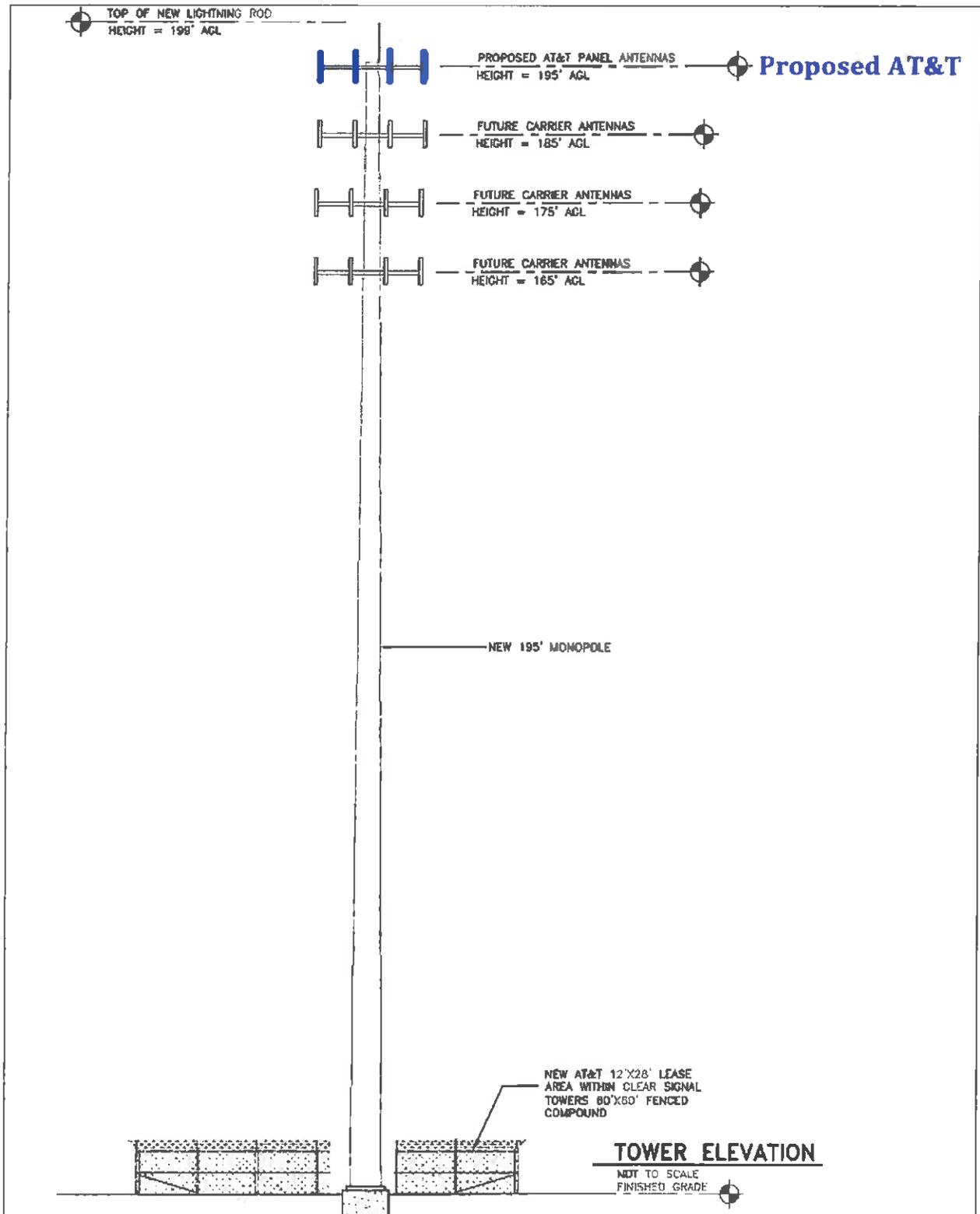


Figure 3. Proposed Tower Elevation

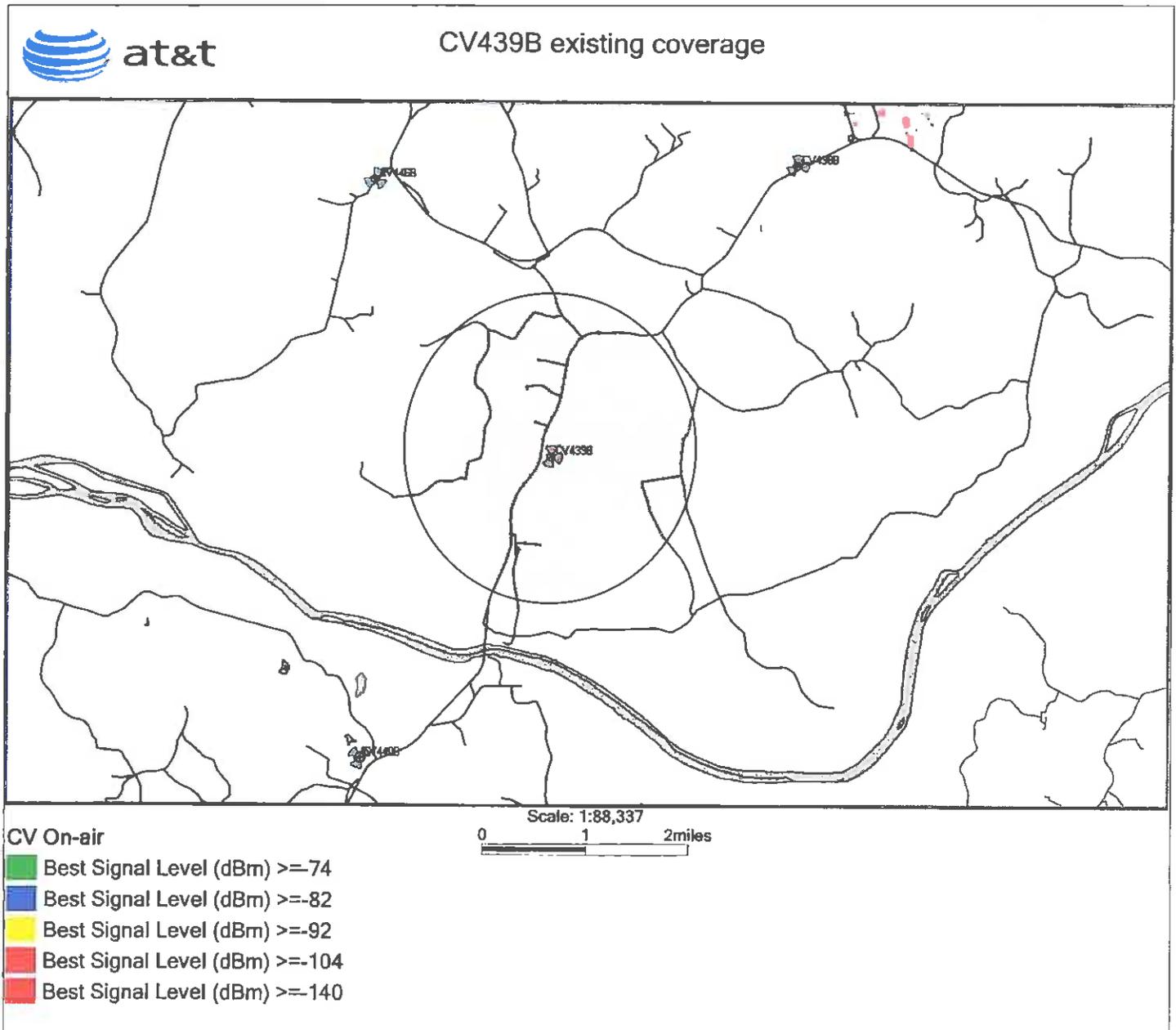


Figure 4. Current Service (Gray Indicates Target Area)

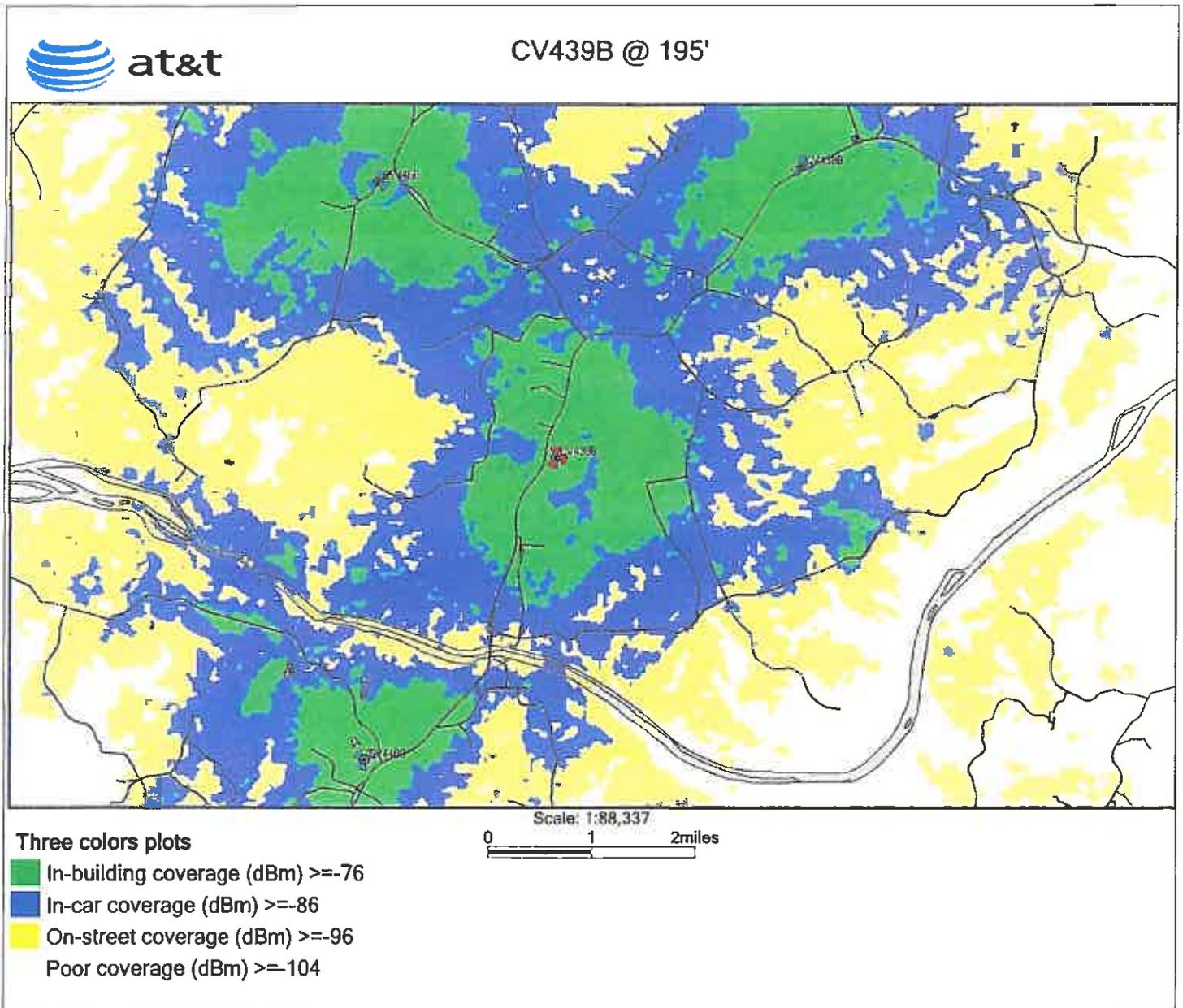


Figure 5. Projected New Service



November 7, 2011

Subject: AT& T Proposed Site – Communications Tower located on James Madison Hwy. (Tax Map 59-A-13B) ~ Fork Union, VA: FCC Compliance Letter – Site (CV439/VA9029) “Weber City”

AT&T will comply with all FCC rules regarding interference to other radio services and AT&T will comply with all FCC rules regarding human exposure to radio frequency energy.

Please do not hesitate to contact me with any questions or concerns regarding this project.

Sincerely,
Samuel J. Schroll

Samuel J. Schroll
RF Engineer
Solutelia /AT&T Mobility
4801 Cox Road, Suite 300
Glen Allen, Va. 23060
804-928-5571

Figure 6. Human Exposure and Interference Compliance Statements



COUNTY OF FLUVANNA

"Responsive & Responsible Government"

P.O. Box 540 Palmyra, VA 22963 (434) 591-1910 FAX (434) 591-1911 www.co.fluvanna.va.us

STAFF REPORT

To: Fluvanna County Board of Supervisors

Case Number: SUP 12:04

Tax Map: 50-A-3

From: Steve Tugwell

District: Fork Union

Date: July 18, 2012

General Information: This request is to be heard by the Board of Supervisors on Wednesday, July 18, 2012 at 7:00 pm in the Circuit Courtroom of the Fluvanna County Courts Building.

Applicant: Clear Signal Towers, LLC

Requested Action: A request for a Special Use Permit (SUP) to allow for a 195-foot wireless telecommunications tower with respect to 97.7 acres of Tax Map 50, Section A, Parcel 3. (Attachment A)

Existing Zoning: A-1, Agricultural, General

Planning Area: Rural Preservation

Zoning Ordinance: Article 27: *Regulation of Telecommunications Facilities*

Location: The affected property is located on the west side of Mountain Hill Road (Route 650) approximately 500 feet south of its intersection with West River Road (State Route 6). (Attachment B)

Existing Land Use: The property is mostly wooded.

Adjacent Land Use: The surrounding area is zoned A-1, Agricultural, General and is very low-density residential in nature.

Zoning History: No Previous Zoning Activities

Analysis

The applicant has requested a Special Use Permit (SUP) to allow the construction of a 195-foot monopole-type telecommunications tower on Tax Map 50, Section A, Parcel 3. The tower will be constructed within a 10,000 square foot (100' x 100') compound that will also house the necessary accessory structures.

When evaluating a request for a Special Use Permit (SUP), two (2) general guidelines are used for evaluation, as set forth in the Fluvanna County Zoning Ordinance (Sec. 22-17-4D).

First, the proposed use should not tend to change the character and established pattern of the area or community.

Character of Surrounding Area

The proposed tower is located in the south central portion of the county off of State Route 6 (West River Road), off of Mountain Hill Road. The surrounding area is not highly populated, and has land involved in agricultural and forestry production. A low number of dwellings are located within a mile of the proposed tower. The location of the proposed tower is screened by a dense mix of existing trees and vegetation. According to the applicant's photosimulations, the tower would be visible from the immediate lease compound area, some sections of Mountain Hill Road, as well as some sections of State Route 6 (West River Road). (Attachment C)

Conformance with Wireless Telecommunications Facilities Master Plan

According to the *Wireless Telecommunications Facilities Master Plan*, there are two (2) potential county owned properties that were within reasonable proximity to the applicant's search ring and the proposed new site. These two sites are identified as Site Location G, and Site Location H. The consultant determined that neither location would meet proper technical requirements. (Attachment D)

Second, the proposed use should be compatible with the uses permitted by-right in that zoning district and shall not adversely affect the use/or value of neighboring property.

Zoning

The subject property and all surrounding property are zoned A-1 (Agricultural, General). Since the proposed tower will be less than 200 feet, it will not have to be lighted. The applicant is proposing to build a 195 foot non-concealed freestanding antenna support facility within a 100 foot by 100 foot lease area, which per Sec. 22-27-8, requires a special use permit, and is not permitted by-right. Some permitted by-right uses in the A-1 zoning district include single-family dwellings, minor utilities, home occupations, private kennels, and temporary sawmills to name a few.

If this request were approved, the applicant will be required to submit a site development plan for review, in accordance with Article 23: *Site Development Plans* of the Fluvanna County Zoning Ordinance.

Relationship to Neighboring Properties

The proposed tower will be located on a parcel of land that is vastly wooded with a mix of hardwood and pine trees. The tower would be screened by a substantial wooded area between Mountain Hill Road, and the lease area. Very few dwellings are located within a 1-mile

proximity of the proposed tower, and existing vegetation would provide an effective screening from those properties. (Attachment E)

Comprehensive Plan

The Comprehensive Plan designates this area as within the Rural Preservation Planning Area. The Infrastructure Chapter of the Comprehensive Plan has the following recommendations concerning the siting of cellular towers.

- Encourage the location and co-location of wireless communication equipment on existing structures;
- Accommodate the growing need and demand for wireless communication services;
- Encourage coordination between communication providers;
- Establish consistent and balanced legal language governing wireless communications facilities that take into consideration the Comprehensive Plan and communications master plan; and
- Maintain compliance with applicable laws, including but not limited to the 1996 Telecommunications Act.

The above recommendations are the primary reasons the county has procured a telecommunications consultant to assist with these applications.

Neighborhood Meeting

The neighborhood meeting was held on May 9, 2012. With the exception of the property owner, there were no other people there to speak with regard to this application.

Technical Review Committee

The Technical Review Committee (TRC) meeting was held on May 10, 2012. The following comments were made:

1. Central Virginia Electric Cooperative stated that power supply is not an issue at this site;
2. The Health Dept. stated that the property does not contain any buildings, water or sewerage systems;
3. Planning staff stated that the consultant's report was forthcoming and their comments would be part of the staff report;
4. VDOT stated that an entrance permit will be required, and the entrance may need to be upgraded. (Attachment F).

Planning Commission

The Planning Commission considered this SUP request at their June 27th meeting. There was no comments by the public, and limited discussion by the Planning Commission. The Planning Commission recommended approval 3-0-1, with Dr. Babbitt abstaining. Mr. Halstead was absent.

Consultant's Recommendation

CityScape Consultants, Inc. has reviewed this request, and has stated that:

1. The proposed facility is required because of generally accepted and adequately demonstrated technological reasons and is essential in order for AT&T to provide satisfactory existing communications service and alleviate a signal coverage issue;
2. AT&T's submissions indicate there is a substantial service void in the general area surrounding the subject site and that the addition of new service at a height of 195 feet will help relieve these concerns. Therefore, the proposed location will sufficiently accomplish satisfactory service, and there are no reasonable alternative technologies to accommodate the Applicant's needs without the construction of a new facility; and
3. The proposed site is supported by the *Wireless Telecommunications Facilities Master Plan*.

CityScape Consultants, Inc. recommends that the application be approved with the following conditions:

1. The Applicant confirms the new support structure will be capable of supporting a total of six (6) antenna arrays, in compliance with EIA/TIA 222-G;
2. The proposed new tower shall accommodate no less than six (6) different wireless services providers' antenna arrays, all of the same general design;
3. The Applicant shall expand the ground compound to accommodate up to six (6) different wireless service providers' ground-mounted electronic equipment;
4. The Applicant shall obtain all necessary County permits prior to any work on the site;
5. All access ports shall be sufficiently sealed to prevent infiltration or habitation by any type of wildlife; and
6. The facility shall be protected from access from unauthorized personnel both during construction and during all periods of operation. (Attachment G)

Conclusion

This request for a special use permit for a 195 ft. monopole telecommunication facility appears to be in substantial conformance with the intent of the Comprehensive Plan's recognition that telecommunications are a critical part of the role of infrastructure throughout the county, and the criteria set forth in the Zoning Ordinance. In reviewing this request, the Planning Commission should consider how the proposed tower:

- Conforms with the *Wireless Telecommunications Facilities Master Plan*;

- Improves telecommunications infrastructure within Fluvanna County; and
- Impacts the rural character, and associated tourism potential, of the surrounding area.

If approved, staff recommends that the following conditions be imposed:

1. The tower, including antennae, will not be higher than 199 feet and will not be lit;
2. The tower shall be in the same location as shown in the application;
3. The Applicant confirms the new support structure will be capable of supporting a total of six (6) antenna arrays, in compliance with EIA/TIA 222-G;
4. The proposed new tower shall accommodate no less than six (6) different wireless services providers' antenna arrays, all of the same general design;
5. The Applicant shall expand the ground compound to accommodate up to six (6) different wireless service providers' ground-mounted electronic equipment;
6. The tower shall be available for co-location by other telecommunications companies, with Fluvanna County having the right of first refusal prior to the approval of each proposed co-location;
7. The Applicant shall obtain all necessary County permits prior to any work on the site;
8. All access ports shall be sufficiently sealed to prevent infiltration or habitation by any type of wildlife; and
9. The facility shall be protected from access from unauthorized personnel both during construction and during all periods of operation;
10. All feed lines shall be installed within the shell of the monopole and no lines will be exposed except at the antennas;
11. If the structures should no longer be needed, the applicant shall remove them, and restore the grounds to the prior condition; and
12. Violation of any condition of this permit shall be grounds for revocation of this permit.
13. The Board of Supervisors, or their representatives, has the right to inspect the property for compliance with these conditions at any time.

Suggested Motion

I move that the Board of Supervisors approve/deny SUP 12:04, a special use permit request to allow for a 195 foot monopole telecommunications tower pursuant to Fluvanna County Code Section 22-27-1 with respect to 97.7 acres of Tax Map 50, Section A, Parcel 3, (if approved) subject to the conditions listed in the staff report.

Attachments

- A: Application, compliance letter, and APO letter
- B: Aerial Vicinity Map
- C: Applicant's Balloon Test Photos
- D: Map of County owned property and email from the consultant
- E: Map of Existing Wireless Telecommunications Inventory
- F: TRC comments
- G: Consultant's Report

Copy

Owner: Margaret Snoddy, 745 Tara Lane, Scottsville, VA 24590

Applicant: Clear Signal Towers, LLC, Dorothy Brunetti, 1801 Libbie Avenue, Suite 201, Richmond, VA 23226

Consultant: CityScape Consultants, 10704 Elmbrook Court, Raleigh, NC 27614

Received

Cohasset
VA 9030 / CV 446

MAR 12 2012

Fluvanna County



COMMONWEALTH OF VIRGINIA
COUNTY OF FLUVANNA

Application for Special Use Permit (SUP)

Owner of Record: Margaret Snoddy
E911 Address: 745 Tara Ln, Scottsville, VA 24590
Phone: _____ Fax: N/A
Email: N/A

Applicant of Record: Clear Signal Towers, LLC
E911 Address: 1801 Libbie Ave, Suite 201, Richmond
Phone: 804-337-6470 Fax: 804-648-4809
Email: dorothy@vacapital.com

Representative: Dorothy Brunetti
E911 Address: 1801 Libbie Ave, Suite 201, Richmond VA
Phone: 804-337-6470 Fax: 804-648-4809
Email: dorothy@vacapital.com

Note: If applicant is anyone other than the owner of record, written authorization by the owner designating the applicant as the authorized agent for all matters concerning the request shall be filed with this application.
Is property in Agricultural Forestal District? No Yes
If Yes, what district: N/A

Tax Map and Parcel(s): 50-A-3
Acreage: 97.7 Zoning: A-1

Deed Book Reference: WB. 51 P. 756
Deed Restrictions? No Yes (Attach copy)

Request for a SUP in order to: construct a Tower

Proposed use of Property: Wireless Telecom Facility

*Two copies of a plan must be submitted, showing size and location of the lot, dimensions and location of the proposed building, structure or proposed use, and the dimensions and location of the existing structures on the lot.

By signing this application, the undersigned owner/applicant authorizes entry onto the property by County Employees, the Planning Commission, and the board of Supervisors during the normal discharge of their duties in regard to this request and acknowledges that county employees will make regular inspections of the site.

Date: 3/1/12 Signature of Owner/Applicant: [Signature]
Subscribed and sworn to before me this 1st day of MARCH, 2012 Register # 2273598
My commission expires: October 31, 2013 Notary Public: [Signature]
Certification: Date: _____ Zoning Administrator: Darren Coffey

All plats must be folded prior to submission to the Planning Department for review. Rolled plats will not be accepted.

OFFICE USE ONLY	
Date Received: <u>3-2-12</u>	Pre-Application Meeting: _____ PH Sign Deposit Received: <u>\$90.00</u> Application #: <u>SUP 12-004</u>
\$800.00 fee plus mailing costs paid:	Mailing Costs: \$20.00 Adjacent Property Owner(APO) after 1st 15, Certified Mail
Amendment of Condition: \$400.00 fee plus mailing costs paid:	
Telecommunications Tower \$1,500.00 fee plus mailing costs paid:	\$5,500 w/Consultant Review paid: <u>CK# 2336</u>
Election District: <u>Fork Union</u>	Planning Area: <u>Rural Preservation</u>
Public Hearings	
Planning Commission	Board of Supervisors
Advertisement Dates: <u>June 14th + 21st</u>	Advertisement Dates: <u>July 5th + 12th</u>
APO Notification: <u>June 13th</u>	APO Notification: <u>July 4th</u>
Date of Hearing: <u>June 27th</u>	Date of Hearing: <u>July 18th</u>
Decision: _____	Decision: _____

Received

MAR 12 2012

VA9030/CV44
130

Fluvanna County Virginia

Cohasset

Fluvanna County Communications Facility Application Checklist

Date Submitted: 11/6/11

APPLICANT'S NAME: Clear Signal Towers, LLC
 Phone: 804-337-6470 FAX: 804-648-4809 E-mail: dorothy@vacapital.com
 PROPERTY OWNER: _____ Phone: _____
 APPLICANT'S CONTACT: Dorothy Brunetti
 Address: 1801 Kibbie Ave, Suite 201, Richmond VA 23226
 Phone: 804-337-6470 FAX: 804-648-4809 E-mail: dorothy@vacapital.com
 Lessor/Licensor Contact Information:
 Name: Margaret Louise Snoddy
 Address: 745 Tara Lane Scottsville VA 24590
 Phone: _____ FAX: _____ E-mail: _____

Commercial Wireless Provider AT&T

New Structure: Yes No Co-location: Yes No Water Tower: Yes No
 Replace Existing Structure: Yes No Replacement (upgrade) of existing antennas Yes No
 Stealth Attached Facility: Yes No New Stealth Antenna Support Structure: Yes No

FACILITY INFORMATION:

Site Address: State Route 650, Palmyra VA 22963
 Latitude (NAD83): 37.46-41.6 Longitude (NAD83): 78-19-15.1
 Ground Elevation (AMSL) (ft): 488' Total Height of Tower: (AGL) (ft) 195'
 RAD Center (ft): 194'
 TAX Parcel Identification Number: 80-A-3
 Present Zoning of Property: A-1
 Land Use and Description of Property: Agricultural
 FCC Antenna Structure Registration Number (ASR) (if applicable): N/A

The following must be enclosed with this application:

1. A map (electronic preferable) of the same search ring submitted and used by the applicant's site locator;
2. A map (electronic preferable) indicating applicant's existing RF signal propagation;
3. A map (electronic preferable) indicating applicant's proposed new RF signal propagation;
4. A statement (electronic preferable) from a qualified individual that the applicant will comply with all FCC rules regarding human exposure to RF energy, along with the individual's qualifications;
5. A statement (electronic preferable) from the applicant that the applicant will comply with all applicable FCC rules regarding radio-frequency interference;
6. A statement (electronic preferable) that the submitted search ring is the same as utilized in the selection of the site;
7. Complete plans of the proposed facility to include a structural certification by a Registered Professional Engineer that the facility complies with applicable Federal, State and Buckingham County building codes.

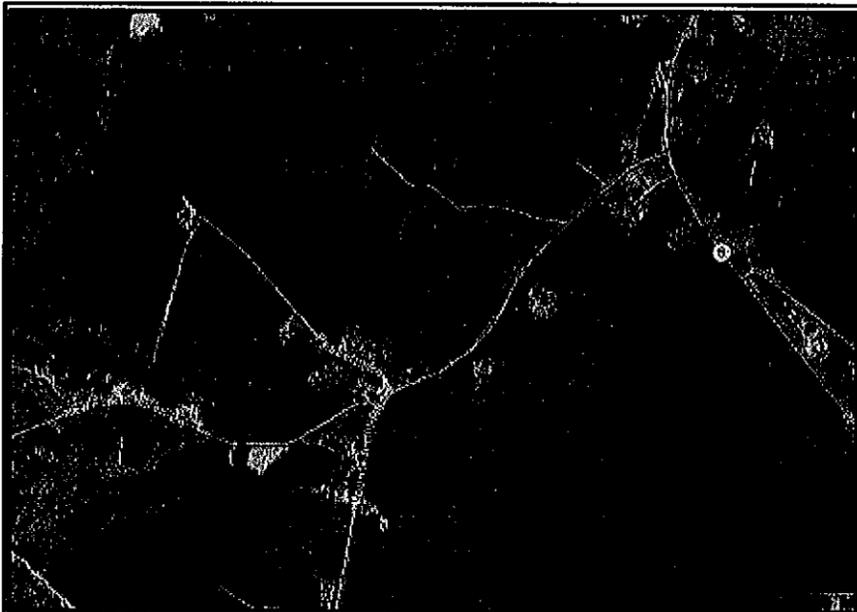
Please Note: Supplemental information may be requested for purposes of clarity or confirmation.



Clear Signal Towers, LLC

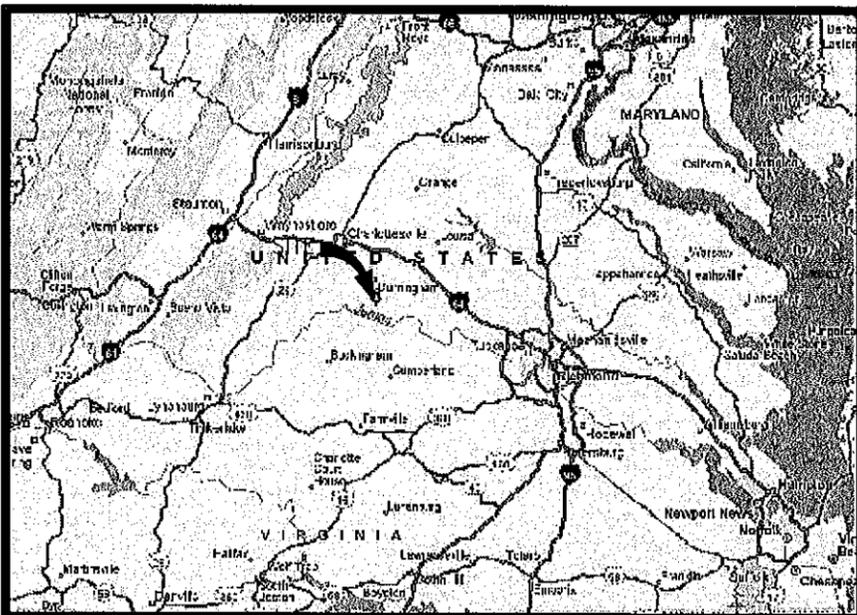
DIRECTIONS TO SITE:

FROM RICHMOND:
TAKE I-64 W TO EXIT 167 AND TURN RIGHT ONTO US-250. TURN LEFT ONTO FAIRGROUND RD AND THEN LEFT ONTO US-522. TURN RIGHT ONTO SR-6 AND FOLLOW FOR APPROXIMATELY 25 MILES. TURN LEFT ONTO MOUNTAIN HILL RD AND THEN TURN RIGHT ONTO ACCESS ROAD AND FOLLOW TO SITE.



LOCAL MAP

NOT TO SCALE



VICINITY MAP

NOT TO SCALE

COHASSET VA9030

STATE ROUTE 650
PALMYRA, VA 22963

PROJECT DESCRIPTION:

INSTALLATION AND OPERATION OF ANTENNAS AND ASSOCIATED EQUIPMENT



2 WORKING DAYS
BEFORE YOU DIG
1-800-552-7001
TOLL FREE
MISS UTILITY

APPROVAL

SAI SITE ACQUISITION:	SIGNATURE	DATE	AT&T REGULATORY	SIGNATURE	DATE
SAI ZONING:	SIGNATURE	DATE	AT&T RF:	SIGNATURE	DATE
SAI CONSTRUCTION:	SIGNATURE	DATE	AT&T CONSTRUCTION:	SIGNATURE	DATE

REV. NO.	DESCRIPTION	BY	DATE	REV. NO.	DESCRIPTION	BY	DATE
1	ZONING DRAWINGS	OWW	07/28/11				

CONSULTING TEAM

ARCHITECTURE AND ENGINEERING:
WARREN WILLIAMS & ASSOCIATES
736 CARNEROS CIRCLE
HIGH POINT, NC 27265
PROJECT MANAGER:
TELEPHONE: WARREN WILLIAMS, P.E.
(757) 450-2288

SURVEY:
HAYDEN FRYE AND ASSOCIATES
333 KELLAM ROAD, SUITE 200
VIRGINIA BEACH, VA 23462
CONTACT:
TELEPHONE: HAYDEN FRYE, LS
(757) 491-7228
FAX: (757) 491-7229

SOIL ENGINEER:
GEOENVIRONMENTAL RESOURCES, INC. (GER)
CONTACT:
TELEPHONE: CHARLES CRAWLEY, PE
(757) 463-3200

STRUCTURAL ENGINEERING:
WARREN WILLIAMS & ASSOCIATES
736 CARNEROS CIRCLE
HIGH POINT, NC 27265
CONTACT:
TELEPHONE: JASON CANFIELD, P.E.
(757) 450-2288

UTILITIES:
POWER COMPANY:
DOMINION VIRGINIA POWER
CONTACT:
TELEPHONE: CUSTOMER SERVICE
1-888-667-3000

TELEPHONE COMPANY:
VERIZON CONTACT:
CONTACT:
TELEPHONE: CUSTOMER SERVICE
1-800-826-2355

PROJECT SUMMARY

SITE INFORMATION:
VA9030
COHASSET
STATE ROUTE 650
PALMYRA, VA 22963

LANDLORD INFORMATION:
MARGARET M. SNODDY

APPLICANT INFORMATION:
CLEAR SIGNAL TOWERS
1801 LIBBIE AVENUE
SUITE 201
RICHMOND, VA 23226

PROJECT DATA:
ZONING: A-1
JURISDICTION: FLUVANNA COUNTY
TAX MAP NO.: 50-A-3
SITE TYPE: RAW LAND
TOWER TYPE: MONOPOLE
TOWER HEIGHT: 195'
LEASE AREA: 100'X100'
AREA OF LAND DISTURBANCE: 3600 SF

(2C) GEOGRAPHIC COORDINATES:
LATITUDE: 37° 46' 41.6" N
LONGITUDE: 78° 19' 15.1" W
GROUND ELEV. (AMSL): 488'

DECLINATION:
9° 41' W CHANGING BY 0° 1' W PER YEAR

ADA COMPLIANCE:
FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION.
SITE WILL NOT BE SERVED BY CITY SEWER OR WATER.

SHEET INDEX

SHEET:	DESCRIPTION:
T-1	TITLE SHEET
T-2	LEGEND AND ABBREVIATIONS
N-1	GENERAL NOTES
C-1	SURVEY AND SITE PLAN
C-2	ENLARGED SITE PLAN
C-3	GRADING AND EROSION CONTROL PLAN
C-4	ELEVATION VIEW
C-5	FENCE NOTES AND DETAILS
C-6	CIVIL DETAILS

SHEET TOTAL:
9

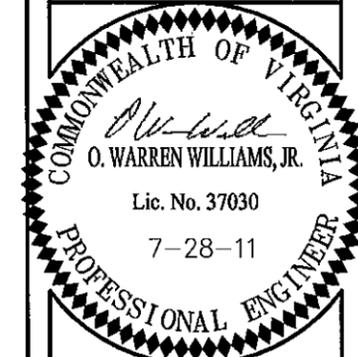
Clear Signal Towers, LLC

CLEAR SIGNAL TOWERS, LLC
1801 LIBBIE AVENUE
SUITE 201
RICHMOND, VA 23226
TEL (804)951-9694
FAX (804)648-4809

WW&A
warren williams & associates

736 CARNEROS CIRCLE
HIGH POINT
NORTH CAROLINA
27265
(757) 450-2288

NO.	DATE	DESCRIPTION
1	07/28/11	ZONING DRAWINGS
2		
3		
4		
5		
6		



**VA9030
COHASSET
RAWLAND
MONOPOLE**

STATE ROUTE 650
PALMYRA, VA
22963
FLUVANNA COUNTY

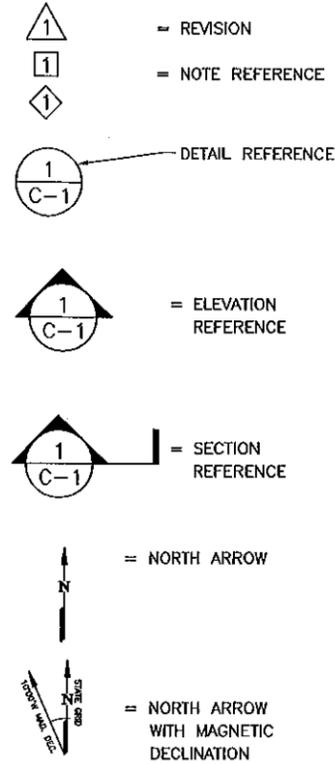
DRAWN BY: KMB
CHECKED BY: OWW
TITV DATE: NA
COMM NO: VA9030

SHEET TITLE:
TITLE SHEET

SHEET NUMBER:
T-1

ABBREVIATIONS & SYMBOLS LIST

1P, 2P, & 3P	SINGLE POLE, TWO POLE, & THREE POLES	NEUT	NEUTRAL
A/C	AIR CONDITIONING	N	NORTH
ADJ	ADJUSTABLE	NA	NOT APPLICABLE
AFF	ABOVE FINISH FLOOR	NIC	NOT IN CONTRACT
AGL	ABOVE GROUND LEVEL	NTS	NOT TO SCALE
APPROX	APPROXIMATELY	OC	OWNER FURNISHED, CONTRACTOR INSTALLED
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	OC	ON CENTER
AWG	AMERICAN WIRE GAUGE	OD	OUTSIDE DIAMETER
A OR AMP	AMPERE	OPNG	OPENING
BLDG	BUILDING	OPP	OPPOSITE
BLK	BLOCK	OHT/OHP	OVERHEAD TELEPHONE/OVERHEAD POWER
BMR	BASE MOBILE RADIO	OHP	OVERHEAD POWER
B/S	BUILDING STANDARD	OHT	OVERHEAD TELEPHONE
CU	COPPER	OZ	OUNCE
CO	CLEAN OUT	PG	PAGE
C	CONDUIT SIZE AS NOTED	PIN(F)	PIN FOUND
CB	CIRCUIT BREAKER	PIN(S)	PIN SET
CKT	CIRCUIT	PJF	POLYVINYL JOINT FILLER
CLG	CEILING	PLYWD	PLYWOOD
CLR	CLEAR	PR	PAIR
CONC	CONCRETE	PROJ	PROJECT
CONST	CONSTRUCTION	PROP	PROPERTY
CONT	CONTINUOUS	PSI	PER SQUARE INCH
CFCI	CONTRACTOR FURNISHED CONTRACTOR INSTALLED	PSF	PER SQUARE FOOT
DB	DEED BOOK	PT	PRESSURE TREATED
DBL	DOUBLE	PVC	SCHEDULE 40 PLASTIC CONDUIT.
DIA, Ø	DIAMETER	RAD	RADIATION
DIAG	DIAGONAL	RECEPT	RECEPTACLE
DIM	DIMENSION	REQ'D	REQUIRED
DN	DOWN	RM	ROOM
DET, DETL	DETAIL	RO	ROUGH OPENING
DWG	DRAWING	S	SOUTH
DEF	DUAL ELEMENT FUSES	SW	SWITCH
E	EAST	SCH	SCHEDULE
EA	EACH	SHT	SHEET
EL, ELEV	ELEVATION	SIM	SIMILAR
ELECT	ELECTRICAL	SPEC	SPECIFICATION
EQ	EQUAL	SQ	SQUARE
EQUIP	EQUIPMENT	SS	STAINLESS STEEL
EW	EACH WAY	STL	STEEL
EXIST/EX	EXISTING	STRUCT	STRUCTURAL
EXT	EXTERIOR	SUSP	SUSPENDED
EMT	ELECTRICAL METALLIC TUBING	THRD	THREADED
EC	EMPTY CONDUIT	THRU	THROUGH
FIN	FINISH	TM	TAX MAP
FLUOR	FLUORESCENT	TNND	TINNED
FLR	FLOOR	TOC	TOP OF CONCRETE
FT	FOOT	TYP	TYPICAL
GRS	GALVANIZED STEEL CONDUIT	UN	UNLESS OTHERWISE NOTED
G OR GRD	GROUND	UG	UNDERGROUND
GA	GAUGE	VERT	VERTICAL
GALV	GALVANIZE(D)	VIF	VERIFY IN FIELD
GC	GENERAL CONTRACTOR	VT	VINYL TILE
GPS	GLOBAL POSITIONING SYSTEM	W	WITH
GWB	GYPSTUM WALL BOARD	WDW	WINDOW
HARD'WD	HARDWOOD	W	WEST
HEC	HIGH STRENGTH	W/O	WITHOUT
HORIZ	HORIZONTAL	W	WATTS
HR	HOUR	WP	WEATHERPROOF
HT	HEIGHT	XFRM	TRANSFORMER
HVAC	HEATING, VENTILATION AND AIR CONDITIONING		
ID	INSIDE DIA.	∠	ANGLE
IN	INCH	&	AND
INFO	INFORMATION	℄	CENTER LINE
INS	INSULATION	PL	PROPERTY LINE, PLATE
KW	KILOWATTS	⊙	AT
LB(S)	POUND(S)	#	NUMBER
LG	LONG		
MAX	MAXIMUM		
MECH	MECHANICAL		
MTL	METAL		
MFR	MANUFACTURER		
MGR	MANAGER		
MIN	MINIMUM		
MISC	MISCELLANEOUS		
MPH	MILES PER HOUR		
MTD	MOUNTED		



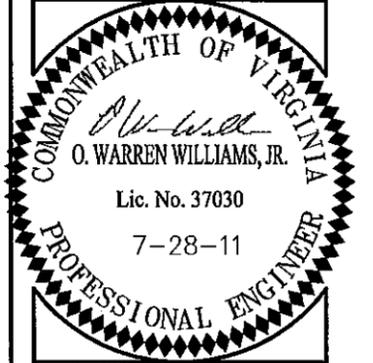
LEGEND

EXISTING	NEW	
		CONCRETE
		PROPERTY LINE
		LEASE AREA
		EASEMENT
		BUILDING (FOOTPRINT)
		POWER POLE
		TELEPHONE/FIBEROPTIC PEDESTAL
		ASPHALT
		FENCE
		TEMPORARY BENCHMARK
		TREELINE
		CONTOURS
		SPOT ELEVATION
		SILT FENCE
		ITEMS TO BE REMOVED

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 27265
 (757) 450-2288

NO.	DATE	BY	CHK	APP'D
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VA9030
COHASSET
RAWLAND
MONOPOLE
 STATE ROUTE 650
 PALMYRA, VA
 22963
 FLUVANNA COUNTY

DRAWN BY:	KMB
CHECKED BY:	OWW
TTV DATE:	NA
COMM NO:	VA9030

SHEET TITLE:
LEGEND AND ABBREVIATIONS

SHEET NUMBER:
T-2

SITE WORK GENERAL NOTES:

NOTES:

1. THE SUBCONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES PRIOR TO THE START OF CONSTRUCTION.
2. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY CONTRACTOR. EXTREME CAUTION SHOULD BE USED BY THE SUBCONTRACTOR WHEN EXCAVATING OR DRILLING PIERS AROUND OR NEAR UTILITIES. SUBCONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS WILL INCLUDE BUT NOT BE LIMITED TO A) FALL PROTECTION B) CONFINED SPACE C) ELECTRICAL SAFETY D) TRENCHING & EXCAVATION.
3. ALL SITE WORK SHALL BE AS INDICATED ON THE DRAWINGS AND PROJECT SPECIFICATIONS.
4. IF NECESSARY, RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
5. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF CONTRACTOR, OWNER AND/OR LOCAL UTILITIES.
6. SUBCONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION.
7. THE SUBCONTRACTOR SHALL PROVIDE SITE SIGNAGE IN ACCORDANCE WITH THE CINGULAR SPECIFICATION FOR SITE SIGNAGE.
8. THE SITE SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE BTS EQUIPMENT AND TOWER AREAS.
9. NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND. FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.
10. THE SUB GRADE SHALL BE COMPACTED AND BROUGHT TO A SMOOTH UNIFORM GRADE PRIOR TO FINISHED SURFACE APPLICATION.
11. THE AREAS OF THE OWNERS PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE TOWER, EQUIPMENT OR DRIVEWAY, SHALL BE GRADED TO A UNIFORM SLOPE, AND STABILIZED TO PREVENT EROSION.
12. SUBCONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE LOCAL JURISDICTION'S GUIDELINES FOR EROSION AND SEDIMENT CONTROL.

STRUCTURAL STEEL NOTES:

NOTES:

1. ALL STEEL WORK SHALL BE PAINTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND IN ACCORDANCE WITH ASTM A36 UNLESS OTHERWISE NOTED.
2. ALL WELDING SHALL BE PERFORMED USING E70XX ELECTRODES AND WELDING SHALL CONFORM TO AISC. WHERE FILLET WELD SIZES ARE NOT SHOWN, PROVIDE THE MINIMUM SIZE PER TABLE J2.4 IN THE AISC "MANUAL OF STEEL CONSTRUCTION". PAINTED SURFACES SHALL BE TOUCHED UP.
3. BOLTED CONNECTIONS SHALL BE ASTM A325 BEARING TYPE (3/4"Ø) CONNECTIONS AND SHALL HAVE MINIMUM OF TWO BOLTS UNLESS NOTED OTHERWISE.
4. NON-STRUCTURAL CONNECTIONS FOR STEEL GRATING MAY USE 5/8" DIA. ASTM A 307 BOLTS UNLESS NOTED OTHERWISE.
5. INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHOR, SHALL BE PER MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR CONTRACTOR APPROVAL WHEN DRILLING HOLES IN CONCRETE. SPECIAL INSPECTIONS, REQUIRED BY GOVERNING CODES, SHALL BE PERFORMED IN ORDER TO MAINTAIN MANUFACTURER'S MAXIMUM ALLOWABLE LOADS.
6. ALL EXPANSION/WEDGE ANCHORS SHALL BE STAINLESS STEEL OR HOT DIPPED GALVANIZED. THE ANCHOR BOLT DOWEL AND ROD SHALL BE STAINLESS STEEL WITH STAINLESS STEEL WASHERS.

CONCRETE AND REINFORCING STEEL NOTES:

1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318, ACI 336, ASTM A184, ASTM A185 AND THE DESIGN AND CONSTRUCTION SPECIFICATION FOR CAST-IN-PLACE CONCRETE.
2. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS, UNLESS NOTED OTHERWISE.
3. REINFORCING STEEL SHALL CONFORM TO ASTM A 615, GRADE 60, DEFORMED UNLESS NOTED OTHERWISE. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185 WELDED STEEL WIRE FABRIC UNLESS NOTED OTHERWISE. SPLICES SHALL BE CLASS "B" AND ALL HOOKS SHALL BE STANDARD, UNO.
4. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS SHOWN OTHERWISE ON DRAWINGS:
 CONCRETE CAST AGAINST EARTH.....3 IN.
 CONCRETE EXPOSED TO EARTH OR WEATHER:
 #6 AND LARGER2 IN.
 #5 AND SMALLER & WWF.....1 1/2 IN.
 CONCRETE NOT EXPOSED TO EARTH OR WEATHER OR NOT CAST AGAINST THE GROUND:
 SLAB AND WALL3/4 IN.
 BEAMS AND COLUMNS.....1 1/2 IN.
5. A CHAMFER 3/4" SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE, UNO, IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.
6. CONCRETE/EXPANSION ANCHORS SHALL BE STAINLESS STEEL. INSTALLATION, SHALL BE PER MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR ENGINEERING APPROVAL WHEN DRILLING HOLES IN CONCRETE. EXPANSION BOLTS SHALL BE PROVIDED BY RAMSET/REDHEAD OR APPROVED EQUAL.

GENERAL NOTES

1. FOR THE PURPOSE OF CONSTRUCTION DRAWING, THE FOLLOWING DEFINITIONS SHALL APPLY:
 CONTRACTOR - CLEAR SIGNAL TOWERS
 SUBCONTRACTOR - GENERAL CONTRACTOR (CONSTRUCTION)
 OWNER - CLEAR SIGNAL TOWERS
 OEM - ORIGINAL EQUIPMENT MANUFACTURE
2. PRIOR TO THE SUBMISSION OF BIDS, THE BIDDING SUBCONTRACTOR SHALL VISIT THE CELL SITE TO FAMILIARIZE WITH THE EXISTING CONDITIONS AND TO CONFIRM THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN ON THE CONSTRUCTION DRAWINGS. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE ATTENTION OF CONTRACTOR.
3. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. SUBCONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK.

 ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
4. DRAWINGS PROVIDED HERE ARE NOT TO SCALE AND ARE INTENDED TO SHOW OUTLINE ONLY.
5. UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES, AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
6. THE SUBCONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
7. IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE SUBCONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY THE CONTRACTOR.
8. SUBCONTRACTOR SHALL DETERMINE ACTUAL ROUTING OF CONDUIT, POWER AND T1 CABLES, GROUNDING CABLES AS SHOWN ON THE POWER, GROUNDING AND TELCO PLAN DRAWING.
9. THE SUBCONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT SUBCONTRACTOR'S EXPENSE TO THE SATISFACTION OF OWNER.
10. SUBCONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.
11. SUBCONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION.
12. CONSTRUCTION SHALL COMPLY WITH SPECIFICATION 24782-000-3APS-A00Z-00002, "GENERAL CONSTRUCTION SERVICES FOR CONSTRUCTION OF AT&T GSM SITES."

SOIL COMPACTION NOTES FOR SLAB ON GRADE

NOTES:

1. EXCAVATE AS REQUIRED TO REMOVE VEGETATION & TOPSOIL EXPOSE UNDISTURBED NATURAL SUBGRADE AND PLACE CRUSHED STONE AS REQUIRED.
 2. COMPACTION CERTIFICATION: AN INSPECTION AND WRITTEN CERTIFICATION BY A QUALIFIED GEOTECHNICAL TECHNICIAN OR ENGINEER IS ACCEPTABLE.
 3. AS AN ALTERNATIVE TO INSPECTION AND WRITTEN CERTIFICATION, THE "UNDISTURBED SOIL" BASE SHALL BE COMPACTED WITH "COMPACTION EQUIPMENT", LISTED BELOW, TO AT LEAST 90% MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM D 1557 METHOD C.
 4. COMPACTED SUBBASE SHALL BE UNIFORM & LEVELED. PROVIDE 6" MINIMUM CRUSHED STONE OR GRAVEL COMPACTED IN 3" LIFTS ABOVE COMPACTED SOIL. GRAVEL SHALL BE NATURAL OR CRUSHED WITH 100 % PASSING 1" SLEEVE.
- COMPACTION EQUIPMENT:
 HAND OPERATED DOUBLE DRUM, VIBRATORY ROLLER, VIBRATORY PLATE COMPACTOR OR JUMPING COMPACTOR.

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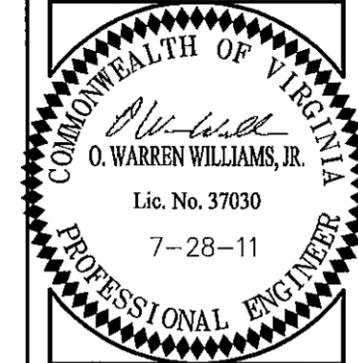
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NO.		
1	07/28/11	ZONING DRAWINGS
	BY: KMB	CHK: OWW APP'D: OWW
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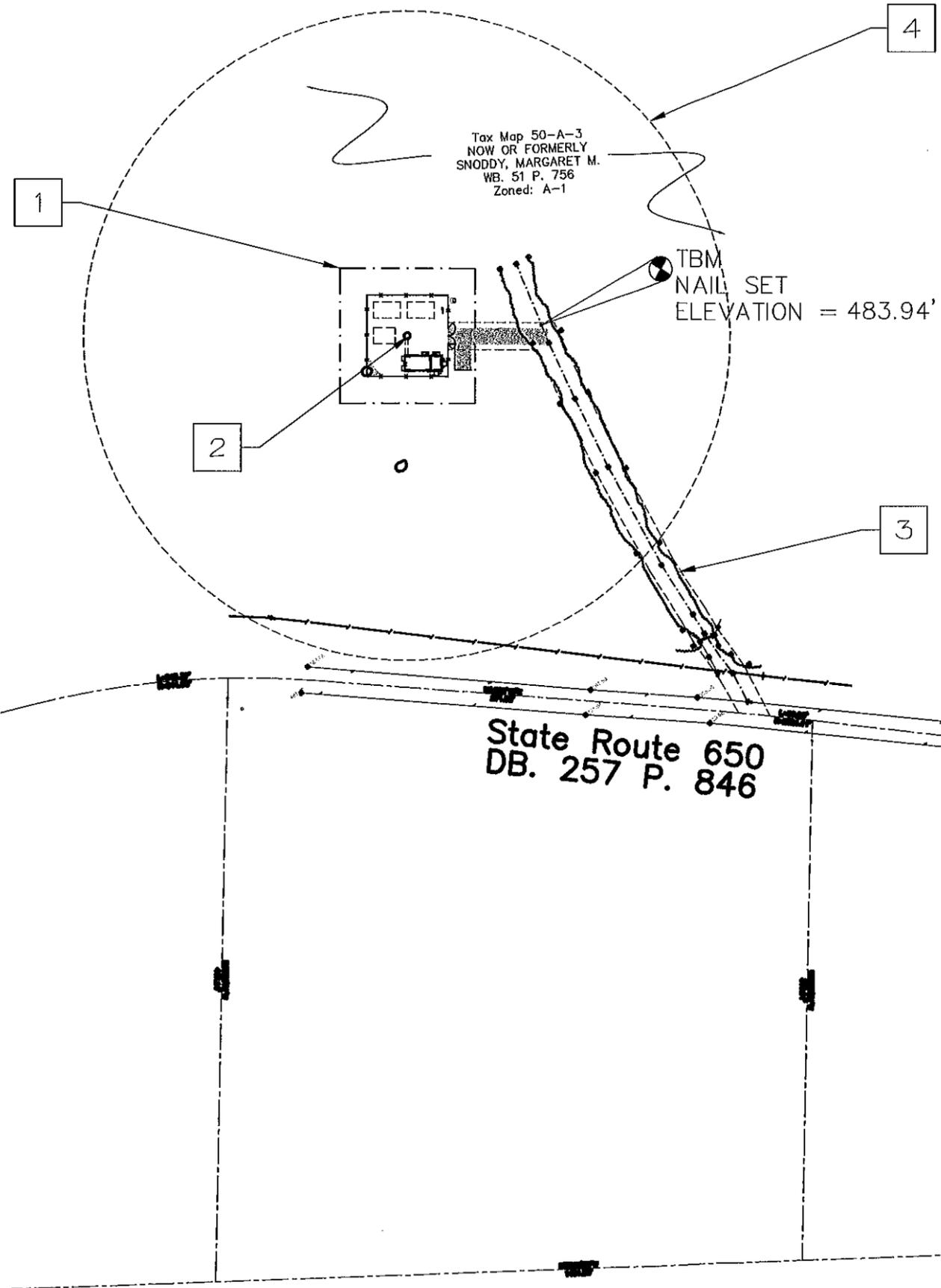
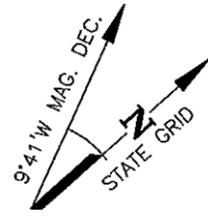
VA9030
 COHASSET
 RAWLAND
 MONOPOLE

STATE ROUTE 650
 PALMYRA, VA
 22963
 FLUVANNA COUNTY

DRAWN BY:	KMB
CHECKED BY:	OWW
TV DATE:	NA
COMM NO:	VA9030

SHEET TITLE:
GENERAL NOTES

SHEET NUMBER:
N-1



SURVEY NOTES

1. TOPOGRAPHIC INFORMATION WAS TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY HAYDEN FRYE AND ASSOCIATES, VIRGINIA BEACH, VA ON JULY 21, 2011. NO BOUNDARY SURVEY WAS PERFORMED BY HAYDEN FRYE AND ASSOCIATES.
2. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH/REPORT AND MAY NOT SHOW ANY/ALL EASEMENTS AND RESTRICTIONS OF RECORD THAT MAY AFFECT THE SUBJECT PROPERTY.
3. PROPERTY IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.
4. FLOOD ZONE DETERMINATION IS BASED ON THE FLOOD INSURANCE RATE MAPS AND DOES NOT IMPLY THAT THE PROPERTY WILL OR WILL NOT BE FREE FROM FLOODING OR DAMAGE.
5. THIS PROPERTY APPEARS TO BE LOCATED IN THE F.I.R.M. ZONE "X" AS SHOWN ON COMMUNITY PANEL NUMBER 51065C0175C DATED MAY 16, 2008.
6. NO SUBSURFACE INVESTIGATION WAS PERFORMED BY CAUSEWAY CONSULTANTS.
7. MERIDIAN SOURCE FOR THIS SURVEY IS BASED UPON GRID NORTH. MAGNETIC DECLINATION IS COMPUTED AND NOT OBSERVED.
8. NO WETLAND AREAS HAVE BEEN DELINEATED.
9. ALL PHYSICAL EVIDENCE OF UTILITIES SHOWN ON THIS SURVEY IS FROM SURFACE EVIDENCE.
10. THE TEMPORARY BENCHMARK IS A NAIL SET. ELEVATION = 483.94'.
11. BASED ON THIS SURVEY, PERFORMED BY HAYDEN FRYE AND ASSOCIATES ON JULY 21, 2011, THE NEW MONOPOLE TOWER HAS BEEN CERTIFIED BY HAYDEN FRYE AND ASSOCIATES THAT THE COORDINATE LOCATION OF THE REFERENCED TOWER AT THE REFERENCED SITE IS ACCURATE WITHIN 15'± HORIZONTALLY AND THE ELEVATION IS ACCURATE WITHIN 3'± VERTICALLY. THE HORIZONTAL DATUM (COORDINATES) ARE IN TERMS OF THE NORTH AMERICAN DATUM OF 1983 (NAD 83) AND ARE EXPRESSED AS DEGREES, MINUTES, AND SECONDS. THE VERTICAL DATUM (ELEVATIONS) ARE IN TERMS AS DEFINED BELOW AND ARE DETERMINED TO THE NEAREST TENTH OF A FOOT.

PROPOSED 195' MONOPOLE TOWER
 NAD 1983
 LATITUDE: 37° 46' 41.6" N
 LONGITUDE: 78° 19' 15.1" W
 NAVD 88 ELEVATION: 488' AMSL

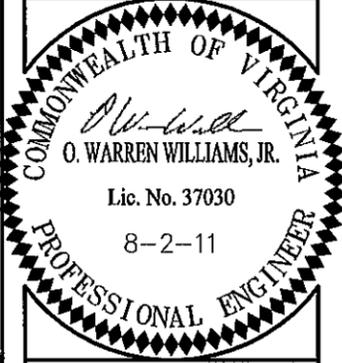
CONSTRUCTION NOTES

- 1 NEW 100'X100' CLEAR SIGNAL TOWERS LEASE AREA.
- 2 NEW CLEAR SIGNAL TOWERS 195' MONOPOLE TOWER INSIDE NEW 60'X60' FENCED COMPOUND. SEE SHEET C-2 FOR ENLARGED SITE PLAN.
- 3 NEW 20' WIDE CLEAR SIGNAL TOWERS ACCESS/UTILITY EASEMENT & 12' GRAVEL ACCESS ROAD (APPROXIMATELY 387').
- 4 FLUVANNA REQUIRED 120% TOWER SETBACK

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NO.	DATE	DESCRIPTION
1	07/28/11	ZONING DRAWINGS
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VA9030
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 RAWLAND
 MONOPOLE

STATE ROUTE 650
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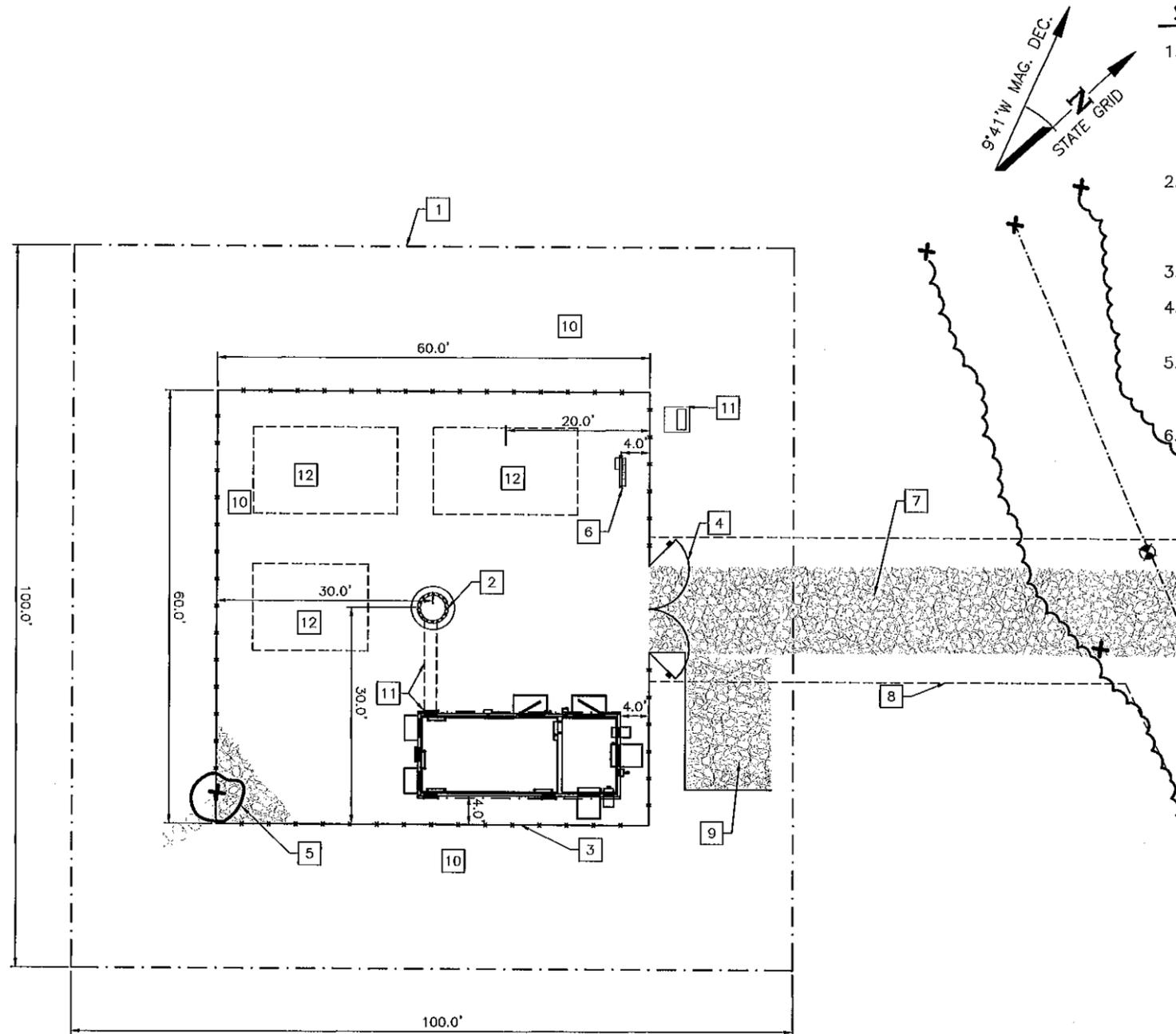
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TTY DATE:	NA
COMM NO:	VA9030

SHEET TITLE:
 SURVEY AND SITE
 PLAN

SHEET NUMBER:
C-1

1 SURVEY AND SITE PLAN
 C-1

FOR 24" X 36" PLOT - 1" = 50'
 FOR 11" X 17" PLOT - 1" = 100'



SITE NOTES

1. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL ASSUME THE RESPONSIBILITY OF LOCATING ANY UNDERGROUND UTILITIES (PUBLIC OR PRIVATE) THAT MAY EXIST AND CROSS THROUGH THE AREA OF CONSTRUCTION THAT ARE NOT SHOWN ON THESE PLANS. BEFORE YOU DIG, CALL "MISS UTILITY" AT 1-800-552-7001. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, AT HIS EXPENSE, ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.
2. ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK AT THE FIRST PHASE OF CONSTRUCTION AND CHECKED PERIODICALLY TO ENSURE THEY ARE FUNCTIONING AS INDICATED.
3. THE STOCKPILING OF EXCESS MATERIAL ON SITE WILL NOT BE ALLOWED.
4. ANY VEGETATED AREA DISTURBED BY CONSTRUCTION SHALL BE TOPSOILED AND SEEDED TO RESTORE A PERMANENT VEGETATIVE COVER.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING WITH MATCHING MATERIALS ANY PAVEMENT, DRIVEWAYS, WALKS, CURBS, ETC. THAT MAY BE CUT, OR THAT ARE DAMAGED DURING CONSTRUCTION.
6. THE INDICATED DIRECTION OF NORTH WILL HAVE TO BE VERIFIED IN THE FIELD. THE MAGNETIC DECLINATION INDICATED IS CALCULATED BASED ON THE LATITUDINAL AND LONGITUDINAL COORDINATE GIVEN BY HAYDEN FRYE AND ASSOCIATES.

CONSTRUCTION NOTES

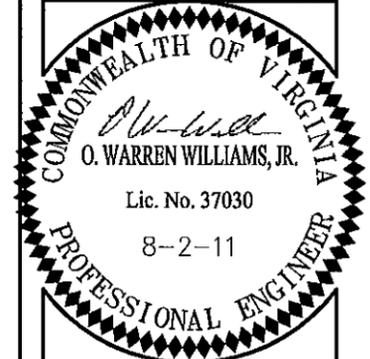
- 1 NEW CLEAR SIGNAL TOWERS 100'X100' LEASE AREA.
- 2 NEW CLEAR SIGNAL TOWERS 195' MONOPOLE TOWER. SEE ELEVATION VIEW, SHEET C-4.
- 3 NEW CLEAR SIGNAL TOWERS 60'X60' FENCED COMPOUND. SEE SHEET C-5 FOR DETAIL.
- 4 NEW CLEAR SIGNAL TOWERS 12' WIDE DOUBLE GATE. SEE SHEET C-5 FOR DETAIL.
- 5 INSTALL NEW GRAVEL WITHIN COMPOUND AS NEEDED. SEE SHEET C-6 FOR DETAIL.
- 6 NEW CLEAR SIGNAL TOWERS UTILITY SERVICE STAND.
- 7 NEW 12' GRAVEL ACCESS ROAD. SEE SHEET C-6 FOR DETAILS.
- 8 NEW 20' WIDE CLEAR SIGNAL TOWERS ACCESS/UTILITY EASEMENT (APPROXIMATELY 387' IN LENGTH)
- 9 NEW GRAVEL PARKING/TURNAROUND. SEE SHEET C-6 FOR DETAILS.
- 10 CLEAR TREES AS NECESSARY TO ACCOMODATE NEW COMPOUND.
- 11 FUTURE AT&T EQUIPMENT SHELTER, ICE BRIDGE, FIBER PAD (BY OTHERS).
- 12 FUTURE CARRIERS.

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NO.	DATE	DESCRIPTION
1	07/28/11	ZONING DRAWINGS BY: KMB CHK: OWW APP'D: OWW
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VA9030
COHASSET
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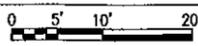
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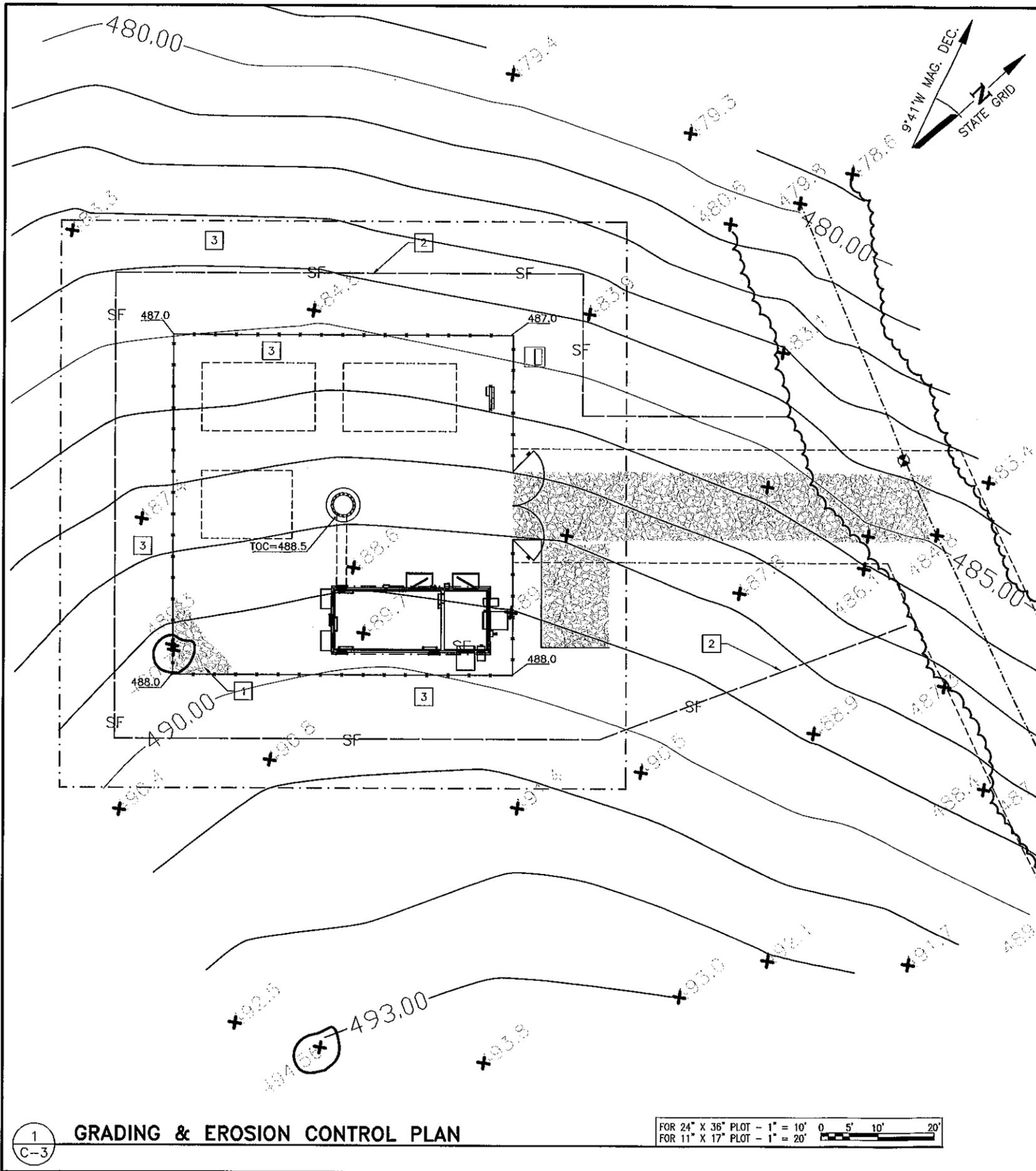
SHEET TITLE:
ENLARGED SITE PLAN

SHEET NUMBER:
C-2

1
C-2
ENLARGED SITE PLAN

FOR 24" X 36" PLOT - 1" = 10'
FOR 11" X 17" PLOT - 1" = 20'





EROSION & SEDIMENT CONTROL NOTES:

- UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (3RD EDITION, 1992).
- THE CONTRACTOR MUST CONTACT THE PLANNING/CIVIL INSPECTIONS OFFICE FOR A PRE-CONSTRUCTION MEETING BEFORE ANY CONSTRUCTION ACTIVITY BEGINS.
- ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CONSTRUCTION.
- THE CONTRACTOR SHALL APPLY PERMANENT OR TEMPORARY SOIL STABILIZATION TO ALL DENUDED OR DISTURBED AREAS WITHIN 7 DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. SOIL STABILIZATION MUST ALSO BE APPLIED TO DENUDED AREAS WHICH MAY NOT BE AT FINAL GRADE BUT WHICH WILL REMAIN UNDISTURBED FOR LONGER THAN 30 DAYS. SOIL STABILIZATION MEASURES INCLUDE VEGETATIVE ESTABLISHMENT, MULCHING AND THE EARLY APPLICATION OF GRAVEL BASE MATERIAL ON AREAS TO BE PAVED.
- THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES DAILY AND AFTER EACH RUNOFF PRODUCING RAINFALL EVENT. ANY NECESSARY REPAIRS TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES AND CLEANUP OF SEDIMENTATION ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE MADE IMMEDIATELY.
- THE CONTRACTOR SHALL LIMIT SITE ACCESS BY CONSTRUCTION VEHICLES TO ENTRANCES PROTECTED BY A STONE CONSTRUCTION ENTRANCE (VESH STD. & SPEC. 3.02) OR AN APPROVED COMPARABLE CONTROL MEASURE. SEDIMENT SHALL BE REMOVED FROM PAVED AREAS ON A DAILY BASIS (SEE DETAIL 2, SHEET C-9).
- STOCK PILES OF SOIL AND OTHER ERODIBLE MATERIAL SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION FOR STOCKPILES ON SITE AS WELL AS FOR MATERIALS TRANSPORTED FROM THE PROJECT SITE.
- THE CONTRACTOR SHALL MONITOR AND TAKE PRECAUTIONS TO CONTROL DUST INCLUDING (BUT NOT LIMITED TO) USE OF WATER, MULCH OR CHEMICAL DUST ADHESIVES AND CONTROL OF CONSTRUCTION SITE TRAFFIC.
- EFFLUENT FROM DE-WATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND CHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT ADJACENT PROPERTIES, WETLANDS, WATERWAYS OR THE STORM DRAINAGE SYSTEM.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ANY ADDITIONAL CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED NECESSARY BY THE PLAN APPROVING AUTHORITY.
- TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES ARE NOT TO BE REMOVED WITHOUT APPROVAL OF THE DIRECTOR OF COMMUNITY DEVELOPMENT OR HIS DESIGNEE WHEN ALL DISTURBED AREAS ARE STABILIZED. ONCE APPROVED, ALL MEASURES SHALL BE REMOVED WITHIN 30 DAYS. TRAPPED SEDIMENT SHALL BE SPREAD AND SEEDED.

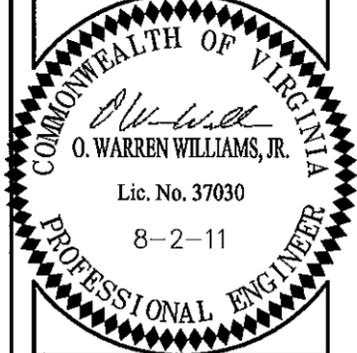
CONSTRUCTION NOTES:

- INSTALL NEW GRAVEL WITHIN COMPOUND AS NEEDED, SEE DETAIL, SHEET C-6.
- NEW SILT FENCE, SEE DETAIL, SHEET C-6.
- INSTALL TREE PROTECTION AS NECESSARY, SEE DETAIL, SHEET C-6.

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 NORTH CAROLINA
 27265
 (757) 450-2288

NO.	DATE	DESCRIPTION
1	07/28/11	ZONING DRAWINGS
	BY: KMB	CHK: OWW APP: OWW
2		
3		
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6		



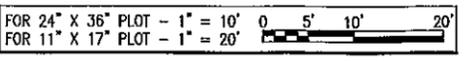
VA9030
 COHASSET
 RAWLAND
 MONOPOLE
 STATE ROUTE 650
 PALMYRA, VA
 22963
 FLUVANNA COUNTY

DRAWN BY:	KMB
CHECKED BY:	OWW
TTV DATE:	NA
COMM NO:	VA9030

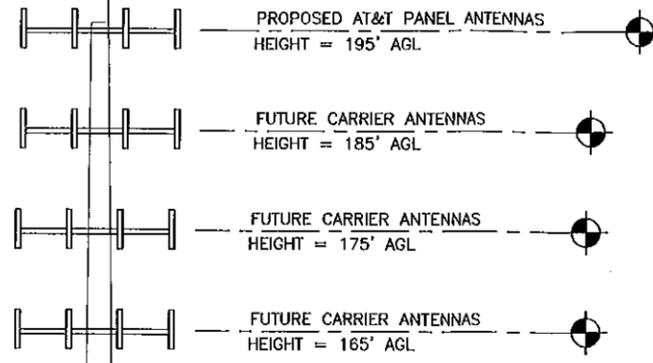
SHEET TITLE:
GRADING & EROSION CONTROL PLAN

SHEET NUMBER:
C-3

1 GRADING & EROSION CONTROL PLAN
 C-3



TOP OF NEW LIGHTNING ROD
HEIGHT = 199' AGL



NEW 195' MONOPOLE

NOTE:
TOWER IS TO BE DESIGNED AND BUILT TO CONFORM TO THE LATEST EDITION OF THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE. ALL LOADS WILL MEET THE MINIMUM REQUIREMENTS FOR THE COUNTY. THE TOWER IS TO REACH THE HEIGHT INDICATED AND SUPPORT THE NUMBER OF FUTURE CARRIERS INDICATED TO BE INSTALLED.

NEW AT&T 12'X28' LEASE AREA WITHIN CLEAR SIGNAL TOWERS 60'X60' FENCED COMPOUND

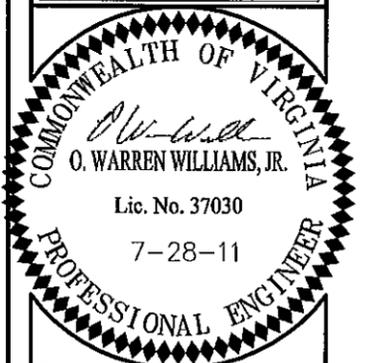
FINISHED GRADE

TOWER ELEVATION
NOT TO SCALE

Clear Signal Towers, LLC
CLEAR SIGNAL TOWERS, LLC
1801 LIBBIE AVENUE
SUITE 201
RICHMOND, VA 23226
TEL (804)951-9694
FAX (804)648-4809

WW&A
warren williams & associates
736 CARNEROS CIRCLE
HIGH POINT
NORTH CAROLINA
27285
(757) 450-2288

NO.	
1	07/28/11 ZONING DRAWINGS BY: KMB CHK: OWW APP'D: OWW
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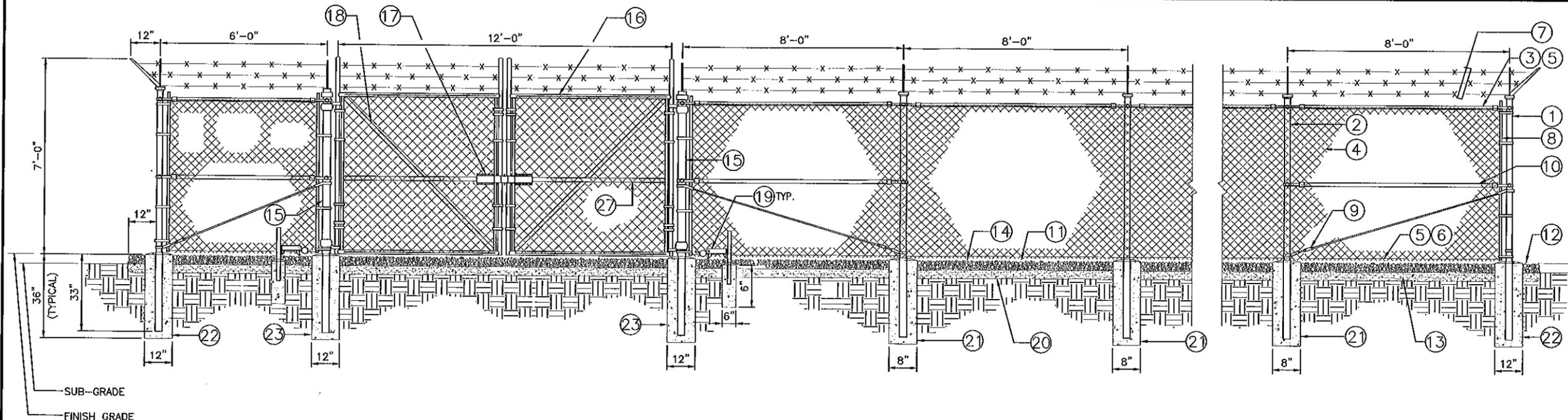
VA9030
COHASSET
RAWLAND
MONOPOLE

STATE ROUTE 650
PALMYRA, VA
22963
FLUVANNA COUNTY

DRAWN BY:	KMB
CHECKED BY:	OWW
TTV DATE:	NA
COMM NO:	VA9030

SHEET TITLE:
ELEVATION VIEW

SHEET NUMBER:
C-4

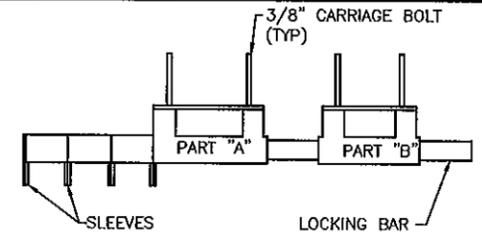


1 COMPOUND FENCE DETAIL
C-5 NOT TO SCALE

REFERENCE NOTES:

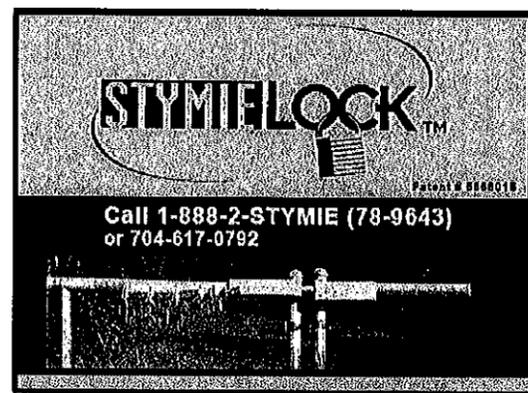
- ① CORNER, END OR PULL POST 3" OD SCHEDULE 40 PIPE.
 - ② LINE POST: 2 1/2" OD SCHEDULE 40 PIPE, PER ASTM-F1083. LINE POSTS SHALL BE EQUALLY SPACED AT MAXIMUM 10'-0" OC
 - ③ TOP RAIL & BRACE RAIL: 1 5/8" OD PIPE, PER ASTM-F1083.
 - ④ FABRIC: 9 GA WIRE SIZE 2" MESH.
 - ⑤ TIE WIRE: MINIMUM 9 GA ALUMINUM AT POSTS AND RAILS A SINGLE WRAP OF FABRIC TIE AND AT TENSION WIRE BY HOG RINGS SPACED MAX. 24" INTERVALS.
 - ⑥ TENSION WIRE: 7 GA GALVANIZED STEEL.
 - ⑦ BARBED WIRE: DOUBLE STRAND 12-1/2" TWISTED WIRE TO MATCH WITH FABRIC 14 GA, 4 POINT BARBS SPACED ON APPROXIMATELY 5" CENTERS.
 - ⑧ STRETCHER BAR.
 - ⑨ 3/8" DIAGONAL ROD WITH GALVANIZED STEEL TURNBUCKLE OR DIAGONAL THREADED ROD.
 - ⑩ FENCE CORNER POST BRACE: 1 5/8" OD EACH CORNER EACH WAY.
 - ⑪ 1 1/2" MAXIMUM CLEARANCE FROM GRADE.
 - ⑫ 4" FINISH OR AS DETERMINED BY CONSTRUCTION MANAGER DURING BID WALK.
 - ⑬ 6" COMPACTED 95% BASE MATERIAL OR AS DETERMINED BY CONSTRUCTION MANAGER DURING BID WALK.
 - ⑭ FINISH GRADE SHALL BE UNIFORM AND LEVEL.
 - ⑮ GATE POST 4" SCHEDULE 40 PIPE, FOR GATE WIDTHS UP THRU 7 FEET OR 14 FEET FOR DOUBLE SWING GATE, PER ASTM-F1083.
 - ⑯ GATE FRAME: PIPE, PER ASTM-F1083.
 - ⑰ STYMILOCK MULTI TENANT LOCKING DEVICE, PATENT # 5868015 SEE CONTACT INFORMATION ON THIS SHEET
- ⑱ 1 PAIR INDUSTRIAL PIN HINGE
 - ⑲ NOT USED
 - ⑳ GEOTEXTILE FABRIC
 - ㉑ LINE POST: CONCRETE FOUNDATION (2000 PSI)
 - ㉒ CORNER POST: CONCRETE FOUNDATION (2000 PSI)
 - ㉓ GATE POST: CONCRETE FOUNDATION (2000 PSI)

- GENERAL NOTES:**
1. INSTALL FENCING PER ASTM F-567
 2. INSTALL SWING GATES PER ASTM F- 900
 3. LOCAL ORDINANCE OF BARBED WIRE PERMIT REQUIREMENT SHALL BE COMPLIED IF REQUIRED.
 4. POST & GATE PIPE SIZES ARE INDUSTRY STANDARDS. ALL PIPE TO BE GALV. (HOT DIP, ASTM A120 GRADE "A" STEEL). ALL GATE FRAMES SHALL BE WELDED. ALL WELDING SHALL BE COATED WITH (3) COATS OF COLD GALV. (OR EQUAL).
 5. ALL OPEN POSTS SHALL HAVE END-CAPS.
 6. USE GALVANIZED HOG-RING WIRE TO MOUNT ALL SIGNS.
 7. ALL SIGNS MUST BE MOUNTED ON INSIDE OF FENCE FABRIC.



1. DRILL 3/8" HOLES IN THE GATE LEAF USING THE GATE DIMENSIONS PROVIDED.
 2. SLIDE THE CARRIAGE BOLTS IN THE SLOTS ON THE BACK OF PART "B" AND PUSH THE BOLTS THROUGH THE HOLES DRILLED IN THE GATE LEAF. PUT THE NUT AND THE LOCKNUT ON AND TIGHTEN AND CUT THE EXCESS BOLT OFF. DO THE SAME WITH PART "A".
 3. ADD THE NUMBER OF SLEEVES NEEDED FOR THE NUMBER OF LOCKS AND SLIDE THE LOCKING BAR INTO PLACE THROUGH BOTH PART "A" AND PART "B". NOW INSTALL THE LOCKS.
- *IF THE GATE HAS NO CENTER BAR IN THE GATE LEAF YOU MAY NEED TO MOUNT THE STYMILOCK VERTICALLY USING THE SAME DIMENSIONS GIVEN ON THE GATE FACE.
- *VERTICAL APPLICATION MAY ALSO BE USED ON SLIDING GATES WITH MULTIPLE LOCKS.

STYMILOCK INSTALLATION

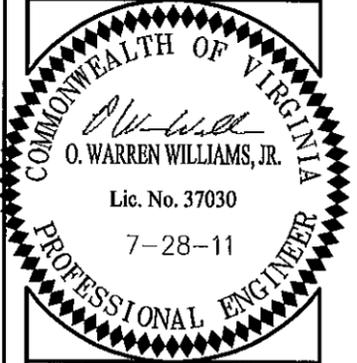


STYMILOCK CONTACT INFORMATION:
PATENT #5868015
PO BOX 1228 PINEVILLE, NC 28134
16248 MARVIN ROAD CHARLOTTE, NC 28277

Clear Signal Towers, LLC
CLEAR SIGNAL TOWERS, LLC
1801 LIBBIE AVENUE
SUITE 201
RICHMOND, VA 23226
TEL (804)951-9694
FAX (804)648-4809

WW&A
warren williams & associates
736 CARNEROS CIRCLE
HIGH POINT
NORTH CAROLINA
27285
(757) 450-2288

NO.	DATE	DESCRIPTION
1	07/28/11	ZONING DRAWINGS BY: KMB CHK: OWW APP'D: OWW
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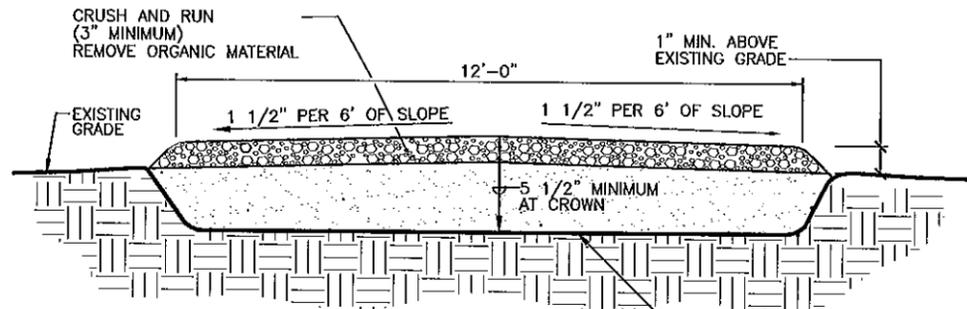


VA9030
COHASSET
RAWLAND
MONOPOLE
STATE ROUTE 650
PALMYRA, VA
22963
FLUVANNA COUNTY

DRAWN BY:	KMB
CHECKED BY:	OWW
ITV DATE:	NA
COMM NO:	VA9030

SHEET TITLE:
**FENCE NOTES AND
DETAILS**

SHEET NUMBER:
C-5



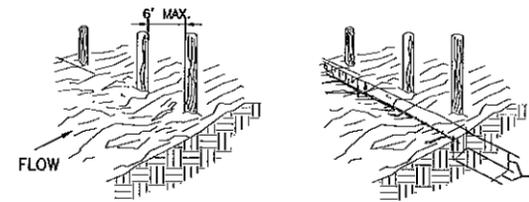
EARTH WORK SUBGRADE COMPACTION & SELECT GRANULAR FILL

- (A) CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING & GRUBBING THE CONSTRUCTION SITE AND ROADWAY AREAS. THE CONTRACTOR SHALL COMPLY WITH THE RECOMMENDATIONS CONTAINED WITHIN THE GEOTECHNICAL REPORT WHEN NECESSARY PREPARED FOR THIS SITE FOR SITE WORK PREPARATION & FOUNDATION WORK. AS A MINIMUM THE TOP 3" OF GRADE SHALL BE REMOVED. THE EXPOSED SUBGRADE COMPACTED, GEOTEXTILE FABRIC AS REQUIRED FOR UNSTABLE SOIL CONDITION.
- (B) ALL SELECT GRANULAR FILL SHALL BE COMPACTED TO A 95% COMPACTION AT A MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557 OR WITHIN PLUS OR MINUS 3% OF OPTIMUM MOISTURE CONTENT.

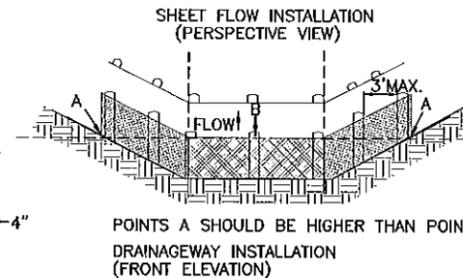
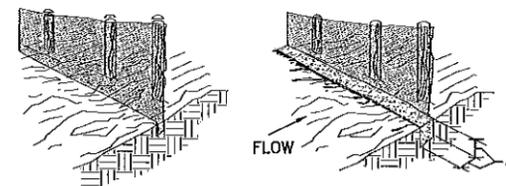
1 TYPICAL ACCESS ROAD CROSS SECTION
C-6 NOT TO SCALE

CONSTRUCTION OF A SILT FENCE (WITHOUT WIRE SUPPORT)

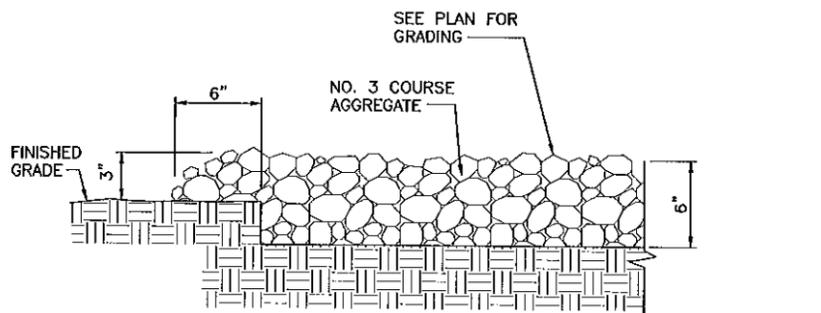
1. SET THE STAKES.
2. EXCAVATE A 4"x4" TRENCH UPSLOPE ALONG THE LINE OF STAKES.



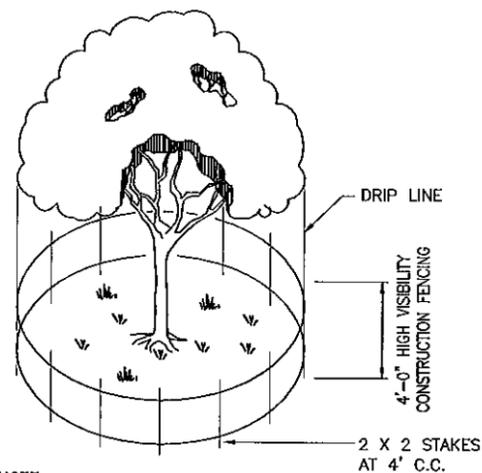
3. STAPLE FILTER MATERIAL TO STAKES AND EXTEND IT INTO THE TRENCH.
4. BACKFILL AND COMPACT THE EXCAVATED SOIL.



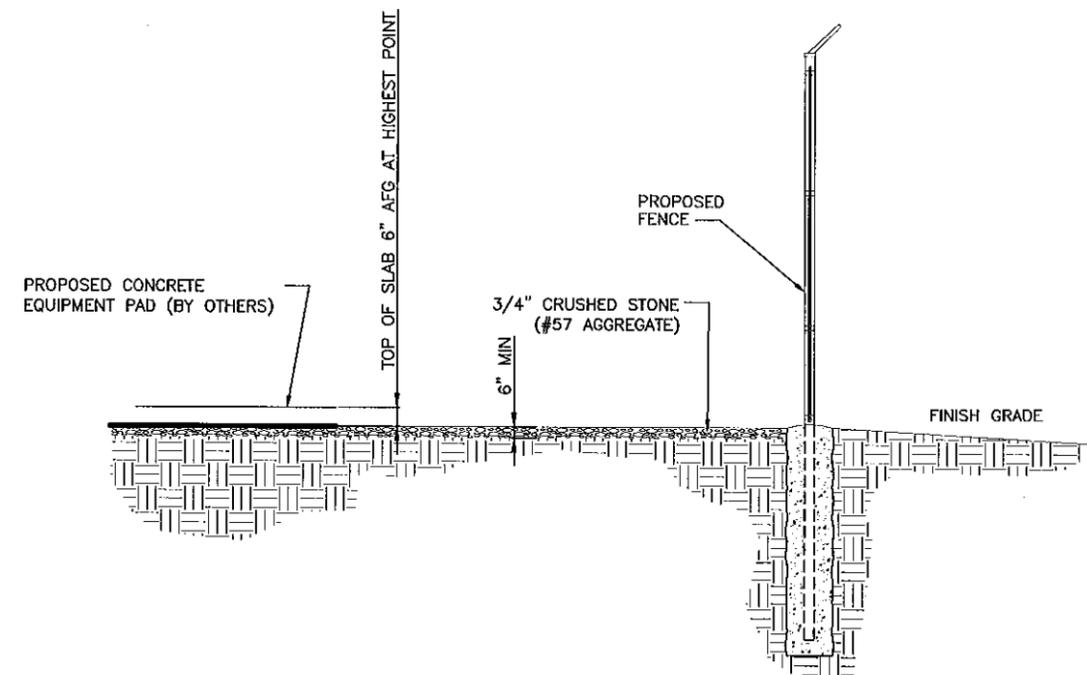
2 SILT FENCE
C-6 NOT TO SCALE



3 SECTION - GRAVEL PARKING/TURN AROUND (OUTSIDE OF FENCED COMPOUND)
C-6 NOT TO SCALE



4 TREE PROTECTION
C-6 NOT TO SCALE

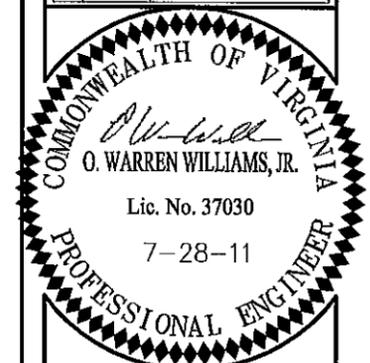


5 TYPICAL SITE COMPOUND CROSS SECTION
C-6 NOT TO SCALE

Clear Signal Towers, LLC
CLEAR SIGNAL TOWERS, LLC
1801 LIBBIE AVENUE
SUITE 201
RICHMOND, VA 23226
TEL (804)951-9694
FAX (804)648-4809

WW&A
warren williams & associates
736 CARNEROS CIRCLE
HIGH POINT
NORTH CAROLINA
27265
(757) 450-2288

NO.	
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VA9030
COHASSET
RAWLAND
MONOPOLE
STATE ROUTE 650
PALMYRA, VA
22963
FLUVANNA COUNTY

DRAWN BY:	KMB
CHECKED BY:	OWW
TTV DATE:	NA
COMM NO:	VA9030

SHEET TITLE:
CIVIL DETAILS

SHEET NUMBER:
C-6



March 7, 2012

Subject: AT& T Proposed Site – Communications Tower located on James Madison Hwy. (Tax Map 59-A-13B) ~ Fork Union, VA: FCC Compliance Letter – Site (CV439/VA9029) “Weber City”

County Planning and Consultant:

Clear Signal Towers, LLC who is representing AT&T on the above mentioned site ask that a letter be drafted stating the reason for the proposed location and not the Fluvanna County Water Tank Site. AT&T looked at the county water tank site last year when we scrubbed the area to fulfill the need for the AT&T coverage objectives in Fluvanna. The county property does not meet the needs of AT&T’s network build-out as the site is too far north and will cause dropped calls at the river. The propagation maps included in the application package show the coverage at the proposed Clear Signal Site and should clarify any questions that you may have.

Please do not hesitate to contact me with any questions or concerns regarding this project.

Sincerely,

Samuel J. Schroll

Samuel J. Schroll
RF Engineer
Solutelia /AT&T Mobility
4801 Cox Road, Suite 300
Glen Allen, Va. 23060
804-928-5571

Received

MAR 12 2012

Fluvanna County



November 7, 2011

**Subject: AT& T Proposed Site – Communications Tower located on State
Route 650 (Tax Map 50-A-3) ~ Palmyra, VA: FCC Compliance Letter
– Site (CV446/VA9030) “Cohasset”**

AT&T will comply with all FCC rules regarding interference to other radio services and
AT&T will comply with all FCC rules regarding human exposure to radio frequency
energy.

Please do not hesitate to contact me with any questions or concerns regarding this project.

Sincerely,

Samuel J. Schroll

Samuel J. Schroll
RF Engineer
Solutelia /AT&T Mobility
4801 Cox Road, Suite 300
Glen Allen, Va. 23060
804-928-5571

Memorandum

DATE: June 28, 2012
RE: APO'S for **SUP 12:04** Public Hearing Letters
TO: Allyson Finchum
FROM: Lauren Ryalls

Please be advised the attached letter went out to the attached list of Adjacent Property Owners for the **July 18, 2012** Board of Supervisors meeting.



COUNTY OF FLUVANNA

"Responsive & Responsible Government"

P.O. Box 540 Palmyra, VA 22963 (434) 591-1910 FAX (434) 591-1911 www.co.fluvanna.va.us

NOTICE OF PUBLIC HEARING

June 28, 2012

«Title» «First_Name» «Last_Name»
 «Company_Name»
 «Address_Line_1»
 «City», «State» «ZIP_Code»
 TMP# «TMP_»

Re: Public Hearing on SUP 12:04

Dear «Title» «Last_Name»«Company_Name»:

This letter is to notify you that the Fluvanna County Board of Supervisors will hold a public hearing on the above referenced item on **Wednesday, July 18, 2012** at **7:00 PM** in the Circuit Court Room at the Fluvanna County Courts Building in Palmyra, VA. The request is described as follows:

SUP 12:04 – Clear Signal Towers, LLC (Cohasset): *A request for a Special Use Permit (SUP) to allow for a 195-foot wireless communications tower with respect to 97.7 acres of Tax Map 50, Section A, Parcel 3. The property is zoned A-1 (Agricultural, General) and is located on the west side of Mountain Hill Road (Route 650) approximately 500 feet south of its intersection with West River Road (State Route 6). The property is located in the Fork Union Election District and is within the Rural Preservation Planning Area.*

The applicant or applicant's representative must be present at the Board of Supervisors meeting. The tentative agenda and staff report will also be available for review by the public in the Fluvanna County Planning and Community Development Department during working hours (8:00 a.m. – 5:00 p.m., Monday through Friday). If you have any questions, please feel free to contact me by phone at 434-591-1910 or by email at stugwell@co.fluvanna.va.us.

Sincerely,

Steve Tugwell
 Senior Planner

SUP 12-04 Adjacent Property Owners

TMP#	Owner	Address	City, State	Zip Code
50 23 2	GODETTE, PEGGY A	188 NICHOLAS AVE. APT.11	NEW YORK, NY	10026
50 A 8	HARRIS, JERRY W & MARTIN, DIANE	323 PEACEFUL LN	PALMYRA, VA	22963
50 A 6A	JACKSON, PRISCILLA A	32 PEACEFUL LN	PALMYRA, VA	22963
50 A 6	JACKSON, PRISCILLA A	32 PEACEFUL LN	PALMYRA, VA	22963
49 A 83	NEW FORESTRY LLC	3715 NORTHSIDE PKWY STE 2-500	ATLANTA, GA	30327
50 A 3A	PALMER, MAXINE L	P O BOX 521	FORK UNION, VA	23055
50 A 75B	SMITH, AUDREY	3828 MOUNTAIN HILL RD	PALMYRA, VA	22963
50 A 75A	SMITH, AUDREY	3828 MOUNTAIN HILL RD	PALMYRA, VA	22963
50 23 3	SMITH, AUDREY L	3828 MOUNTAIN HILL RD	PALMYRA, VA	22963
50 23 1	SMITH, THOMAS M.	3590 MOUNTAIN HILL RD	PALMYRA, VA	22963
50 A 3	SNODDY, MARGARET M	745 TARA LANE	SCOTTSVILLE, VA	24590
50 A 7	WHITE, EDWARD & CORNELIA	82 PEACEFUL LN	PALMYRA, VA	22963
50 A 166	WHITE, F.F.	P O BOX 95	BREMO BLUFF, VA	23022
50 A 2	WHITE, F.F.	PO BOX 95	BREMO BLUFF, VA	23022
50 A 9	WHITE, JOHN E	74 UNION CHURCH RD	PALMYRA, VA	22963
50 A 9A	WHITE, LESLIE A	141 PEACEFUL LN	PALMYRA, VA	22963



Scale: 1:9027.977411

Date: 06/18/2012

Printed By:

Under Virginia State Law, these real estate assessment records are public information. Display of this property information on the internet is specifically authorized by the Code of Virginia §58.1-3122.2(as amended).



View from 3277 Rt 650

VA9030 Cohasset, State Route 650, Palmyra, VA



Proposed 195'
Monopole

View from New Fork Church Ln
VA9030 Cohasset, State Route 650, Palmyra, VA



Proposed 195'
Monopole

View from Mountain Hill Rd at access road
VA9030 Cohasset, State Route 650, Palmyra, VA

Proposed 195'
Monopole (not
visible)



View from Int. of Mountain Hill Rd & W River Rd (not visible)
VA9030 Cohasset, State Route 650, Palmyra, VA



Proposed 195'
Monopole

View from Austin Powder Co.

VA9030 Cohasset, State Route 650, Palmyra, VA



Clear Signal Towers, LLC



Proposed 195'
Monopole

View from W River Rd, east of Mountain Hill Rd
VA9030 Cohasset, State Route 650, Palmyra, VA

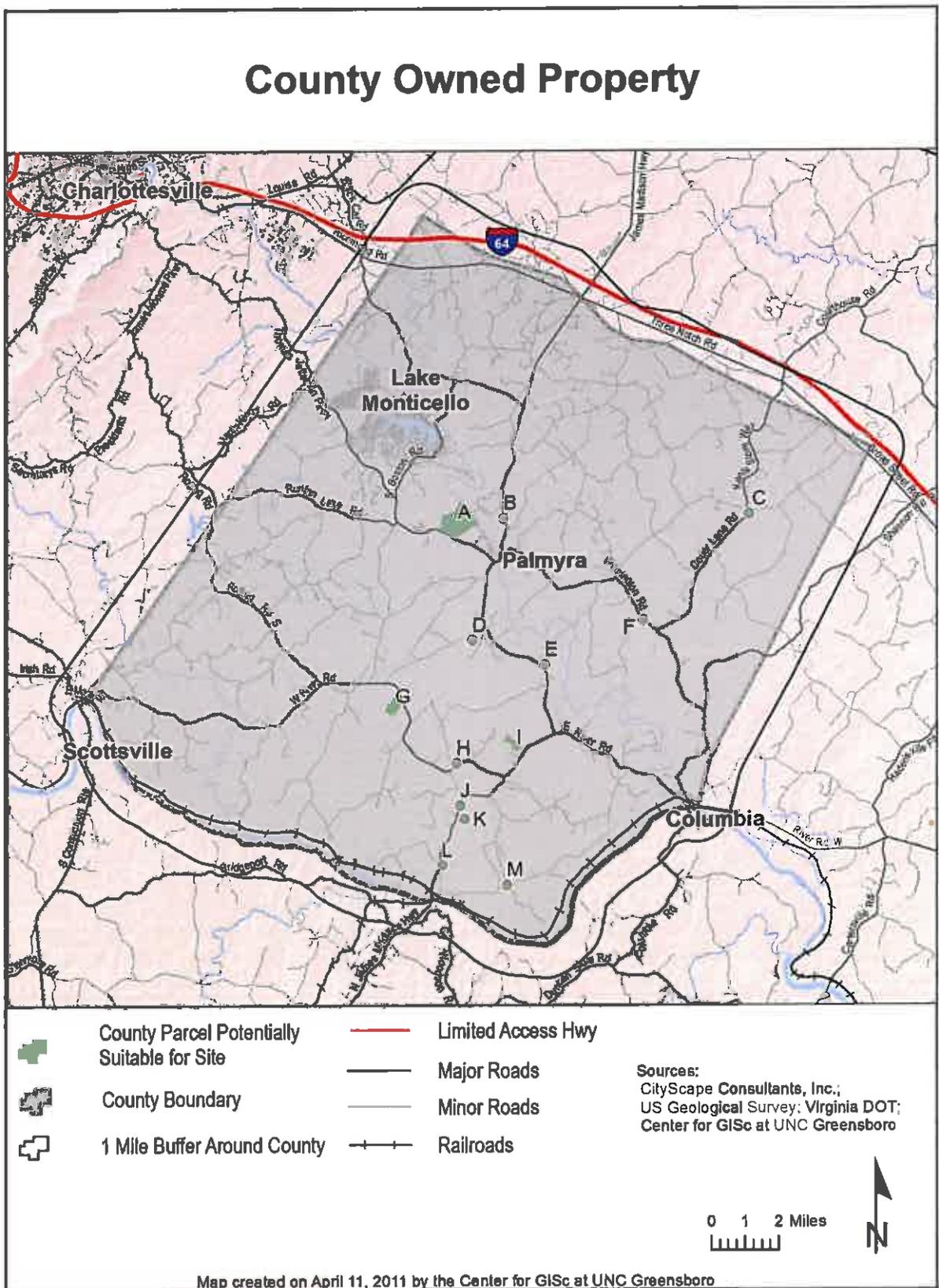


Figure 42: County-owned lands



Engineering Offices
10704 Elmbrook Court
Raleigh, North Carolina 27614
Phone: 919-845-6700 • Cell: 919-917-8888

June 20, 2012

Mr. Steven Tugwell
Planning and Zoning
Fluvanna County
132 Main Street
Palmyra, Virginia 22963

RE: AT&T Wireless Application
Cohasset Site # 446

Dear Mr. Tugwell,

This is to confirm that CityScape Consultants, as the wireless telecommunications consultant for the County did confirm that the above mentioned request for new facilities did include consideration of Fluvanna County property. In addition there was consideration of any State of Virginia or Federal Government property should there be any such land within an area that would, in our opinion, be usable for the Applicant's needs. Two specific Fluvanna County locations were within a reasonable proximity to the Applicant's search ring and the proposed new site. They are identified in the Fluvanna County Telecommunications Facility Master Plan as Site Location G, and Site Location H.

It was our findings that neither site was within the search ring of the Applicant. That by itself is not sufficient to dismiss any location from consideration but is one of the criteria. Other considerations that were more important include the necessary service area projected for the Applicant to meet their obligation under the federal mandate. Based on the terrain and the tower elevation specifications of the County neither location would meet proper technical requirements.

Should you have any questions or comments, please let me know

Respectfully submitted,

A handwritten signature in black ink, appearing to read "R. Edwards", with a long horizontal flourish extending to the right.

Richard L. Edwards
CityScape Consultants, Inc.

Existing Antenna Locations

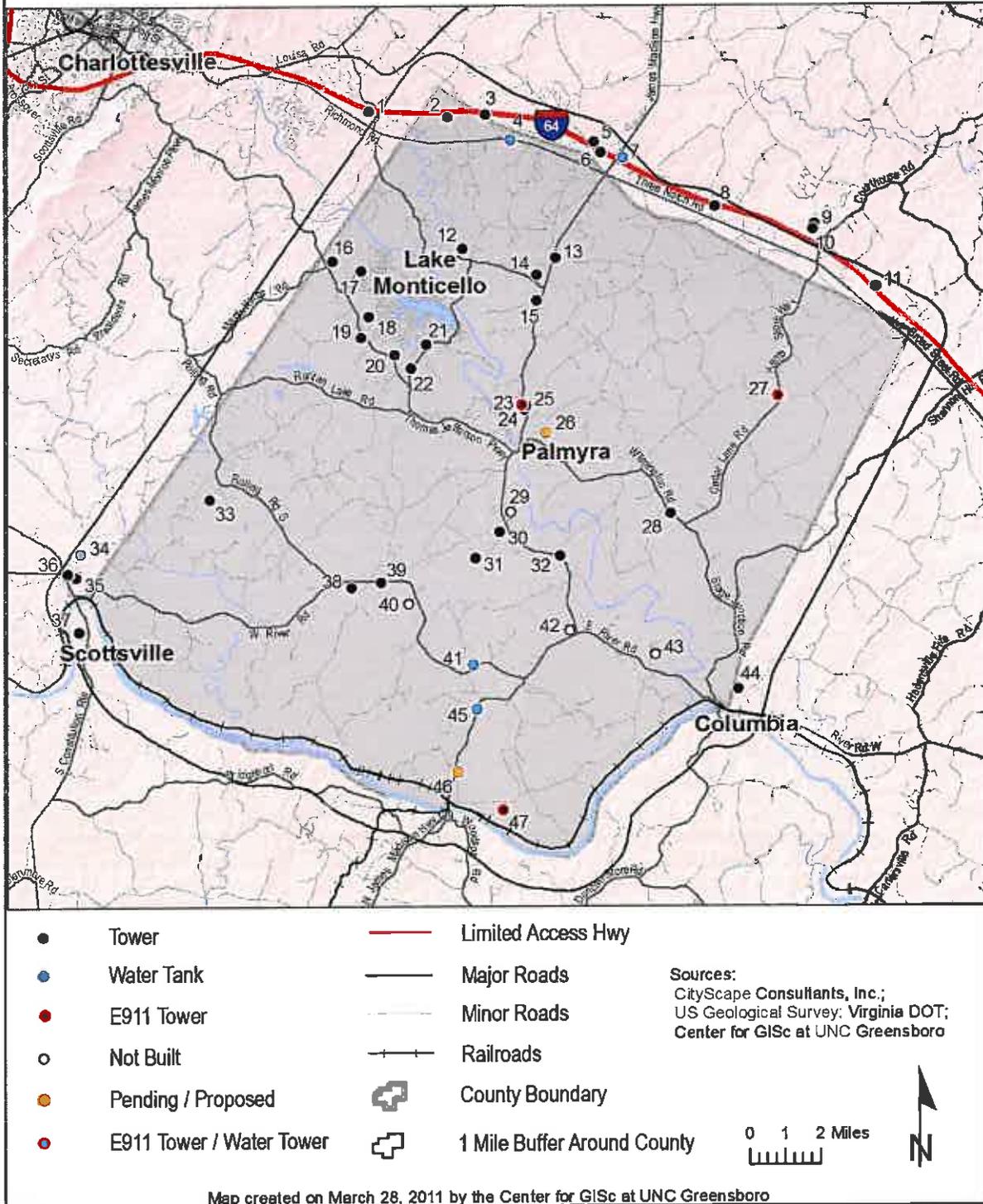


Figure 41: Existing Wireless Telecommunications Inventory



COUNTY OF FLUVANNA

"Responsive & Responsible Government"

P.O. Box 540 Palmyra, VA 22963 (434) 591-1910 FAX (434) 591-1911 www.co.fluvanna.va.us

May 11, 2012

Clear Signal Towers, LLC
1801 Libbie Avenue, Suite 201
Richmond, VA 23226

Delivered via mail

Re: TRC comments SUP 12:04 (Clear Signal Towers, LLC: Cohasset) Construct 195' telecomm monopole, Tax Map: 50-A-3

Dear Applicant:

The following comments are the result of the Technical Review Committee meeting.

1. The Health Dept. stated that the property does not contain any buildings, water or sewage systems;
2. Central Virginia Electric Cooperative stated that power supply is not an issue at this site;
3. Planning staff stated that the consultant's report was forthcoming and their comments would be part of the staff report;
4. VDOT stated that an entrance permit will be required, and the entrance may need to be upgraded.

Please provide any other materials or documentation that is to be included in the Planning Commission packet by **Friday, May 25, 2012**. Submitting revisions by this deadline will place your request on the **June 27, 2012** Planning Commission agenda.

If you have any questions or need additional information, please contact me at 434-591-1910.

Sincerely,

Steve Tugwell
Senior Planner
Dept. of Planning & Community Development

Cc: Margaret Snoddy, 745 Tara Lane, Scottsville, VA 24590



Consultants, Inc.

7050 W. Palmetto Park Road #15-652
Boca Raton, FL 33433-3483
Phone: 877-438-2851 • Fax: 877-220-4593

Telecommunications Site Review Virginia New Structure

May 9, 2012

Mr. Steven Tugwell
Planning and Zoning
Fluvanna County
132 Main Street
Palmyra, Virginia 22963

RE: AT&T Mobility Application Cohasset 446

Dear Mr. Tugwell,

At your request on behalf of Fluvanna County, Virginia, CityScape Consultants Inc., in its capacity as telecommunications consultant for the County, has considered the merits of an application submitted by AT&T Wireless ("AT&T") and Clear Signal International ("Clear"), to construct a new one hundred ninety-five (195) foot monopole type tower to include a four (4) foot top mounted lightning rod, as an antenna support structure. AT&T is actively upgrading their facilities throughout the State of Virginia and other areas in the southeast United States. Other carriers such as U.S. Cellular, T-Mobile and Verizon are doing much the same. This proposed new construction will allow AT&T to improve service along US-15. The new facility will expedite AT&T to bring new 3G (Third Generation) and 4G (Fourth Generation) electronic communication capabilities. Currently AT&T has limited facilities within Central Virginia. The proposed support structure is to be owned by Clear Signal Towers and will be located on property owned by Margaret M. Snoddy. The proposed new facility will be located on State Road 650 near Palmyra in Fluvanna County, Virginia, see *figure 1*.

AT&T is proposing to top mount their antennas at the one hundred ninety-five (195)-foot level, using a single coaxial cable for each antenna. AT&T plans to install a new prefabricated shelter mounted on a new concrete foundation near the base of the tower, see *figure 2*. The Applicant has stated that the facility will be constructed to accommodate a total of four (4) antenna arrays which is contrary with Fluvanna County code, see *figure 3*. A new tower of this height must accommodate a total of six (6) antenna arrays.

All wireless communications systems depend on the concept of frequency resource reuse to achieve greater capacities. With some technologies, the individual channel frequencies are reused every few cells, but not too closely, since interference would result. In many other systems, power from one base station interferes with other base stations, impacting network capacity. Therefore, it is undesirable for wireless phones to communicate with more than a few base stations simultaneously.

A reasonable search area location is a key element in assuring that a site is justified. Generally, new wireless communication facilities are equally spaced with respect to existing sites. However, terrain, network capacity and other issues may necessitate a facility that it is *not* equally spaced with respect to existing sites. Typically the wireless provider is asked to provide a frequency grid or coverage predictions to indicate that a site is properly located.

Specifically, the undersigned has evaluated AT&T's proposal from the following perspectives:

1. The proposed facility is required due to technological reasons and is essential for the Applicant to provide telecommunications services, and,
2. The proposed new site was selected as reasonably within the targeted area and therefore acceptable within the AT&T Network design specifications. The Applicant has followed the guidelines of the Telecommunications Act of 1996, the State of Virginia and the Fluvanna County Ordinance.

The Applicant did not follow all guidelines. The required changes are reflected within the conditions of approval.

All designs and plans for the proposed new facilities were developed according to accepted practices of RF propagation engineering and the persons completing all work are sufficiently qualified within their disciplines.

Figure 4 represents the current service for AT&T at this location. *Figure 5* indicates the Applicant's predicted new service for this phase of Network deployment in Fluvanna County. CityScape anticipates this plan, if built as designed, should be sufficient to allow an improvement of regular cellular service to AT&T customers, in addition the proposed changes will increase the ability for citizens to utilize higher speed internet. Properly locating the site will justify the proposed construction of a new support structure.

The Applicant supplied a letter of compliance with all FCC standards regarding human exposure to Radio Frequency energy, and the Applicants will comply with all aspects of FCC rules regarding interference, see *figure 6*. CityScape is aware that this facility will operate in both the 800-megahertz and 1900-megahertz spectrum and could be an interference concern to Public Safety operations.

For the reasons listed below, it is our opinion that:

- ◆ The proposed facility is required because of generally accepted and adequately demonstrated technological reasons and is essential in order for AT&T to provide satisfactory existing communications service, to alleviate a signal coverage issue; and
 - ◆ AT&T's submissions indicate there is a substantial service void in the general area surrounding the subject site and that the addition of new service at a height of 195 feet will help relieve these concerns. Therefore the proposed location will sufficiently accomplish satisfactory service, and there are no reasonable alternative technologies to accommodate the Applicant's needs without the construction of a new facility; and,
 - ◆ The proposed new site is supported by the Fluvanna County Telecommunications Master Plan
-

AT&T Mobility
Clear Signal Towers
Cohasset Site
Fluvanna County, Virginia
May 9, 2012
Page 3

CityScape
Consultants, Inc.
Telecommunications Site Review
New Structure

The Applicant submitted photo simulations which are attached as Exhibits.

The site will be designed and constructed by professionals with expertise in the disciplines of maximizing the use of telecommunications facilities and construction. This practice corresponds with the desires of Fluvanna County.

Upon review and discussions with the Applicant, CityScape confirms a new support structure is required not only for proposed new AT&T equipment but will be needed for additional wireless carriers in the near future. Therefore, CityScape recommends this application with the tower height of 195 feet be approved with the following conditions:

That the Applicant;

1. Confirms the new support structure will be capable of supporting a total of six (6) antenna arrays, in compliance with EIA/TIA 222-G; and,
2. The proposed new tower shall accommodate no less than six (6) different wireless service provider's antenna arrays all of the same general design; and,
3. The Applicant shall expand the ground compound to accommodate up to six (6) different wireless service provider's ground mounted electronic equipment; and,
4. The Applicant obtain all necessary County permits prior to any work on the site; and,
5. All access ports shall be sufficiently sealed to prevent infiltration or habitation by any type of wildlife; and,
6. The facility shall be protected from access from unauthorized personnel both during construction and during all periods of operation.

Respectfully submitted,



Richard L. Edwards
FCC Licensed
PCIA Certified
CityScape Consultants, Inc.

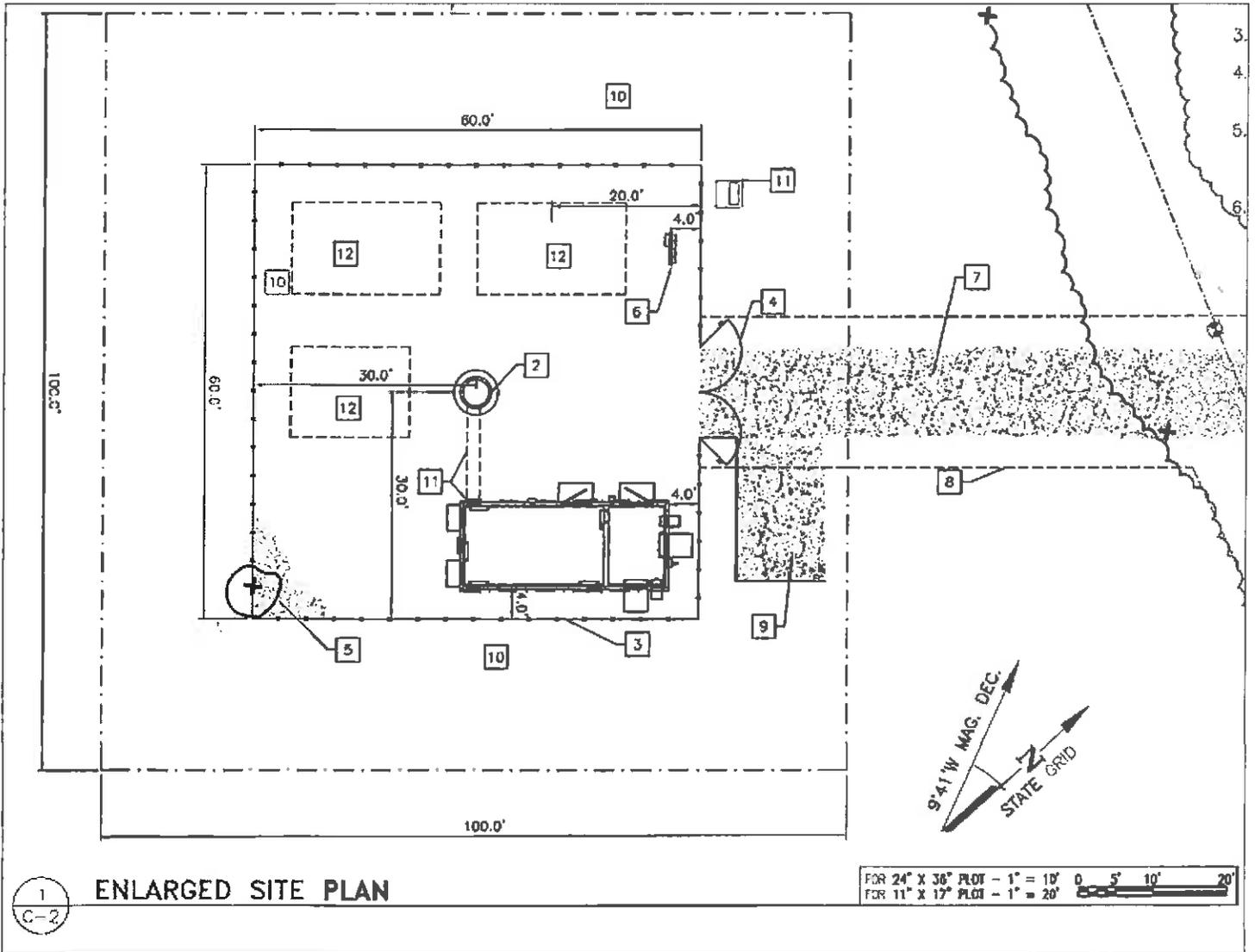


Figure 2. Proposed Ground Compound

AT&T Mobility
Clear Signal Towers
Cohasset Site
Fluvanna County, Virginia
May 9, 2012
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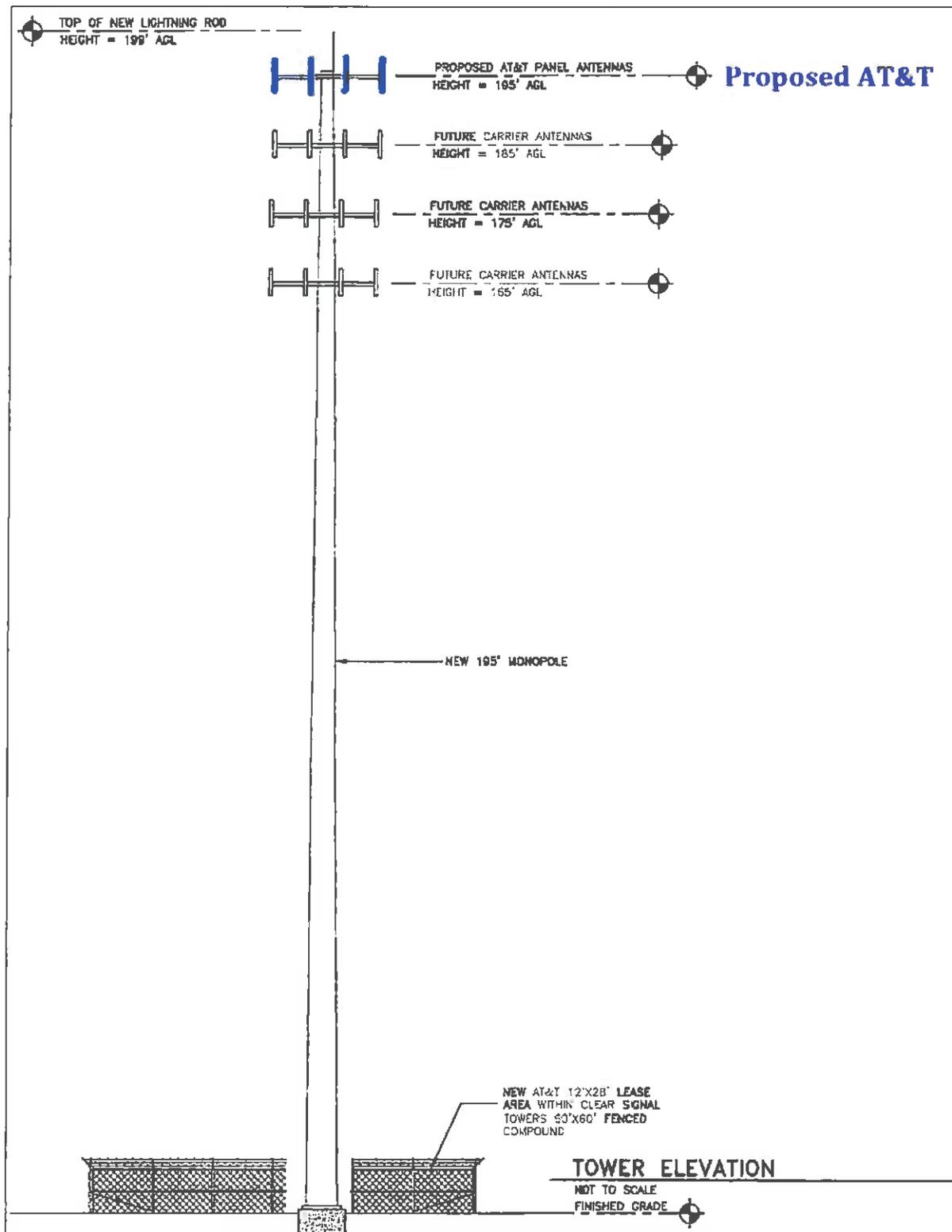


Figure 3. Proposed Tower Elevation

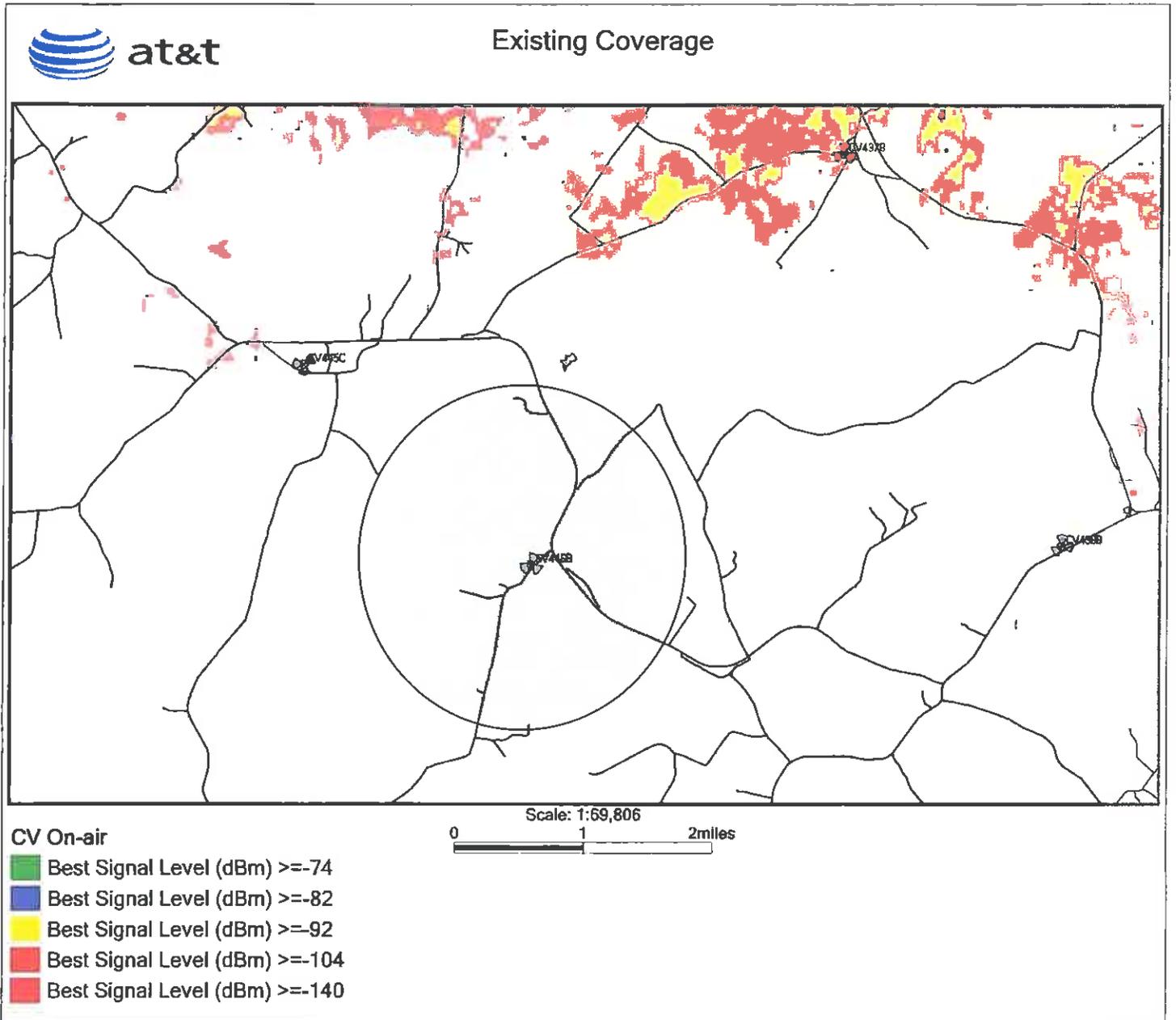


Figure 4. Current Service (Gray Indicates Target Area)

AT&T Mobility
Clear Signal Towers
Cohasset Site
Fluvanna County, Virginia
May 9, 2012
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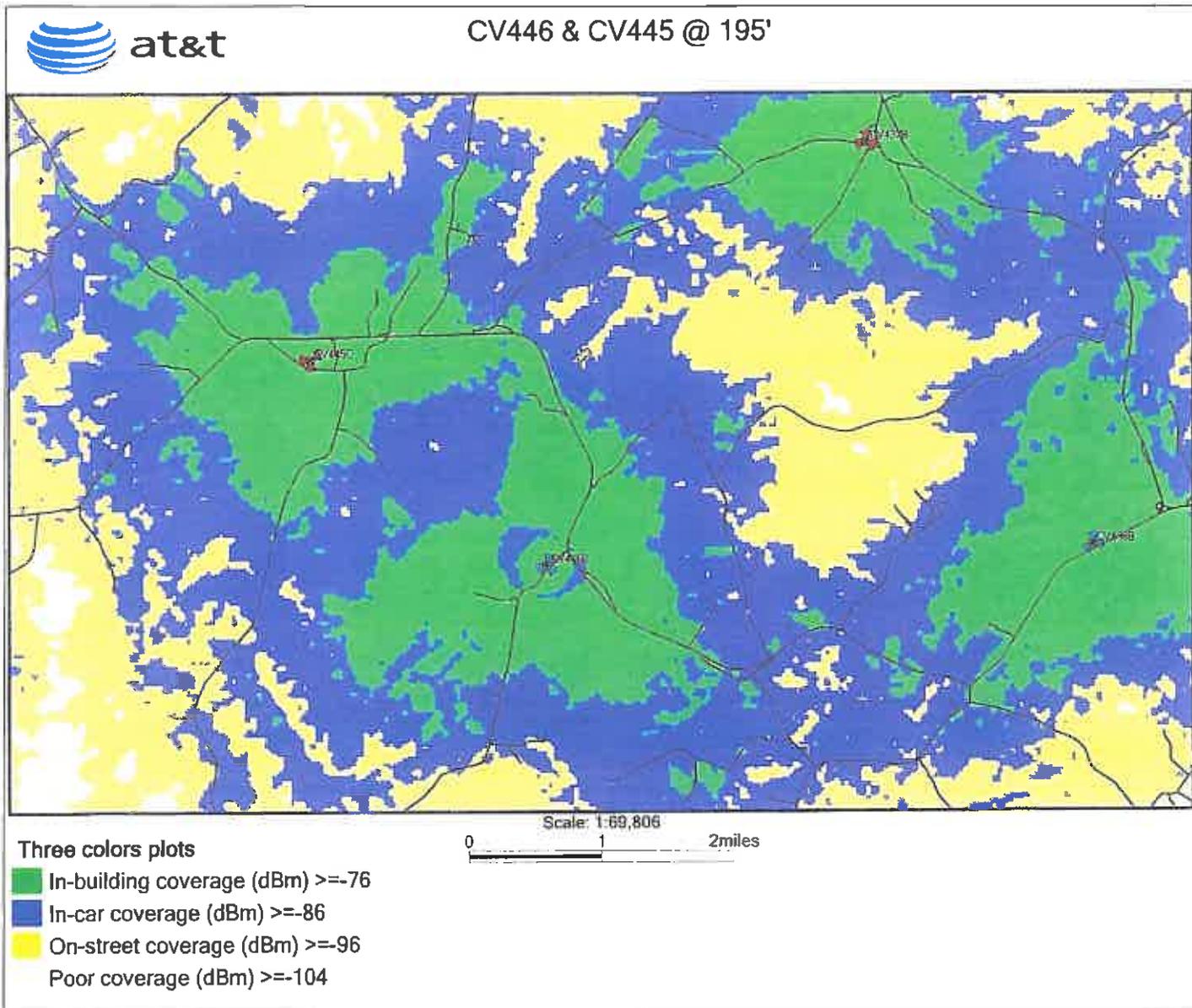


Figure 5. Projected New Service



November 7, 2011

**AT& T Proposed Site – Communications Tower located on State
Route 650 (Tax Map 50-A-3) ~ Palmyra, VA: FCC Compliance Letter
– Site (CV446/VA9030) “Cohasset”**

AT&T will comply that the search ring submitted in this application is the same ring that will be utilized for the site.

Please do not hesitate to contact me with any questions or concerns regarding this project.

Sincerely,

Samuel J. Schroll

Samuel J. Schroll
RF Engineer
Solutelia /AT&T Mobility
4801 Cox Road, Suite 300
Glen Allen, Va. 23060
804-928-5571

Figure 6. Human Exposure and Interference Compliance Statements



COUNTY OF FLUVANNA

"Responsive & Responsible Government"

P.O. Box 540
 Palmyra, VA 22963
 (434) 591-1910
 FAX (434) 591-1911
www.co.fluvanna.va.us

Staff Report

To: Fluvanna County Board of Supervisors

From: Andrew J. Pompei, Planner

Case Number: AFD 02:03 (Riverside AFD: 2012 Review)

General Information: The Board of Supervisors will review the Riverside AFD on Wednesday, July 18, 2012 at 7:00 PM in the Circuit Courtroom of the Fluvanna County Courts Building to determine whether or not the district should be renewed, modified, or terminated prior to its review date, which is August 7, 2012.

Location: Properties within the Riverside AFD are located along, or in close proximity to, State Route 656 (Bremo Road) (Attachment A).

Zoning: All properties are zoned A-1 (Agricultural, General)

Land Use Designation: Rural Preservation (519.526 acres; 94% of Riverside AFD)
 Rural Residential (33.0 acres; 6% of Riverside AFD)

Preliminary Review

The Riverside Agricultural and Forestal District (AFD) is located in the southeastern part of the county, near the James River between Bremo Bluff and Columbia. All of the properties are along or near State Route 656 (Bremo Road). Eighteen (18) parcels are enrolled in the Riverside AFD; the total area of the district is 552.526 acres. Most of the district (519.526 acres) is designated as "Rural Preservation" within the 2009 Comprehensive Plan; the remainder (33 acres) is designated as "Rural Residential." These areas are intended to be the least-developed portions of the county.

The Riverside AFD must be reviewed on or before August 7, 2012, ten (10) years after its creation. Per County Code (Sec. 3.1-10), the Board of Supervisors must review each AFD "at least ninety (90) days before the expiration date of the period established when the district was created." As part of the review process, the Board of Supervisors must consider the recommendations of the AFD Advisory Committee and the Planning Commission as to whether or not the AFD under review should be renewed, modified, or terminated.

On May 7, 2012, letters were sent to all property owners enrolled within the Riverside AFD, asking them whether or not they would like their parcels to remain within the AFD (Table 1). During the review period, land within the AFD may be withdrawn at the owner's discretion without penalty; the owner must provide written notice to the Board of Supervisors before it makes a decision regarding the district's continuation (Sec. 3.1-10).

Table 1: Responses from Property Owners within the Riverside AFD

Owner's Name	Tax Map Number	Acreage	Received Response (as of June 5, 2012)	Response
Alexander, Bevin R.	60 (A) 10	196.199	X	Withdrawal
Alexander, Bevin R.	60 (A) 34	2.000	X	Withdrawal
Alexander, Bevin R.	60 (A) 35	3.000	X	Withdrawal
Alexander, Bevin R.	60 (3) 1	3.600	X	Withdrawal
Alexander, Bevin R.	60 (3) 2	6.700	X	Withdrawal
Alexander, Bevin R.	60 (3) 3	3.600	X	Withdrawal
Brookman, Dorothy	60 (A) 31	14.101	X	Withdrawal
Brookman, Dorothy D.	60 (A) 32	46.000	X	Withdrawal
Brookman, Dorothy	60 (A) 33	38.000	X	Withdrawal
Eaton, Richard R. & E. Pauline	60 (7) 8	11.000		No Response
Poore, Thomas E. & Shirley H.	60 (A) 16A	6.240	X	Withdrawal
Poore, Thomas E. & Shirley H.	60 (A) 17A	23.943	X	Withdrawal
Poore, Thomas E. & Shirley H.	60 (A) 17B	16.000	X	Withdrawal
Poore, Thomas E. & Shirley H.	60 (A) 18	21.000	X	Withdrawal
Quillon, Adam Scott, ET UX	60 (A) 21C	13.913		No Response
White, F.F.	60 (A) 21	125.230	X	Remain in AFD
White, F.F.	60 (A) 21D	2.000	X	Remain in AFD
White, Robert M.	60 (7) 9	20.000		No Response
Total	N/A	552.526	15/18 parcels	13 Withdrawals 2 Remain in AFD 3 No Response

Responses have been received regarding 15 of the 18 parcels currently enrolled within the Riverside AFD (Attachment B). The owners of 13 properties asked that their parcels be removed from the AFD program; the owners of two (2) properties asked that their parcels remain in the district. If no response is received, it is assumed that the landowner wants his properties to remain within the AFD. Based on the responses that have been received thus far, **the Riverside AFD does not meet the size requirements set forth in Sec. 3.1-4 of the Fluvanna County Code.** With these property withdrawals, the district does not have a core of 200 acres in one parcel or in contiguous parcels.

Property owners were contacted and asked why they were withdrawing their properties from the AFD program. Below is a summary of the responses received to date:

- One property owner stated that he and his neighbors did not feel that the AFD program provided significant financial benefits.
- One property owner stated that, due to her age, she wanted to have the flexibility to divide and sell portions of her property if she, due to unexpected circumstances, needed additional income.
- All property owners that responded said they are interested in keeping the area undeveloped and rural.

Agricultural & Forestal District (AFD) Advisory Committee

The Agricultural and Forestal District (AFD) Advisory Committee reviewed this request at its meeting on Wednesday, June 13. The AFD Advisory Committee recommended that the Riverside Agricultural and Forestal District **be terminated** following the review date on August 7, 2012, since the district no longer meets the minimum size requirements set forth in Sec. 3.1-4 of the Fluvanna County Code (Vote: 7-0; Barnes Absent).

In a related motion, the AFD Advisory Committee recommended that the Board of Supervisors waive the application fees for property owners that want to remain in the AFD program, if their district is terminated for not meeting the minimum size requirements. Interested property owners would apply to re-enroll within the AFD Program; if approved, their properties would become part of an active AFD. The Committee suggested that the application fees only be waived for property owners that apply within six (6) months of the district's termination.

Planning Commission

The Planning Commission recommended that the Riverside Agricultural and Forestal District **be terminated** following the review date on August 7, 2012, since the district no longer meets the minimum size requirements set forth in Sec. 3.1-4 of the Fluvanna County Code (Vote 4-0; Halstead absent).

No members of the public spoke regarding this issue.

Next Steps

The Board of Supervisors must hold a public hearing and vote on the district's continuation, modification, or termination.

Recommended Motion

I move to recommend that the Riverside Agricultural and Forestal District **be terminated** following the review date on August 7, 2012, since the district no longer meets the minimum size requirements set forth in Sec. 3.1-4 of the Fluvanna County Code.

Attachments

A: Map of Riverside AFD

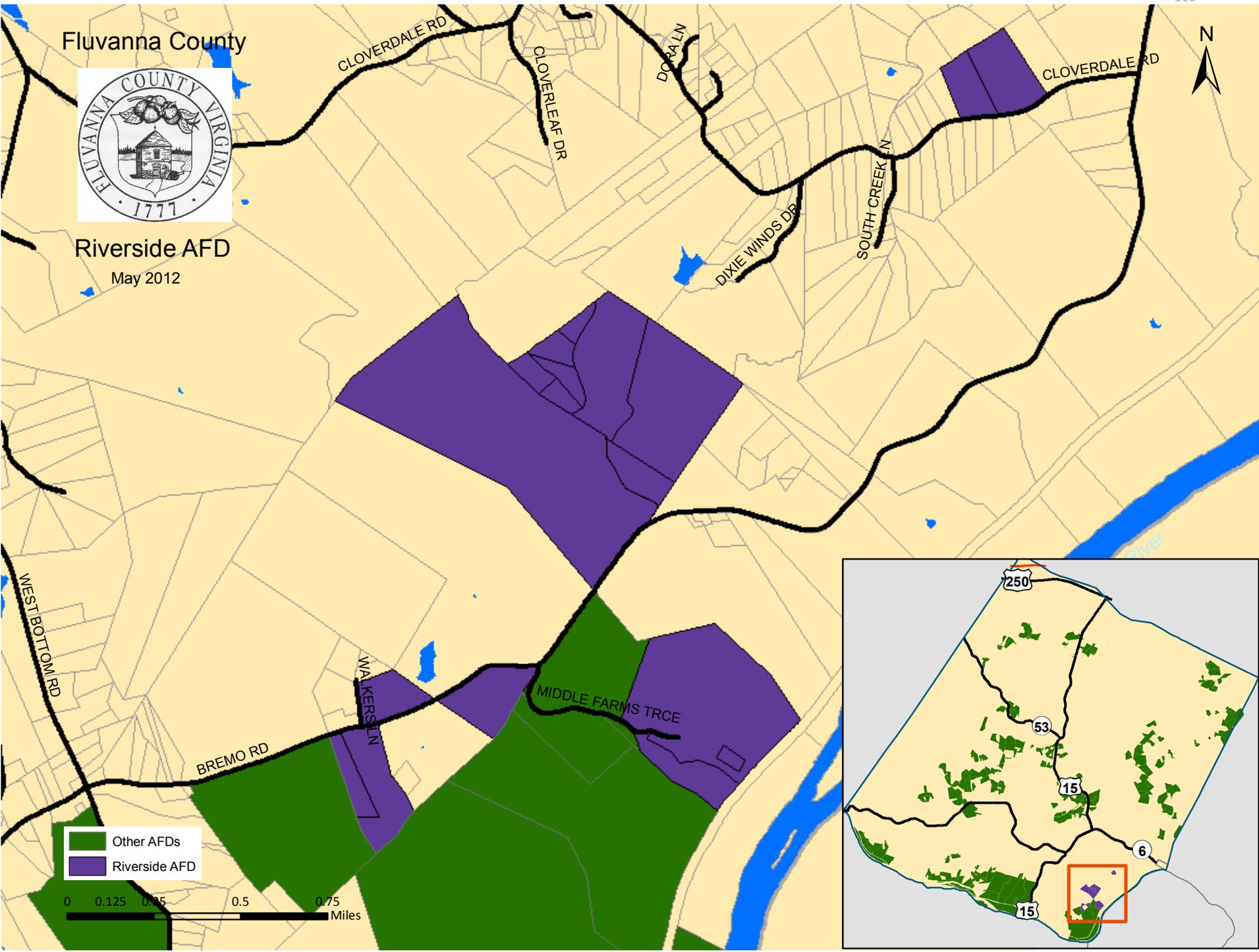
B: Responses Received from Property Owners

Fluvanna County

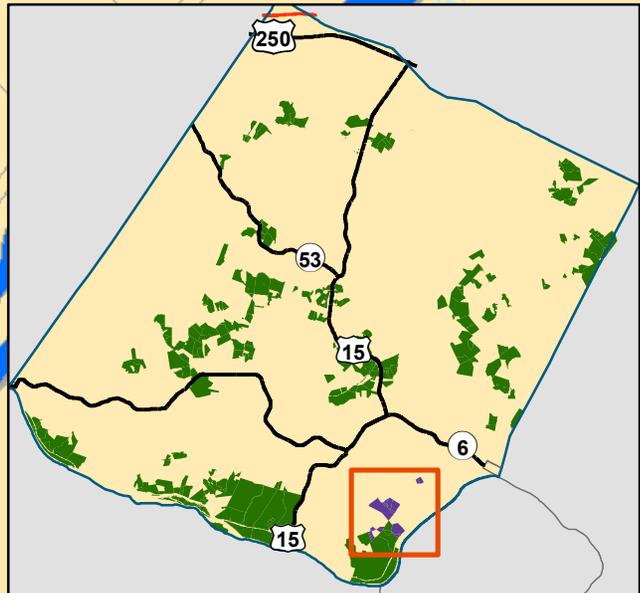


Riverside AFD

May 2012



Other AFDs
 Riverside AFD



Alexander, Bevin R.
4377 Bremo Bluff Rd
Bremo Bluff, VA 23022

Tax Map and Parcel Numbers Affected: 60 (3) 3/ 3.6 acre(s)

Yes, I would like for these parcel(s) to remain in the agricultural and forestal district.

No, I do not want these parcel(s) to remain in the agricultural and forestal district.

Bevin R Alexander

Owner's Signature

(Please note that all property owners of record must sign this form.)

Alexander, Bevin R.
4377 Bremo Bluff Rd
Bremo Bluff, VA 23022

Tax Map and Parcel Numbers Affected: 60 (3) 2/ 6.7 acre(s)

- Yes, I would like for these parcel(s) to remain in the agricultural and forestal district.
- No, I do not want these parcel(s) to remain in the agricultural and forestal district.

Bevin R Alexander
Owner's Signature

Owner's Signature

Owner's Signature

Owner's Signature

Owner's Signature

(Please note that all property owners of record must sign this form.)

Alexander, Bevin R.
4377 Bremono Bluff Rd
Bremono Bluff, VA 23022

Tax Map and Parcel Numbers Affected: 60 (3) 1/ 3.6 acre(s)

- Yes, I would like for these parcel(s) to remain in the agricultural and forestal district.
- No, I do not want these parcel(s) to remain in the agricultural and forestal district.

Bevin R Alexander

Owner's Signature

(Please note that all property owners of record must sign this form.)

Alexander, Bevin R.
4377 Bremo Bluff Rd
Bremo Bluff, VA 23022

Tax Map and Parcel Numbers Affected: 60 (A) 35/ 3 acre(s)

Yes, I would like for these parcel(s) to remain in the agricultural and forestal district.

No, I do not want these parcel(s) to remain in the agricultural and forestal district.

Bevin R Alexander

Owner's Signature

(Please note that all property owners of record must sign this form.)

Alexander, Bevin R.
4377 Bremo Bluff Rd
Bremo Bluff, VA 23022

Tax Map and Parcel Numbers Affected: 60 (A) 34/ 2 acre(s)

- Yes, I would like for these parcel(s) to remain in the agricultural and forestal district.
- No, I do not want these parcel(s) to remain in the agricultural and forestal district.

Bevin R Alexander
Owner's Signature

Owner's Signature

Owner's Signature

Owner's Signature

Owner's Signature

(Please note that all property owners of record must sign this form.)

Alexander, Bevin R.
4377 Bremo Bluff Rd
Bremo Bluff, VA 23022

Tax Map and Parcel Numbers Affected: 60 (A) 10/ 196.199 acre(s)

Yes, I would like for these parcel(s) to remain in the agricultural and forestal district.

No, I do not want these parcel(s) to remain in the agricultural and forestal district.

Bevin R Alexander

Owner's Signature

(Please note that all property owners of record must sign this form.)

Brookman, Dorothy
4621 Bremo Bluff Rd
Bremo Bluff, VA 23022

Tax Map and Parcel Numbers Affected: 60 (A) 33/ 38 acre(s)

Yes, I would like for these parcel(s) to remain in the agricultural and forestal district.

No, I do not want these parcel(s) to remain in the agricultural and forestal district.

Dorothy D. Brookman 5-9-12
Owner's Signature

Owner's Signature

Owner's Signature

Owner's Signature

Owner's Signature

(Please note that all property owners of record must sign this form.)

Brookman, Dorothy D.
4621 Bremo Bluff Rd
Bremo Bluff, VA 23022

Tax Map and Parcel Numbers Affected: 60 (A) 32/ 46 acre(s)

Yes, I would like for these parcel(s) to remain in the agricultural and forestal district.

No, I do not want these parcel(s) to remain in the agricultural and forestal district.

Dorothy D. Brookman 5-9-12
Owner's Signature

Owner's Signature

Owner's Signature

Owner's Signature

Owner's Signature

(Please note that all property owners of record must sign this form.)

Brookman, Dorothy
4621 Bremo Bluff Rd
Bremo Bluff, VA 23022

Tax Map and Parcel Numbers Affected: 60 (A) 31/ 14.101 acre(s)

Yes, I would like for these parcel(s) to remain in the agricultural and forestal district.

No, I do not want these parcel(s) to remain in the agricultural and forestal district.

Dorothy B. Brookman 5-9-2012
Owner's Signature

Owner's Signature

Owner's Signature

Owner's Signature

Owner's Signature

(Please note that all property owners of record must sign this form.)

Poore, Thomas E. & Shirley H.
3456 Bremono Bluff Rd
Bremono Bluff, VA 23022

Tax Map and Parcel Numbers Affected: 60 (A) 16A/ 6.24 acre(s)

Yes, I would like for these parcel(s) to remain in the agricultural and forestal district.

No, I do not want these parcel(s) to remain in the agricultural and forestal district.

Thomas E Poore
Owner's Signature

Shirley H Poore
Owner's Signature

Owner's Signature

Owner's Signature

Owner's Signature

(Please note that all property owners of record must sign this form.)

Poore, Thomas E. & Shirley H.
3456 Bremo Bluff Rd
Bremo Bluff, VA 23022

Tax Map and Parcel Numbers Affected: 60 (A) 17A/ 23.943 acre(s)

Yes, I would like for these parcel(s) to remain in the agricultural and forestal district.

No, I do not want these parcel(s) to remain in the agricultural and forestal district.

Thomas E Poore
Owner's Signature

Shirley H. Poore
Owner's Signature

Owner's Signature

Owner's Signature

Owner's Signature

(Please note that all property owners of record must sign this form.)

Poore, Thomas E. & Shirley H.
3456 Bremo Bluff Rd
Bremo Bluff, VA 23022

Tax Map and Parcel Numbers Affected: 60 (A) 17B/ 16 acre(s)

Yes, I would like for these parcel(s) to remain in the agricultural and forestal district.

No, I do not want these parcel(s) to remain in the agricultural and forestal district.

Thomas E Poore
Owner's Signature

Shirley H Poore
Owner's Signature

Owner's Signature

Owner's Signature

Owner's Signature

(Please note that all property owners of record must sign this form.)

Poore, Thomas E. & Shirley H.
3456 Bremo Bluff Rd
Bremo Bluff, VA 23022

Tax Map and Parcel Numbers Affected: 60 (A) 18/ 21 acre(s)

Yes, I would like for these parcel(s) to remain in the agricultural and forestal district.

No, I do not want these parcel(s) to remain in the agricultural and forestal district.

Thomas E. Poore
Owner's Signature

Shirley H. Poore
Owner's Signature

Owner's Signature

Owner's Signature

Owner's Signature

(Please note that all property owners of record must sign this form.)

White, F.F.
P.O. Box 95
Bremo Bluff, VA 23022

Tax Map and Parcel Numbers Affected: 60 (A) 21/ 125.23 acre(s)

Yes, I would like for these parcel(s) to remain in the agricultural and forestal district.

No, I do not want these parcel(s) to remain in the agricultural and forestal district.

Owner's Signature

Alison Umstead

Owner's Signature

Owner's Signature

Owner's Signature

Owner's Signature

(Please note that all property owners of record must sign this form.)

White, F.F.
P.O. Box 95
Bremo Bluff, VA 23022

Tax Map and Parcel Numbers Affected: 60 (A) 21D/ 2 acre(s)

Yes, I would like for these parcel(s) to remain in the agricultural and forestal district.

No, I do not want these parcel(s) to remain in the agricultural and forestal district.

Owner's Signature

Alison Unstall
Owner's Signature

Owner's Signature

Owner's Signature

Owner's Signature

(Please note that all property owners of record must sign this form.)

BOARD OF SUPERVISORS AGENDA ITEM

Meeting Date: July 18, 2012

SUBJECT:	Additional Compensation Board funding for certified Career Development employees.
MOTION(s):	I move to allocate the additional funds received from the Compensation Board, earmarked for Career Development Certification of Commissioner of the Revenue employees, in the amount of \$7,776, to the Commissioner of the Revenue FY13 budget.
STAFF CONTACT:	Mel Sheridan, Commissioner of the Revenue
RECOMMENDATION:	Approval
TIMING:	July 1, 2012
DISCUSSION:	The 2012 General Assembly approved a Governor's amendment to allow one-time funding from the Virginia Compensation Board in FY2013 for career development reimbursement for those employees who met the program criteria prior to January 1, 2010 but for whom funding was not previously available. Approval of this motion would reinforce the Board's commitment to professional development at no additional cost to the county.
FISCAL IMPLICATIONS:	The FY13 budget revenue received from the Compensation Board will increase by \$7,776; however, the approval of this request will not increase the cost to the County in that the funds were approved by the General Assembly after our budget had been adopted.
POLICY IMPLICATIONS:	N/A
LEGISLATIVE HISTORY:	N/A
ENCLOSURES:	Correspondence from Compensation Board



FRANK DREW
CHAIRMAN

ROBYN M. DE SOCIO
EXECUTIVE SECRETARY

W. J. KUCHARSKI
CRAIG BURNS
EX-OFFICIO MEMBERS

COMMONWEALTH of VIRGINIA

Compensation Board

P.O. Box 710
Richmond, Virginia 23218-0710
May 24, 2012

The Honorable A. M. Sheridan
Commissioner of the Revenue, Fluvanna County
34 Palmyra Way
Palmyra, VA 22963

Dear Mr. Sheridan:

I write regarding the Compensation Board's Commissioner of the Revenue Career Development Program, and your newly allocated salary and classification change as a Master Commissioner of the Revenue for FY13 only.

As you may know, the 2010 General Assembly restricted language and funding for the program to Commissioners that were already participating and funded in the program (i.e. receiving the pay supplement) prior to January 1, 2010, and suspended the program for any other participation.

The 2012 General Assembly approved a Governor's amendment to allow one-time funding in FY13 for additional Master Commissioners of the Revenue who met the program criteria prior to January 1, 2010 but for whom funding was not previously available. In your budget for FY13, the Compensation Board has allocated the master commissioner classification and pay supplement for your position.

It is important to understand that the 2012 General Assembly approved funding for the pay supplement for your participation in the program for one year only (FY13). Unless the 2013 General Assembly takes action to approve continued funding, your classification and salary will revert back to the pre-FY13 level beginning July 1, 2013 (FY14).

Please contact Bill Fussell, Charlene Rollins or me if you have any questions.

Sincerely,

Robyn M. de Socio
Executive Secretary

Attachments

c: Governing Body
Charlene M. Rollins, Customer Service Manager
Charlotte W. Lee, Budget Manager
Bill Fussell, Senior Fiscal Technician

S:\biennial\ budget fy13-14\fy13 budget development\budget letters\CRRev One-Time CDP FY13



FRANK DREW
CHAIRMAN

ROBYN M. DE SOCIO
EXECUTIVE SECRETARY

W. J. KUCHARSKI
CRAIG BURNS
EX-OFFICIO MEMBERS

COMMONWEALTH of VIRGINIA

Compensation Board

P.O. Box 710
Richmond, Virginia 23218-0710
May 24, 2012

The Honorable A. M. Sheridan
Commissioner of the Revenue, Fluvanna County
34 Palmyra Way
Palmyra, VA 22963

Dear Mr. Sheridan:

I write regarding the Compensation Board's Deputy Commissioner of the Revenue Career Development Program, and salaries set for individuals that have been newly allocated a Master Deputy classification change in your office for FY13 only.

As you may know, the 2010 General Assembly restricted language and funding for the program to individuals that were already participating and funded in the program (i.e. receiving the pay supplement) prior to January 1, 2010, and suspended the program for any other participation. You may have individuals in your office that have been receiving the career development pay supplement since that time, and those individuals are continued in the program.

The 2012 General Assembly approved a Governor's amendment to allow one-time funding in FY13 for additional master deputy commissioners who met the program criteria prior to January 1, 2010 but for whom funding was not previously available. In your budget for FY13, the Compensation Board has allocated the master deputy classification and pay supplement for the following position(s):

00002 - Lisa Thurston; 00003 - Carole Johnson

It is important to understand that the 2012 General Assembly approved funding for these individuals for one year only (FY13). Unless the 2013 General Assembly takes action to approve continued funding for these individuals, their classifications and salaries will revert back to their pre-FY13 levels beginning July 1, 2013 (FY14).

Please contact Bill Fussell, Charlene Rollins or me if you have any questions.

Sincerely,

Robyn M. de Socio
Executive Secretary

Attachments

c: Governing Body
Charlene M. Rollins, Customer Service Manager
Charlotte W. Lee, Budget Manager
Bill Fussell, Senior Fiscal Technician *3475*

Mel Sheridan

From: Fussell, William (SCB) <william.fussell@scb.virginia.gov>
Sent: Monday, June 18, 2012 4:42 PM
To: Mel Sheridan
Subject: Career Development New Participation Spreadsheet
Attachments: 065-771 CDP Cost Projection.xls

Mel,

Please see attached for a spreadsheet containing all of the individuals who are scheduled to receive the Career Development Increase in FY13.

A few things to note: The 'Cost' column is from the Locality perspective on how much it will cost (not including fringes) for the increase.

The Column that is highlighted is the new salary for FY13 including the CDP Increase (beginning July 1, 2012)

For Thurston and Johnson, the salaries are posted on the May Budget and the locality is required to comply as stated in § 15.2-2507 of the Code of VA.

For Hudgins, her career development increase is an amendment to the Budget Published on May 23rd and we will need Concurrence from the Governing Body in writing (e-mail is fine) before proceeding no later than Friday June 22. I have included sample verbiage that may assist in getting this done.

As requested, this letter verifies Ms. Kelly Hudgins' base salary reimbursement from the Virginia Compensation Board in FY2013 paid to Fluvanna County is \$ \$21,703 which includes an increase for the Career Development Program. Ms. Hudgins' base salary paid by Fluvanna County to the employee includes an increase for career development as of July 1, 2012. It is our understanding that the 2012 General Assembly approved a Governor's amendment to allow one-time funding from the Virginia Compensation Board in FY2013 for career development reimbursement for those employees who met the program criteria prior to January 1, 2010 but for whom funding was not previously available. It is our understanding that Fluvanna County's Commissioner of the Revenue's Office FY2013 Compensation Board Budget includes career development pay supplement for:

Kelly Hudgins

In addition, we understand that the 2012 General Assembly approved funding for this individual's career development for one year only (FY2013) and unless the General Assembly takes action to approve continued funding for this individual's career development, the Virginia Compensation Board budget for Fluvanna County's Commissioner of the Revenue's Office will revert back to the pre-FY2013 level beginning July 1, 2013 (FY2014).

I hope this helps. If there are any further questions or help that you need, please let me know and please also remember that I need this back no later than Friday, June 22.

Thanks!

Bill Fussell
 Senior Fiscal Technician
 State Compensation Board
 (804) 225-3475 Direct
William.Fussell@scb.virginia.gov

FIPS	LOCALITY	LAST NAME	POSITION NUMBER	CURRENT CLASS	NON-CDP SALARY 7/1/12	CDP SALARY 7/1/12	CDP SALARY COST	Qualification Year
065	Fluvanna	Sheridan	00001	CREV	\$72,034	\$77,076	\$0	FY09
065	Fluvanna	Thurston	00002	DIV	\$29,651	\$32,409	\$1,379	FY09
065	Fluvanna	Johnson	00003	DIII	\$9,272	\$10,134	\$431	FY09
065	Fluvanna	Hudgins	00004	DI	\$19,856	\$21,703	\$924	FY09

BOARD OF SUPERVISORS AGENDA ITEM

Meeting Date: July 18, 2012

SUBJECT:	Appointment to Economic Development Commission, Cunningham District Position
MOTION(s):	I move to appoint/reappoint _____ to the Economic Development Commission, Cunningham District Position, with a term to begin August 1, 2012, and to terminate on July 31, 2016.
STAFF CONTACT:	Mary L. Weaver, Clerk to the Board of Supervisors
RECOMMENDATION:	Approval
TIMING:	Current terms expire July 31, 2012
DISCUSSION:	Keith Smith is currently serving in this position and would like to be reappointed. This is a four-year term. Applicants who have shown an interest in this appointment are: Keith Smith, current representative David A. Perry
FISCAL IMPLICATIONS:	None
POLICY IMPLICATIONS:	None
LEGISLATIVE HISTORY:	None
ENCLOSURES:	Boards and Commissions Applications

Interest in Economic Development Commission (EDC)

Cunningham

Last Name	Smith	First Name	Keith	Date Recieved	1/6/2010
Mailing Address	35 Acre lane	City	Palmyra	State	VA
		Postal Code	22963-		
Home Phone	(434) 531-0795	Work Phone		Cell Phone/Other	
Fax	(434) 591-6670	Email Address	keith011163@sprint.blackberry.net		
Physical Address		City		State	
		Postal Code			

Education and Experience:

High School; Twenty years of development and building in Fluvanna County

Civic Activities and Committee Memberships:**Interest in Committee:**

I believe I have the skills and experience to help move this County and its Economic Development into the future.

Comments:

Interest in Economic Development Commission (EDC)

Cunningham

Last Name **First Name** **Date Recieved**
Mailing Address **City** **State** **Postal Code**
Home Phone **Work Phone** **Cell Phone/Other**
Fax **Email Address**
Physical Address **City** **State** **Postal Code**

Education and Experience:

20 years CEO/President of technology based manufacturing business (resume enclosed)

Civic Activities and Committee Memberships:

Virginia Herpetological Society

Interest in Committee:

Economic Development Authority, Economic Development Commission, Fork Union sanitary District Advisory Committee, Parks & Recreation Advisory Board, Planning Commission, Southeast Rural Community Assistance Project, Inc., Thomas Jefferson Partnership for Economic Development

Comments:

BOARD OF SUPERVISORS AGENDA ITEM

Meeting Date: July 18, 2012

SUBJECT:	Appointment to Economic Development Commission, At Large Position
MOTION(s):	I move to appoint/reappoint _____ to the Economic Development Commission, At Large Position, with a term to begin August 1, 2012, and to terminate on July 31, 2016.
STAFF CONTACT:	Mary L. Weaver, Clerk to the Board of Supervisors
RECOMMENDATION:	Approval
TIMING:	Current terms expire July 31, 2012
DISCUSSION:	<p>Tammy Grigg is currently serving in this position and would like to be reappointed. This is a four-year term.</p> <p>Applicants who have shown an interest in this appointment are:</p> <ul style="list-style-type: none"> Tammy Grigg, current representative Tom Barnes, currently serving on the Agricultural/Forestral Advisory Committee William Grigg David A. Perry Robert Trumbull Ed Zimmer
FISCAL IMPLICATIONS:	None
POLICY IMPLICATIONS:	None
LEGISLATIVE HISTORY:	None
ENCLOSURES:	Boards and Commissions Applications

Interest in Economic Development Commission (EDC)

Fork Union

Last Name Grigg | **First Name** Tammy | **Date Recieved** 4/24/2009
Mailing Address 1837 Central Plain Road | **City** Palmyra | **State** VA | **Postal Code** 22963-
Home Phone (434) 589-5558 | **Work Phone** 4345893262 | **Cell Phone/Other**
Fax | **Email Address** grigg9111@earthlink.net
Physical Address | **City** | **State** | **Postal Code**

Education and Experience:

B.S. Old Dominion University; Admin. Asst. Fluvanna Chamber

Civic Activities and Committee Memberships:

1st Women President Fluvanna Ruritan Club Foundation for Education, Leadership Program; Ruritan Club, CERT

Interest in Committee:

To bring my experience from the Chamber to help move the county forward

Comments:

Interest in Economic Development Commission (EDC)

Rivanna

Last Name **First Name** **Date Recieved**
Mailing Address **City** **State** **Postal Code**
Home Phone **Work Phone** **Cell Phone/Other**
Fax **Email Address**
Physical Address **City** **State** **Postal Code**

Education and Experience:

BS Biology, Glenville State College, Assoc. Forest Technology, 23yrs in insurance industry

Civic Activities and Committee Memberships:

Supervisor Committee of State Farm Federal Credit Union, United Way Campaign Chair; Member of Central VA Chapter of CPCU, Society of SCLA, Lake Christian Church

Interest in Committee:

I have always been involved in the communities where I have lived. This will also allow me to increase my knowledge along w/volunteering.

Comments:

Interest in Economic Development Commission (EDC)

Fork Union

Last Name | Grigg | **First Name** | William | **Date Recieved** | 4/24/2009
Mailing Address | 1837 Central Plains Road | **City** | Palmyra | **State** | VA | **Postal Code** | 22963-
Home Phone | (434) 589-5558 | **Work Phone** | | **Cell Phone/Other** | |
Fax | | **Email Address** | grigg9111@earthlink.net |
Physical Address | | **City** | | **State** | | **Postal Code** | |

Education and Experience:

President of ECIS, ACI, ASCE, VRMCA

Civic Activities and Committee Memberships:

Ruritan Club, Board at Holiday Lake, Emery & Henry College; Fork Union Baptist Church, Fluvanna Ruritan Club

Interest in Committee:

To bring knowledge about business to help the county succeed. To give insight from my experience

Comments:

Interest in Economic Development Commission (EDC)

Cunningham

Last Name Pery **First Name** David A. **Date Recieved** 9/29/2011
Mailing Address 316 Taylor Ridge Way **City** Palmyra **State** VA **Postal Code** 22963-
Home Phone (434) 589-1385 **Work Phone** **Cell Phone/Other** (949) 275-4814
Fax **Email Address** davidaperry49@yahoo.com
Physical Address 316 Taylor Ridge Way **City** Palmyra **State** VA **Postal Code** 22963

Education and Experience:

20 years CEO/President of technology based manufacturing business (resume enclosed)

Civic Activities and Committee Memberships:

Virginia Herpetological Society

Interest in Committee:

Economic Development Authority, Economic Development Commission, Fork Union sanitary District Advisory Committee, Parks & Recreation Advisory Board, Planning Commission, Southeast Rural Community Assistance Project, Inc., Thomas Jefferson Partnership for Economic Development

Comments:

Interest in Economic Development Commission (EDC)**Fork Union**

Last Name Trumbull **First Name** Robert **Date Recieved** 7/14/2010
Mailing Address 428 Rivanna Woods Drive **City** Fork Union **State** VA **Postal Code** 23055-
Home Phone (434) 842-1234 **Work Phone** **Cell Phone/Other**
Fax **Email Address** rtrumbul@moonstar.com
Physical Address **City** **State** **Postal Code**

Education and Experience:

B.S. & MS degrees; Virginia Commonwealth University; plus additional coursework @ Longwood and UVA; Organizational and financial background based on experience as a teacher, school principal, and school system Finance Director

Civic Activities and Committee Memberships:

Board member and past president Farmville area Habitat for Humanity; Board member Southside Family YMCA; Member and past president of the Virginia Piedmont Chapter of PDK, Farmville Jayees, Virginia Assoc. of School Business Officials and currently a member of the Fluvanna Ruritan Club

Interest in Committee:

While a fairly new resident of Fluvanna County, my ties here go back over 40 yrs. I would consider it an honor to be of service to my new home and my wife's home for the past 4 generations.

Comments: No committees interested in listed

Interest in Economic Development Commission (EDC)

Columbia

Last Name Zimmer **First Name** Ed **Date Recieved** 6/29/2012
Mailing Address 8023 Venable Road **City** Kents Store **State** VA **Postal Code** 23084-
Home Phone (757) 653-7511 **Work Phone** 4342209178 **Cell Phone/Other**
Fax **Email Address** ed.zimmer@dof.virginia.gov
Physical Address 8023 Venable road **City** Kents Store **State** VA **Postal Code** 23084

Education and Experience:

BS in Forestry from West Virginia University, MBA from Averett University; 5 years military experience; 25 years in Natural Resources

Civic Activities and Committee Memberships:

Scout Leader, Virginia Forestry Association

Interest in Committee:

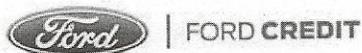
To use skills and abilities to give back service to the County

Comments: t

BOARD OF SUPERVISORS AGENDA ITEM

Meeting Date: July 18, 2012

SUBJECT:	Leasing of Police Vehicles
MOTION(s):	I move the Board of Supervisors authorize the County Administrator or designee to seek bids for the financing of \$251,750 over a three year period and execute the approved awarded documents for the leasing of the Sheriff's Office Police Vehicles.
STAFF CONTACT:	Sheriff Ryant Washington/Colonel Eric Hess
RECOMMENDATION:	Lease Purchase
TIMING:	None
DISCUSSION:	Board approved to fund the Sheriff's Office Police Vehicles and equipment in the FY13 Capital Improvements budget (\$125,000.) by leasing 8 for a three year period.
FISCAL IMPLICATIONS:	Bidding the financing would allow the opportunity to receive a lower interest rate.
POLICY IMPLICATIONS:	None
LEGISLATIVE HISTORY:	Discussions were made during the work sessions, particularly the March 17, 2012 session to use Ford Motor Credit, however, other options are now available.
ENCLOSURES:	Copies of quotes



Municipal Finance Department
1 American Road, MD7500
Dearborn, Michigan 48126

July 10, 2012

Fluvanna County
Sheriff's Department
Attn: Eric Hess
ehess@fluvannasheriff.com

Re: Ford Credit Municipal Finance Program Quotation for **Fluvanna County, VA, Bid #73599**

Please review the following Ford Credit Municipal Finance quotation.

<u>Quantity</u>	<u>Description</u>	<u>Price</u>
8	2012 Dodge Charger w/ Police Package	\$251,750.00

All required documentation, municipality's first payment to Ford Credit, and the delivery of the vehicle(s) and/or equipment must take place by 10/31/2012. Otherwise, rates and payments are subject to change. The rates and payment factors are applicable for total amounts funded from \$150,000 - \$299,999.

<u>Total Amount Funded</u>	<u>Number of Payments</u>	<u>Payment Timing</u>	<u>APR</u>	<u>Payment Factor</u>	<u>Payment Amount</u>
\$252,175.00	3	Annual in Advance	5.75%	0.352133	\$88,799.14

Note: To calculate payment amount, multiply total amount funded by the payment factor.

Financing is Subject To:

- Municipality's most recent audited financial statement
- Mutually acceptable documentation
- Confirmation from the dealer of actual selling price.

Ford Credit Municipal Finance Program

- An underwriting fee of \$425 is required per transaction, not per unit. It can be paid at time of delivery or funded over the term (included above).
- There is no security deposit, no prepayment penalty, and no mileage penalty
- Non-recourse to the dealer. The same as a cash sale from the dealer to the municipal customer.
- At inception, the new equipment title/registration indicates the municipality as Registered Owner, and designates Ford Credit, 1 American Road-MD7500, Dearborn, MI 48126, as first lien holder.
- At term end, the municipality buys the equipment for \$1.
- The municipality, as owner of record, is eligible for Ford Governmental Price Concessions or other discounts, to reduce product cost

If you need additional information, please contact me at (800) 241-4199, option 1. Thank you for your interest in Ford Credit Municipal Finance Program.

Sincerely,

James DeYonke

James DeYonke
Marketing Coordinator
jdeyonke@ford.com

BB + T

Fluvanna County, Virginia
Eight 2012 Dodge Charger sheriff vehicles
Contract # 9946001187-00001

DRAFT

Compound Period: Annual

Nominal Annual Rate: 2.030 %

CASH FLOW DATA

	Event	Date	Amount	Number	Period	End Date
1	Loan	07/09/2012	251,750.00	1		
2	Payment	07/09/2012	85,608.65	3	Annual	07/09/2014

AMORTIZATION SCHEDULE - Normal Amortization

	Date	Payment	Interest	Principal	Balance
Loan	07/09/2012				251,750.00
1	07/09/2012	85,608.65	0.00	85,608.65	166,141.35
2013 Totals		85,608.65	0.00	85,608.65	
2	07/09/2013	85,608.65	3,372.67	82,235.98	83,905.37
2014 Totals		85,608.65	3,372.67	82,235.98	
3	07/09/2014	85,608.65	1,703.28	83,905.37	0.00
2015 Totals		85,608.65	1,703.28	83,905.37	
Grand Totals		256,825.95	5,075.95	251,750.00	

Eric Hess

From: Reid Young [reid.young@bankatunion.com]
Sent: Thursday, July 12, 2012 8:51 AM
To: Eric Hess
Subject: FW: Loan Information

Mr. Hess,

Thank you for your call this week and your inquiry about the financing of 8 vehicles for the Fluvanna County Sherriff's Dept. Listed below is a revised summary of Union's financing rate and terms, based upon a loan amount of \$251,750. Upon your review of this information, please let me know if you have further questions.

- \$251,750 Loan Amount
- Loan purpose is to finance the purchase of 8 new vehicles for the department
- A 3 year loan term is being requested
- Union will offer a fixed rate of 3.50% for the full 3 year loan term
- The loan will not carry a pre-payment penalty, should the department repay the loan in full prior to maturity

Please note, interest rates are subject to change, however, the quoted rate will be valid until September 15, 2012. If you have additional questions, please do not hesitate to give me a call.

Best regards,

Reid Young
Vice President
Commercial Lending
Union First Market Bank
1658 State Farm Blvd.
Charlottesville, Va. 22911
(434) 244-6614
(434) 244-6651 Fax
Internal VOIP X5434
reid.young@bankatunion.com



Enriching the lives of the people and the communities we serve

From: Reid Young
Sent: Tuesday, February 21, 2012 10:46 AM
To: 'RLWashington@fluvannasheriff.com'
Cc: Debra Lucado
Subject: Loan Information

Sherriff Washington,

It was a pleasure to speak with you last week regarding the possible Bank financing of new fleet

7/12/2012



COUNTY OF FLUVANNA

"Responsive & Responsible Government"

P.O. Box 540, Palmyra, VA 22963 · (434) 591-1910 · FAX (434) 591-1911 · www.co.fluvanna.va.us

MEMORANDUM

TO: Board of Supervisors
FROM: Eric Dahl, Budget Analyst
SUBJECT: Contingency Balance
DATE: July 11, 2012

The balance for the BOS contingency line for FY13 is as follows:

Board of Supervisors Contingency: \$250,000.00

Total Board of Supervisors Contingency \$ 250,000.00