

AGENDA
FLUVANNA COUNTY PLANNING COMMISSION
Regular Meeting
Circuit Court Room
Fluvanna Courts Building
September 26, 2012 at 7:00pm

1-CALL TO ORDER, PLEDGE OF ALLEGIANCE

2-DIRECTOR'S REPORT

Mrs. Allyson Finchum, Planning Director

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3-PUBLIC COMMENTS #1 (3 minutes each)

4-APPROVAL OF MINUTES:

July 25, 2012

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August 22, 2012

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5- PUBLIC HEARINGS:

SUP 12:07, National Communication Towers, LLC

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A request for a Special Use Permit (SUP) to allow for a 195-foot wireless communications tower with respect to 12.7 acres of Tax Map 39, Section A, Parcel 29. The property is zoned A-1 (Agricultural, General) and is located on the north side of West River Road (State Route 6) 1 mile west of its intersection with Rolling Road (Route 620). The property is located in the Fork Union Election District and is within the Rural Preservation Planning Area.

6-PRESENTATIONS (normally not to exceed 10-minute limitation)

ZMP 12:02 – Hotel Street Capital, LLC

An ordinance to amend the Fluvanna County Zoning Map with respect to 232.0 acres of Tax Map 30, Section A, Parcel 110 and Tax Map 19, Section A, Parcel 39C (former Rivanna Resort) to rezone the subject properties from R-3 (Residential, Planned Community) with proffers to PUD (Planned Unit Development). The subject property is located within the Palmyra Election District on the western side of U.S. Route 15 (James Madison Highway) at its intersection with State Route 644 (Friendship Road), approximately 0.25 miles north of State Route 661 (Rescue Lane). The proposed amendment would allow a maximum of 1,514 residential units (a mixture of single-family detached units, townhouses, and multi-family units) and 110,000 square feet of commercial space. According to the 2009 Comprehensive Plan, the property is located within the Palmyra Community Planning Area.

7-SITE DEVELOPMENT PLANS:

SDP 12:012, 33 Hunters Branch, LLC

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A Site Development Plan (SDP) request for a contractor's storage yard with respect to 4.68 acres of a portion of Tax Map 5, Section 20, Parcel 1. The property is zoned I-1, Industrial, Limited and is located on the southern side of Route 250 (Richmond Road) approximately 300 feet east of Hunter's Branch Road. The property is located in the Palmyra Election District and is within the Zion Crossroads Community Planning Area.

8-SUBDIVISIONS:

9-UNFINISHED BUSINESS:

10-NEW BUSINESS:

11-PUBLIC COMMENT #2 (3 minutes each)

12-ADJOURN

For the Hearing-Impaired – there is a listening device available at the Circuit Court Room upon request. TTY access number is 711 to make arrangements.

For persons with Disabilities – if you have special needs, please call the County Administrator's Office at 591-1910 and relay your request.

Pledge of Allegiance

I pledge allegiance to the flag
of the United States of America
and to the Republic for which it stands,
one nation, under God, indivisible,
with liberty and justice for all.

ORDER

1. It shall be the duty of the Chairman to maintain order and decorum at meetings. The Chairman shall speak to points of order in preference to all other members.
2. In maintaining decorum and propriety of conduct, the Chairman shall not be challenged and no debate shall be allowed until after the Chairman declares that order has been restored. In the event the Commission wishes to debate the matter of the disorder or the bringing of order; the regular business may be suspended by vote of the Commission to discuss the matter.
3. No member or citizen shall be allowed to use abusive language, excessive noise, or in any way incite persons to use such tactics. The Chairman and/or the County Planner shall be the judge of such breaches, however, the Commission may vote to overrule both.
4. When a person engages in such breaches, the Chairman shall order the person's removal from the building, or may order the person to stand silent, or may, if necessary, order the person removed from the County property.

***FLUVANNA COUNTY PLANNING COMMISSION
PUBLIC HEARING RULES OF PROCEDURE***

1. Purpose:
The purpose of a public hearing is to receive testimony from the public on certain resolutions, ordinances or amendments prior to taking action. A hearing is not a dialog or debate. Its express purpose is to receive additional facts, comments and opinion on subject items.
2. Speakers:
Speakers should approach the lectern so they may be visible and audible to the Commission.
Each speaker should clearly state his/her name and address.
All Comments should be directed to Commission.
Each speaker is limited to three minutes and time may not be donated from other audience members.
All questions should be directed to the Chairman. Members of the Commission are not expected to respond to questions, and response to questions shall be made at the Chairman's discretion. Speakers are encouraged to contact staff regarding unresolved concerns or to receive additional information.
Speakers with questions are encouraged to contact County staff prior to the public hearing.
Speakers should be brief and avoid repetition of previously presented comments.
County residents and taxpayers may be given priority in speaking order.
3. Action:
At the conclusion of the public hearing on each item, the Chairman will close the public hearing. The Commission will proceed with its deliberations and will act on or formally postpone action on such item prior to proceeding to other agenda items. Further public comment after the public hearing has been closed generally will not be permitted.



COUNTY OF FLUVANNA

"Responsive & Responsible Government"

P.O. Box 540 Palmyra, VA 22963 (434) 591-1910 FAX (434) 591-1911 www.co.fluvanna.va.us

To: Fluvanna County Planning Commission
From: Allyson Finchum, Director of Planning
Date: September 26, 2012
Re: Planning Director's Report

1. Board of Supervisors Actions:

August 1, 2012:

ZTA 12:01, Fluvanna County – Zoning Text Amendment

Approved (5-0) an amendment of the Fluvanna County Zoning Ordinance to update and strengthen regulations regarding tree protection, landscaping, and off-street parking (Chapter 22, Article 22: Definitions; Chapter 22, Article 24: Tree Protection; Chapter 22, Article 26: Off-Street Parking & Loading Spaces).

ZTA 12:02, Fluvanna County – Subdivision Ordinance Amendment

Approved (5-0) an amendment of the Fluvanna County Subdivision Ordinance to update and strengthen regulations regarding landscaping and similar improvements (Chapter 19, Article 7: Subdivision Design Standards; Chapter 19, Article 8: Required Improvements).

September 5, 2012:

None.

September 19, 2012:

SUP 12:05 – Robert S. Hale-MacKinnon – Educational Facility

Approved (3-2 Chesser, Weaver) a request for a Special Use Permit (SUP) to allow for an educational facility with respect to 5.193 acres of Tax Map 23, Section A, Parcel 48. The property is zoned A-1 (Agricultural, General) and is located on the north side of Perkins Road (State Route 623) near its intersection with Kents Store Way (Route 659). The property is located in the Columbia Election District and is within the Rural Preservation Planning Area.

2. Board of Zoning Appeals Actions:

August 7, 2012:

None.

September 4, 2012:

None.

3. Technical Review Committee:

August 9, 2012:

SDP 12:05 – 33 Hunter’s Branch, LLC

A site development plan request for a contractor’s storage yard with respect to 4.68 acres of a portion of Tax Map 5, Section 20, Parcel 1. The property is zoned I-1, Industrial, Limited and is located on the southern side of Route 250 (Richmond Road) approximately 300 feet east of Hunter’s Branch Road. The property is located in the Palmyra Election District and is within the Zion Crossroads Community Planning Area.

SUP 12:07 – National Communication Towers, LLC

A request for a Special Use Permit (SUP) to allow for a 195-foot wireless communications tower with respect to 12.7 acres of Tax Map 39, Section A, Parcel 29. The property is zoned A-1 (Agricultural, General) and is located on the north side of West River Road (State Route 6) 1 mile west of its intersection with Rolling Road (Route 620). The property is located in the Fork Union Election District and is within the Rural Preservation Planning Area.

September 13, 2012:

SUP 12:08 – Jennifer D. Miller - Commercial Kennel

A request for a Special Use Permit (SUP) to allow for a Commercial Kennel with respect to 6.0+/- acres of Tax Map 19, Section A, Parcel 77A. The property is zoned A-1 (Agricultural, General) and is located on the west side of James Madison Highway (State Route 15) 0.65 miles north of its intersection with Salem Church Road (Route 644). The property is located in the Columbia Election District and is within the Rural Residential Planning Area.

ZMP 12:02 – Hotel Street Capital, LLC

An ordinance to amend the Fluvanna County Zoning Map with respect to 232.0 acres of Tax Map 30, Section A, Parcel 110 and Tax Map 19, Section A, Parcel 39C (former Rivanna Resort) to rezone the subject properties from R-3 (Residential, Planned Community) with proffers to PUD (Planned Unit Development). The subject property is located within the Palmyra Election District on the western side of U.S. Route 15 (James Madison Highway) at its intersection with State Route 644 (Friendship Road), approximately 0.25 miles north of State Route 661 (Rescue Lane). The proposed amendment would allow a maximum of 1,514 residential units (a mixture of single-family detached units, townhouses, and multi-family units) and 110,000 square feet of commercial space. According to the 2009 Comprehensive Plan, the property is located within the Palmyra Community Planning Area.

4. Application Withdrawn:

July 26, 2012:

SUP 12:06 – Michael A. White

A request for a special use permit to operate an automobile repair service establishment with respect to 10.020 acres of Tax Map 54, Section A, Parcel 38. The property is currently zoned A-1 (Agricultural, General) and is located on the western side of State Route 659 (Stage Junction Road) approximately 0.7 miles south of State Route 674 (Timber Road) and approximately 1.1 miles north of the Town of Columbia boundary. The property is located within the Columbia Election District. According to the 2009 Comprehensive Plan, the property is within the Rural Preservation Planning Area.



**FLUVANNA COUNTY BUILDING INSPECTIONS
MONTHLY BUILDING INSPECTION REPORT
AUGUST 2012**

USE	Aug-11	VALUE	YTD 11	VALUE	Aug-12	VALUE	YTD 12	VALUE	Aug/Diff	VALUE	YTD	
											PERMITS	VALUE
New Homes	4	441,000	41	7,210,939	8	1,213,024	52	8,573,024	4	772,024	11	1,362,085
Duplex	0	0	0	0	0	-	0	-	0	-	0	-
Single Family (Attached)	1	60,000	5	510,000	0	-	4	360,000	-1	(60,000)	-1	(150,000)
Adds&Alterations	28	451,129	161	3,839,167	21	341,133	171	2,568,384	-7	(109,996)	10	(1,270,783)
Garages & Carports	0	0	7	124,500	2	40,000	10	211,160	2	40,000	3	86,660
Accessory Buildings	3	40,000	11	125,125	0	-	9	83,500	-3	(40,000)	-2	(41,625)
Single Wide MH	1	50,000	2	53,500	1	500	1	500	0	(49,500)	-1	(53,000)
Swimming Pools	1	40,000	3	49,000	1	35,000	9	346,181	0	(5,000)	6	297,181
Recreational Bldgs	0	0	0	-	0	-	0	-	0	-	0	-
Business Bldgs	0	0	2	80,000	0	-	2	819,850	0	-	0	739,850
Industrial Bldgs	0	0	0	-	1	58,866	5	1,182,509	1	58,866	5	1,182,509
Other Buildings	2	110,000	5	14,620,001	1	120,000	8	620,219	-1	10,000	3	(13,999,782)
TOTALS	40	1,192,129	237	26,612,232	35	1,808,523	271	14,765,327	-5	616,394	34	(11,846,905)
FEES	Aug-11	PREV TOT	YTD 11		Aug-12	PREV TOT	YTD 12		DIFFERENCE		DIFFERENCE YTD	
Building Permits	9,549.64	94,114.11	103,663.75		9,981.55	70,817.80	80,799.35		431.91		(22,864.40)	
Land Disturb Permits	3100.00	19,240.00	22,340.00		4,426.25	24,653.75	29,080.00		1,326.25		6,740.00	
Zoning Permits/Proffers					2,500.00	2,450.00	2,450.00					
TOTALS	12649.64	113,354.11	126,003.75		16,907.80	97,921.55	112,329.35		1758.16		(16,124.40)	
INSPECTIONS	Aug-11	PREVIOUS	YTD 11		Aug-12	PREVIOUS	YTD 12					
	152	1,054	1,206		182	1,056	1,238		30		32	

Darius S. Lester
Building Official

() represents a negative

Monthly Approval Report for August 2012

<i>District</i>	<i>Action</i>	<i>ID#</i>	<i>Description</i>	<i>Tax Map Parcels</i>	<i>Total Acreage</i>	<i>Number of Lots</i>
	<i>Approved</i>	ZTA 12-001	Amend Tree Protection, Landscaping, & Off-St Park		0	
		ZTA 12-002	Amendments to Subdivision Ordinance: Landscaping		0	
Columbia	<i>Approved</i>					
		SUB 12-002	Minor Subdivision	19 (6)1	15.91	5
		SUB 12-013	Family Subdivision	22 (9)1	4.465	2
		SUB 12-015	Family Subdivision	13 (10)G	19.165	2
	<i>Pending TRC Meeting</i>					
		SDP 12-012	Major Site Plan	5 (20)1A, 1B	6.744	
Cunningham	<i>Approved</i>					
		SUB 12-014	Minor Subdivision	17 (21)D	11.52	2
		SUB 12-017	Lot Consolidation	26 (11)3X, 3Y	4	2
Palmyra	<i>Approved</i>					
		SUB 12-016	Family Subdivision	19 (A)19	42	2

Thursday, September 20, 2012

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AFD - Agricultural Forestal District *BSP - Boundary Survey Plat*
BZA - Board of Zoning Appeals (Variance) *CCE - Code Compliance Enforcement*
CPA - Comprehensive Plan Amendment *SDP - Site Development Plan*
SUB - Subdivisions *SUP - Special Use Permits*
ZMP - Zoning Map Proposal (Rezoning) *ZTA - Zoning Text Amendment*

Code Compliance Enforcement Activity for Director's Report

ID#	Tax Map Parcels	Reported Against	Type of Violation	Status	Status Date
Cunningham					
CCE 12-008	27 (A)-18A	Rusty Lee Maupin	Auto	Warrant Obtained	9/18/2012
Fork Union					
CCE 12-001	51A (A)22	JWS Enterprises, LLC (James W. Sherrill	Misc.	1st Letter Sent	1/12/2012
Palmyra					
CCE 12-002	3 (A)-31, 32	JWS Enterprises, LLC (James W. Sherrill	Misc.	Awaiting Action	2/29/2012
CCE 10-013	10 (3)-2B	Eric D. Taylor	SUPs	Awaiting Action	5/8/2012

**FLUVANNA COUNTY PLANNING COMMISSION
REGULAR MEETING MINUTES
Circuit Courtroom
Fluvanna County Courts
July 25, 2012
7:00 p.m.**

MEMBERS PRESENT: Donald Gaines, Vice-Chairman
Barry Bibb
Patricia Eager
Carolyn Tinsley
Joe Chesser, Board of Supervisors Representative

MEMBERS ABSENT: Samuel Babbitt

ALSO PRESENT: Frederick Payne, Fluvanna County Attorney
Allyson Finchum, Planning Director
Steve Tugwell, Senior Planner
Andrew Pompei, Planner
Lauren Ryalls, Senior Program Support Assistant

CALL TO ORDER

Vice-Chairman Gaines called the Planning Commission meeting of July 25, 2012 to order at 7:00 p.m. in the Circuit Court room of the Fluvanna County Courts Building in Palmyra, Virginia. After the meeting was called to order, the Pledge of Allegiance was recited.

PLANNING DIRECTOR'S REPORT

Ms. Allyson Finchum, Planning Director, gave the monthly report to the Planning Commission.

- **Board of Supervisors – July 3, 2012**
 - *None*
- **Board of Supervisors – July 18, 2012**
 - **AFD 02:03 – Riverside Agricultural & Forestal District (AFD)**
Terminated (5-0) the Riverside Agricultural and Forestal District (AFD), which is set to expire on August 7, 2012. The Riverside AFD currently consists of 18 parcels (Tax Map 60, Section A, Parcel 10; Tax Map 60, Section A, Parcel 34; Tax Map 60, Section A, Parcel 35; Tax Map 60, Section 3, Parcel 1; Tax Map 60, Section 3, Parcel 2; Tax Map 60, Section 3, Parcel 3; Tax Map 60, Section A, Parcel 31; Tax Map 60, Section A, Parcel 32; Tax Map 60, Section A, Parcel 33; Tax Map 60, Section 7, Parcel 8; Tax Map 60, Section A, Parcel 16A; Tax Map 60, Section A, Parcel 17A; Tax Map 60, Section A, Parcel 17B; Tax Map 60, Section A, Parcel 18; Tax Map 60, Section A, Parcel 21C; Tax Map 60, Section A, Parcel 21; Tax Map 60, Section A, Parcel 21D; Tax Map 60, Section 7, Parcel 9) totaling 552.526 acres. The properties are zoned A-1 (Agricultural, General) and are generally located along, or in close proximity to, Bremo Road (State Route 656). The properties are located within the Fork Union Election District and are within the Rural Residential and Rural Preservation Planning Areas.
 - **SUP 12:02 – Clear Signal Towers, LLC (Hardware River)**
Applicant deferred a request for a Special Use Permit (SUP) to allow for a 175-foot wireless communications tower with respect to 71.46 acres of Tax Map 48, Section A, Parcel 94. The property is zoned A-1 (Agricultural, General) and is located on the north side of West River Road (State Route 6) 1.3 miles west of its intersection with Hardware Road (Route 646). The property is located in the Cunningham Election District and is within the Rural Residential Planning Area.
 - **SUP 12:03 – Clear Signal Towers, LLC (Weber City)**
Applicant deferred a request for a Special Use Permit (SUP) to allow for a 195-foot wireless communications tower with respect to 46.6 acres of Tax Map 59, Section A, Parcel 13B. The property is zoned A-1 (Agricultural, General) and is located on the east side of James Madison Highway (Route 15) 1.2 miles south of its intersection with Winnsville Drive (Route 612). The property is located in the Fork Union Election District and is within the Rural Residential Planning Area.
 - **SUP 12:04 – Clear Signal Towers, LLC (Cohasset)**
Applicant deferred a request for a Special Use Permit (SUP) to allow for a 195-foot wireless communications tower with respect to 97.7 acres of Tax Map 50, Section A, Parcel 3. The property is zoned A-1 (Agricultural, General) and is located on the west side of Mountain Hill Road (Route 650) approximately 500 feet south of its intersection with West River Road (State Route 6). The property is located in the Fork Union Election District and is within the Rural Preservation Planning Area.

- **Board of Zoning Appeals Actions – No July Meeting.**
- **Technical Review Committee – July 10, 2012**
 - **SUP 12:06 – Michael A. White**

A request for a special use permit to operate an automobile repair service establishment with respect to 10.02 acres of Tax Map 54, Section A, Parcel 38. The property is currently zoned A-1 (Agricultural, General) and is located on the western side of State Route 659 (Stage Junction Road) approximately 0.7 miles south of State Route 674 (Timber Road) and approximately 1.1 miles north of the Town of Columbia boundary. The property is located within the Columbia Election District. According to the 2009 Comprehensive Plan, the property is within the Rural Preservation Planning Area.

PUBLIC COMMENTS #1

Vice-Chairman Gaines opened the floor for the first section of public comments.

- Jay Neelley, Lake Monticello resident, addressed the Planning Commission regarding the need for a park and ride in the County.

With no one else wishing to speak, Vice-Chairman Gaines closed the first section of public comments.

APPROVAL OF MINUTES

A motion by Ms. Tinsley and seconded by Mr. Bibb to **approve** the June 27, 2012 minutes by a vote of 3-0-1. AYES: Bibb, Gaines, and Tinsley. NAYS: None. ABSTAINED: Eager. ABSENT: Babbitt.

PUBLIC HEARINGS:

SUP 12:05 – Robert S. Hale-MacKinnon (Educational Facility) - A request for a Special Use Permit (SUP) to allow for an educational facility with respect to 5.193 acres of Tax Map 23, Section A, Parcel 48. The property is zoned A-1 (Agricultural, General) and is located on the north side of Perkins Road (State Route 623) near its intersection with Kents Store Way (Route 659). The property is located in the Columbia Election District and is within the Rural Preservation Planning Area.

Mr. Steve Tugwell, Senior Planner, presented the Special Use Permit request to allow an educational facility with respect to 5.193 acres of Tax Map 23, Section A, Parcel 48 to the Planning Commission.

The Planning Commission questioned the conditions listed in the staff report and Mr. Tugwell stated that the Planning Commission could modify any of the conditions they deemed appropriate.

Mr. Robert S. Hale-MacKinnon, applicant, addressed the Planning Commission regarding the special use permit to allow for an educational facility.

Mr. Hale-MacKinnon responded to questions from the Planning Commission. Mr. Bibb questioned if there were any plans for a dormitory in the future. Mr. Hale-MacKinnon responded that at this time there were not any plans, because of the ecological stress it would cause on the small parcel.

Vice-Chairman Gaines opened the public hearing.

- Malcolm Perkins, adjacent property owner, spoke in opposition regarding the environmental impact this educational facility will have on surrounding properties.
- Stacy Stinchfield, adjacent property owner, spoke in opposition concerned about the safety of the children at the school and the negative impact this will have on surrounding properties.
- Lee Stinchfield, adjacent property owner, spoke in opposition regarding the safety of the wildlife in the area with the increased traffic.
- Brigid Shea, 272 Perkins Road, spoke in opposition regarding the increased traffic on Perkins Road.
- Jay Neelley, Lake Monticello resident, stated that this was the first time he had heard of this special use permit for an educational facility in the Kents Store area and was concerned about the footprint of the building and its impact from runoff and parking lots.

With no one else wishing to speak, Vice-Chairman Gaines closed the public hearing.

The Planning Commission discussed some of the issues involved with the educational facility on Perkins Road such as traffic, number of students, safety, and size of the new facility.

MOTION:

Mr. Bibb moved to **recommend denial** of SUP 12:05, a Special Use Permit with respect to 5.193 acres of Tax Map 23, Section A, Parcel 48.

Ms. Tinsley seconded. The motion carried with a vote of 3-1. AYES: Bibb, Gaines, and Tinsley. NAYS: Eager. ABSENT: Babbitt.

PRESENTATIONS:

None

SITE DEVELOPMENT PLANS:

None

SUBDIVISIONS:

None

UNFINISHED BUSINESS:

None

NEW BUSINESS:

None

OLD BUSINESS:

The Planning Commission discussed ZTA 12:01 and ZTA 12:02; amendments to the Zoning Ordinance and Subdivision Ordinance. These amendments will be reconsidered by the Board of Supervisors on August 1, 2012. The Board of Supervisors wanted the Planning Commission to review the changes made by staff, with the modifications made by the County Attorney.

MOTION:

Mr. Bibb moved to **recommend approval** of the new draft to be submitted to the Board of Supervisors with the language prepared by the Planning Department and corrections made by the County Attorney.

Ms. Tinsley seconded. The motion carried with a vote of 4-0. AYES: Bibb, Eager, Gaines, and Tinsley. NAYS: None. ABSENT: Babbitt.

PUBLIC COMMENTS #2

Vice-Chairman Gaines opened the floor for the second section of public comments.

- Jay Neelley, Lake Monticello resident, addressed the Planning Commission reporting results from a survey done by the Thomas Jefferson Planning District Commission showing that Fluvanna County only had one park and ride, where all other surrounding counties had at least two.

With no one else wishing to speak, Vice-Chairman Gaines closed the second section of public comments.

ADJOURN

There being no further business, Vice-Chairman Gaines adjourned the Planning Commission meeting of July 25, 2012 at 8:32 p.m.

Minutes recorded by Lauren Ryalls.

Donald Gaines, Vice-Chairman
Fluvanna County Planning Commission

**FLUVANNA COUNTY PLANNING COMMISSION
REGULAR MEETING MINUTES
Circuit Courtroom
Fluvanna County Courts
August 22, 2012
7:00 p.m.**

MEMBERS PRESENT: Donald Gaines, Vice-Chairman
Samuel Babbitt
Barry Bibb

MEMBERS ABSENT: Patricia Eager
Carolyn Tinsley
Joe Chesser, Board of Supervisors Representative

ALSO PRESENT: Frederick Payne, Fluvanna County Attorney
Allyson Finchum, Planning Director
Andrew Pompei, Planner
Lauren Ryalls, Senior Program Support Assistant

CALL TO ORDER

Vice-Chairman Gaines called the Planning Commission meeting of August 22, 2012 to order at 7:07 p.m. in the Circuit Court room of the Fluvanna County Courts Building in Palmyra, Virginia.

**RECESS
MOTION:**

Dr. Babbitt moved to recess to the Planning Commission Work Session meeting on September 12, 2012 at the County Administrative Building's Morris Room.

Mr. Bibb seconded. The motion passed with a vote of 3-0. AYES: Babbitt, Bibb, and Gaines. NAYS: None. ABSENT: Eager and Tinsley.

Chairman Gaines adjourned the Planning Commission meeting of August 22, 2012 at 7:08 p.m.

RECONVENE

Vice-Chairman Gaines reconvened the meeting on Wednesday, September 12, 2012 at 7:03 p.m. in the County Administrative Building's Morris Room for the Planning Commission Work Session with all members present.

Election of Chairman

Vice-Chairman Gaines opened the floor for nominations for the position of chairman.

Ms. Eager nominated Mr. Bibb.

Ms. Tinsley nominated Mr. Gaines.

VOTE COUNT: Mr. Bibb 3-2 NAYS: Gaines, Tinsley

With the majority of AYES, Mr. Bibb was **elected** Chairman for the remainder of the 2012 calendar year.

PUBLIC COMMENTS

Chairman Bibb opened the floor for public comments.

With no one wishing to speak, Chairman Bibb closed the section of public comments.

NEW BUSINESS

Discussion of Planning-Related Issues in Columbia

Mr. Bibb reordered the agenda, making the discussion of planning-related issues in Columbia the first issue for consideration.

Ms. Finchum, Planning Director, gave an overview of the duties of the Columbia Task Force and its recent activities as they relate to the Planning Commission and the functions of the Fluvanna County Department of Community Development.

The Planning Commission discussed existing planning-related issues within the Town of Columbia.

Landscaping-Related Business Definitions

Mr. Andrew Pompei, Planner, presented possible changes to Article 22 (Definitions) of the Fluvanna County Zoning Ordinance to create new definitions that better describe landscaping-related businesses and the activities taking place at such operations.

The Planning Commission discussed the proposed definitions that were prepared.

MOTION:

Mr. Babbitt moved to **initiate** a Zoning Text Amendment to amend portions of Chapter 22 of the Fluvanna County Code, as described within the attached resolution, to update definitions related to landscaping-related businesses, as well as the zoning districts in which such uses are permitted, and to schedule a public hearing for October 24, 2012 for formal Planning Commission consideration and recommendation to the Board of Supervisors.

Ms. Tinsley seconded. The motion carried with a vote of 5-0. AYES: Babbitt, Bibb, Eager, Gaines, and Tinsley. NAYS: None.

Plant List

Mr. Andrew Pompei, Planner, presented possible changes to the Fluvanna County Plant List.

The Planning Commission discussed the plant list prepared by staff.

The Planning Commission **directed** staff to create a possible plant list based on the Albemarle County Recommended Plants List.

OTHER BUSINESS

The Planning Commission discussed the Wireless Telecommunications Facilities Master Plan and current proposals for wireless telecommunications facilities in Fluvanna County.

The Planning Commission discussed the possibility of touring developments in the Charlottesville area that incorporate the principles and features of Traditional Neighborhood Design.

ADJOURN

There being no further business, Chairman Bibb adjourned the Planning Commission Work Session meeting of September 12, 2012 at 8:57 p.m.

Minutes recorded by Lauren Ryalls.

Donald Gaines, Vice-Chairman
Fluvanna County Planning Commission

Barry Bibb, Chairman
Fluvanna County Planning Commission



COUNTY OF FLUVANNA

"Responsive & Responsible Government"

P.O. Box 540 Palmyra, VA 22963 (434) 591-1910 FAX (434) 591-1911 www.co.fluvanna.va.us

STAFF REPORT

To: Fluvanna County Planning Commission
Case Number: SUP 12:07
Tax Map: Tax Map 39, Section A, Parcel 29

From: Steve Tugwell
District: Fork Union
Date: September 26, 2012

General Information: This request is to be heard by the Planning Commission on Wednesday, September 26, 2012 at 7:00 pm in the Circuit Courtroom of the Courts Building.

Applicant: National Communication Towers, LLC

Requested Action: A request for a special use permit to construct a 195 foot monopole telecommunications facility and associated ground equipment with respect to 12.7 acres of Tax Map 39, Section A, Parcel 29. (Attachment A)

Existing Zoning: A-1, Agricultural, General

Planning Area: Rural Preservation Planning Area

Zoning Ordinance: Section 22-27-1

Location: The affected property is zoned A-1 and is located on the north side of West River Road (U.S. Route 6), one mile west of its intersection with Rolling Road (Route 620). (Attachment B)

Existing Land Use: Vacant land

Adjacent Land Use: The surrounding area is zoned A-1, Agricultural, General and is very low-density residential in nature.

Neighborhood Meeting:

With the exception of the applicant, there were no attendees at the neighborhood meeting.

Technical Review Committee:

At the August 9, 2012 Technical Review Committee meeting, VDOT stated that the entrance would require a permit, and would be treated like a low-volume commercial/private entrance, and that 21A stone, approximately 6 to 8 inches in depth would be required back to the VDOT right-of-way;

The Fire Dept. requested that space be available for Fluvanna County's 911 equipment;

The Health Department stated that the proposed wireless communication tower appears to have no environmental impact, and that there are no homes, septic systems or wells located on this property.

(Attachment C).

Comprehensive Plan:

The Comprehensive Plan designates this area as within the Rural Residential Planning Area. The Infrastructure Chapter of the Comprehensive Plan has the following recommendations concerning the siting of cellular towers.

- Encourage the location and co-location of wireless communication equipment on existing structures;
- Accommodate the growing need and demand for wireless communication services;
- Encourage coordination between communication providers;
- Establish consistent and balanced legal language governing wireless communications facilities that take into consideration the Comprehensive Plan and communications master plan; and
- Maintain compliance with applicable laws, including but not limited to the 1996 Telecommunications Act.

The above recommendations are the primary reasons the county has procured a telecommunications consultant to assist with these applications.

Analysis:

When evaluating proposed uses for special use permits, in addition to analyzing the potential adverse impacts of the use, staff utilizes two (2) general guidelines for evaluation as set forth in the zoning ordinance.

First, the proposed use should not tend to change the character and established pattern of the area or community.

The character and established pattern of the area where the communications facility is proposed is rural, not highly populated, and has land involved in agricultural production. According to the Virginia Department of Transportation, the entire segment of Route 6 in Fluvanna County is designated as a Virginia Byway. “Per Virginia Code, a Virginia Byway means those highways designated by the Commonwealth Transportation Board (CTB) pursuant to articles §33.1-62 through §33.1-66. The Virginia Outdoors Plan, from the Department of Conservation and Recreation (DCR), identifies roads that have been considered as having intrinsic qualities of Virginia Byways for many years”.

To be considered, a segment of road must substantially meet the following criteria:

- The route provides important scenic values and experiences;
- There is diversity of experiences, as in transition from one landscape scene to another;
- The route links together or provides opportunities to leave high-speed routes for variety and leisure in motoring. Landscape control or management along the route is feasible;
- The route allows for additional features that will enhance the motorist’s experience and improve safety;
- Local government(s) has/have initiated zoning or other land-use controls, so as to reasonably protect the aesthetic and cultural value of the highway. (Attachment D)

Staff conducted a site visit on Monday, August 27, 2012, in order to assess the potential visual impacts of the proposed tower, and also to observe the balloon test. Weather conditions that day were sunny, dry, and cool with little wind. Staff concluded that the tower would be visible from portions of West River Road (Route 6), at the subject parcel, but minimally visible when traveling east or west away from the subject parcel. The tower would also be clearly visible from portions of the Rosewood Manor Rural Cluster subdivision located south of the site. The proposed tower would be situated in an open space, with little to no existing vegetation in which to screen the facility from Route 6. The balloon was also visible from neighboring properties and roadways, including the Fluvanna Baptist Church located adjacent to the south. In consideration of the proximity of the proposed tower’s location to West River Road (Route 6), a Virginia Byway, the proposed facility could also be concealed as a firetower or other similar structure that would better blend with the rural character of the area. As proposed, it appears that a tower sited at this location could change the character and established pattern of the area, and/or create impacts that may be regarded as less than sensitive to its scenic beauty. (Attachment E)

Second, the proposed use should be compatible with the uses permitted by-right in that zoning district and shall not adversely affect the use/or value of neighboring property.

This is a rural area, and all of the surrounding property is zoned A-1 (Agricultural General). Since the proposed tower will be less than 200 feet, it will not have to be lighted. The applicant is proposing to build a 195 foot non-concealed freestanding antenna support facility within a 125 foot x 125 foot lease area, which per Sec. 22-27-8, requires a special use permit, and is not permitted by-right. Some permitted by-right uses in the A-1 zoning district include single-family dwellings, minor utilities, hunting preserves, public parks, home occupations, private kennels, group homes, and temporary sawmills to name a few. The definition of a minor utility is: *“Facilities for the distribution and collection of public, private, and central utilities including poles, lines, transformers, pipes, meters, and communication and distribution lines”*.

When evaluating an application for a proposed new telecommunication antenna support facility (TASF), siting of new facilities shall be in accordance with Sec. 22-27-8, the siting preference table. The applicant is proposing to construct a new 195 foot non-concealed freestanding antenna support facility (monopole). The subject property is zoned A-1 (Agricultural, General), and in accordance with the siting preference table, this application requires a special use permit and public hearing process.

Pursuant to Sec. 22-27-9.8, all new telecommunication antenna support facilities shall meet the requirements of that section. Staff has evaluated the application, and it appears all of the requirements of this section have been met.

According to the Fluvanna County Wireless Master Plan, the area of the proposed tower is absent of sufficient telecommunications service, and could accommodate all of the service providers with a uniform and dependable signal 24/7. The applicant has stated in their application, that *“the tower will be designed to support a minimum of six collocations and the fenced compound will house a variety of support buildings and equipment pads”*. The ability to accommodate more collocations could result in a need for fewer new towers. The applicant has also stated that *“the facility will provide wireless services, telephone and broadband, along the Route 6 corridor and surrounding area”*. Also, *one radiation center on the tower and a 10’ x 20’ space in the compound will be made available for Fluvanna County’s 911 equipment on a rent free basis”*.

The applicant proposes to construct and maintain a leased telecommunication facility on the north side of West River Road (U.S. Route 6), one mile west of its intersection with Rolling Road (Route 620). The proposed facility would be comprised of a 195 foot monopole tower with the potential for multiple carriers, along with peripheral ground equipment. The proposed site will be within a 80 x 90 fenced area, surrounded by a (125 ft. x 125 ft.) lease area. If approved, the applicant will be required to submit a site development plan for review and approval. (Attachment F)

Consultant's Recommendation:

Cityscape Consultants, Inc. report is incomplete. Therefore staff is requesting deferral of this application pending a complete evaluation and recommendation.

With regard to this application, in a letter dated September 14, 2012, Cityscape Consultants, Inc. stated *“that location has the potential to change many of the pending considerations. There is no federal guidelines as to an order of processing so being Kidd’s Store has an action path, Rockfish Creek does have a direct impact and could displace a site at the school, which if it does would shift Kidd’s Store to another private site”*

Conclusion:

Due to other pending telecommunication applications in this area, and an incomplete evaluation from Cityscape Consultants, Inc., it is not clear if this request for a special use permit for a 195 ft. monopole telecommunication facility is in substantial conformance with the intent of the Telecommunications Master Plan. If the Planning Commission wishes to consider this request in the absence of a complete evaluation and recommendation from the Consultant, then they want to consider the potential for visual impacts to the Route 6 Virginia Byway, and to nearby properties, and also to whether or not this application is in conformance with the Telecommunications Master Plan and the Telecommunications Facilities Ordinance. Given the proximity of the proposed facility to the Byway, the Commission may also wish to consider requiring a concealed facility instead of the proposed non-concealed facility. If approved, staff recommends the following conditions:

- 1) The tower, including antennae, will not be higher than 199 ft. and will not be lit;
- 2) The applicant secures all necessary permits required, and submits structural design and certification by a Virginia Registered Professional Engineer that the proposed facility, as built, will comply with EIA/TIA 222-G for the wind zone for Fluvanna County; Virginia;
- 3) Prior to issuance of building permits the applicant shall submit satisfactory SHPO and NEPA documentation;
- 4) The applicant shall secure the necessary permits required by Fluvanna County and VDOT;
- 5) The applicant provides written approval of County Public Safety antennas and feed lines use of the tower at the highest designed elevation. Space for ground level electronic equipment shall be provided;
- 6) The facility when completed shall be accessible only to authorized personnel;
- 7) The tower shall be a monopole, and shall be engineered with breakpoint technology;
- 8) The facility shall install the necessary landscaping buffer;
- 9) The applicant shall install an emergency generator to ensure continuity of telecommunications operations in the event of a disaster or major power outage; and provisions for such generators shall include additional special treatments; for diesel, a fuel retaining area for propane, ignition separation requirements; and that generator

- testing shall occur only between 9 AM and 4 PM Monday through Friday; and the same shall be noted on the site development plan;
- 10) If the structures should no longer be needed, the applicant shall remove them, and restore the grounds to the prior condition;
 - 11) The support structure is to be sufficient to support antennas of a like design for at least six (6) wireless service providers;
 - 12) The tower shall be in the same location as shown in the application;
 - 13) Violation of any condition of this permit shall be grounds for revocation of this permit, and;
 - 14) The Board of Supervisors, or their representative, has the right to inspect the property for compliance with these conditions at any time.

Suggested Motion:

I move that the Planning Commission recommend **approval/denial** of SUP 12:07, a special use permit request to allow for a 195 foot monopole telecommunications tower pursuant to Fluvanna County Code Section 22-27-1 with respect to 12.7 acres of Tax Map 39, Section A, Parcel 29, (if approved) subject to the conditions listed in the staff report.

Attachments:

- A – Application, statement of proposed use, and APO letter
- B – Aerial Vicinity Map
- C – Email from the Health Dept.
- D – Virginia Department of Transportation excerpt and byway map
- E - Applicant's photos, photosimulations, and balloon flight statement
- F – Tower design certification, search ring map, and sketch site plan

Copy: Owner- Robert K. Spencer, P.O. Box 52, Scottsville, VA 24590
Applicant – National Communication Towers, LLC, 5413 Patterson Avenue, Suite 101, Richmond, VA 23226
CityScape Consultants, 7050 W. Palmetto Park Road # 15-652, Boca Raton, FL 33433

JUL 27 2012



COMMONWEALTH OF VIRGINIA
COUNTY OF FLUVANNA

Fluvanna County

Application for Special Use Permit (SUP)

Owner of Record: Robert K. Spencer

Applicant of Record: National Comm. Towers, LLC

E911 Address: P.O. Box 52, Scottsville, VA 24590

E911 Address: 5413 Patterson Ave., Suite 101, Rich., VA 23226

Phone: 434-286-3400 Fax: _____

Phone: 804-673-8800 X303 Fax: 804-673-4242

Email: _____

Email: adoss@nationaltowers.com

Representative: Al Doss, National Comm. Towers, LLC

Note: If applicant is anyone other than the owner of record, written authorization by the owner designating the applicant as the authorized agent for all matters concerning the request shall be filed with this application.

E911 Address: 5413 Patterson Ave., Suite 101, Rich., VA 23226

Phone: 804-673-8800 X303 Fax: 804-673-4242

Is property in Agricultural Forestal District? No Yes

Email: adoss@nationaltowers.com

If Yes, what district: _____

Tax Map and Parcel(s): 39-A-29

Deed Book Reference: WB 23-673

Acreage: 12.7 Zoning: A-1

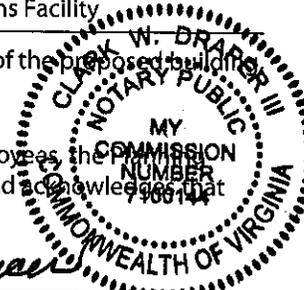
Deed Restrictions? No Yes (Attach copy)

Request for a SUP in order to: construct a 199' communications tower

Proposed use of Property: Telecommunications Facility

*Two copies of a plan must be submitted, showing size and location of the lot, dimensions and location of the proposed building structure or proposed use, and the dimensions and location of the existing structures on the lot.

By signing this application, the undersigned owner/applicant authorizes entry onto the property by County Employees as the Commission, and the board of Supervisors during the normal discharge of their duties in regard to this request and acknowledge that county employees will make regular inspections of the site.



Date: 28 December 2011 Signature of Owner/Applicant: _____

Subscribed and sworn to before me this 28 day of December 2011 Register # 7100144

My commission expires: 6/30/2015 Notary Public: _____

Certification: Date: _____ Zoning Administrator: _____

All plats must be folded prior to submission to the Planning Department for review. Rolled plats will not be accepted.

OFFICE USE ONLY	
Date Received: <u>7/27/12</u>	Pre-Application Meeting: _____ PH Sign Deposit Received: <u>CK#9147</u> Application #: <u>SUP 12-007</u>
\$800.00 fee plus mailing costs paid: _____	Mailing Costs: \$20.00 Adjacent Property Owner(APO) after 1st 15, Certified Mail
Amendment of Condition: \$400.00 fee plus mailing costs paid: _____	
Telecommunications Tower \$1,500.00 fee plus mailing costs paid: _____	<u>(\$5,500 w/Consultant Review paid) CK# 9146</u>
Election District: <u>Fork Union</u>	Planning Area: <u>Rural Preservation</u>
Public Hearings	
Planning Commission	Board of Supervisors
Advertisement Dates: <u>9/13/12 + 9/20/12</u>	Advertisement Dates: <u>10/4/12 + 10/11/12</u>
APO Notification: <u>9/12/12</u>	APO Notification: <u>10/3/12</u>
Date of Hearing: <u>9/26/12</u>	Date of Hearing: <u>10/17/12</u>
Decision: _____	Decision: _____

Received

JUL 27 2012

Fluvanna County



COMMONWEALTH OF VIRGINIA
COUNTY OF FLUVANNA
Public Hearing Sign Deposit

Name: National Communication Towers, LLC

Address: 5413 Patterson Ave., Suite 101

City: Richmond

State: VA

Zip Code: 23226

I hereby certify that the sign issued to me is my responsibility while in my possession. Incidents which cause damage, theft, or destruction of these signs will cause a partial or full forfeiture of this deposit.

A. S. Wilson
Applicant Signature

1/3/2012
Date

*Number of signs depends on number of roadways property adjoins.

OFFICE USE ONLY	
Application #: BZA _____ : CPA _____ : SUP 12:007ZMP _____ : ZTA _____ :	
\$90 deposit paid per sign*: CK# 9147	Approximate date to be returned: November 2012

Describe briefly the **improvements** proposed. State whether new buildings are to be constructed, existing buildings are to be used, or additions made to existing buildings.

Wireless communication facility to include a 199' Monopole Tower and support facility enclosed within an 80' X 90' fenced compound. The tower will be designed to support a minimum of six collocations and the fenced compound will house a variety of support buildings and equipment pads.

NECESSITY OF USE: Describe the reason for the requested change.

To provide wireless services, telephone and broadband, along the RT 6 corridor and surrounding area.

PROTECTION OF ADJOINING PROPERTY: Describe the effects of the proposed use on adjacent property and the surrounding neighborhood. What protection will be offered adjoining property owners?

The tower will be a Monopole design to help minimize the potential visual impact to the surrounding properties. Also the existing trees along the property line will remain and additional evergreen trees will be planted to screen the view of the facility from RT 6.

ENHANCEMENT OF COUNTY: Why does the applicant believe that this requested change would be advantageous to the County of Fluvanna? (Please substantiate with facts.)

The Facility will provide wireless phone coverage, data transmissions and internet services to the area. Also, one Radiation Center on the tower and a 10' X 20' space in the compound will be made available for Fluvanna County's 911 equipment on a rent free bases.

PLAN: Furnish plot plan showing boundaries and dimensions of property, width of abutting right-of-ways, location and size of buildings on the site, roadways, walks, off-street parking and loading space, landscaping, etc. Architect's sketches showing elevations of proposed buildings and complete plans are desirable and may be required with the application. Remarks:

Please see the attached Site Plan.

**Statement of Proposed Use
Special Use Permit Application
National Communication Towers, LLC
Rockfish Creek, Tax Parcel 39-A-29**

National Communication Towers L.C. ("National") as lessee, hereby applies for a Special Use Permit to allow a telecommunications facility and accessory structures on leased land. The leased land is located on property known by Tax Map Parcel 39-A-29. The parcel is located on the north side of Rt. 6 approximately 5 miles west of Rt. 620, Kidds Store. According to the tax records of Fluvanna County it is owned by Colonel Robert K. Spencer, P.O. Box 52, Scottsville, VA 24590.

National is requesting a Special Use Permit to allow a self support Monopole Tower, measuring approximately 195' in height with a 4' lightning rod, to be located within a leased area, measuring 125' x 125'. The facility will be designed to allow multiple collocations on the tower and within a secure fenced compound area. The exact number and types of future users is difficult to predict, however the tower will be designed to accommodate a mix of carrier types. The design mix will include: 6 or more users of panel antennas (typically 15 panels, 12" wide X 72" high, per user). Likewise, the compound area is designed to accommodate a mix of shelter types and sizes as denoted on the drawings submitted with this application.

The 12.7 acre parcel is zoned A1. According to the Fluvanna County zoning ordinance, telecommunication facilities are permitted on A1 zoned properties, with Special Use Permits. Proper setback distances have been observed and are denoted on the enclosed plans.

National develops telecommunication facilities for collocations by cellular, PCS, paging and other wireless services which rely upon a network of elevated platforms in areas where the carriers have gaps in signal coverage, or "holes." Such a hole exists along the Route 6 corridor. Supported by propagation studies, National believes a communications facility located on the subject parcel will enable carriers to fill this gap, while minimizing the effect on surrounding property owners.

The FCC has authorized several carriers to provide wireless services in this part of Cumberland County. Those carriers include: Sprint, AT&T, Verizon Wireless U.S. Cellular and Ntelos.

The facility will be in continuous operation but will produce no interference with other types of communications including: radio, television, cable TV, garage door openers or other consumer electronic equipment. No offices will be constructed on the site, so neither sewer nor water facilities will be required. The facility will produce no refuse, noise, vibration, dust, glare, odors or fumes. Neither National nor any of the tower users will introduce hazardous or toxic substances to the site. After completion of construction, the only traffic associated with the site will be short visits by technicians on a monthly basis to test or replace equipment components. In most instances towers below 200' are not required by the FAA to be lit.

The facility will provide a vital public safety service to this part of the County in two important ways. First, the County may co-locate antennas for law enforcement and fire and rescue at the 195' radiation Center along with a 10' X 20' space inside of the compound on rent free bases. Second, this new facility will enable wireless services to be extended to this part of the County, enabling the public at large to utilize those services for important medical or life-safety calls.

The proposed use conforms to the provisions of all applicable ordinances, regulations, adopted standards and conditions. National is not seeking any wavier or variance for the proposed use at this time. National respectfully requests the approval of this Special Use Permit application.



Al Doss
Vice President of Development
National Communication Towers, L.L.C.

DEVELOPER
SOS V.C. III
YTD/12/15/2011

12/15/2011
Date

NATIONAL COMMUNICATION TOWERS, LLC

5413 Patterson Avenue, Suite 101
Richmond, Virginia 23226
Telephone: 804-673-8800
Facsimile: 804-673-4242

Mailing Address:
P.O. Box 8502
Richmond, Virginia 23226

December 9, 2011

Darren Coffey
Planning Director, Fluvanna County
P.O Box 540
Palmyra, VA 22963

Re: Siting Hierarchy for an SUP application for a Wireless Telecommunications Tower
Applicant: National Communication Towers, LLC
Tax Parcel 39-A-29 ("Rockfish Creek Tower")
Owner: Colonel Robert K. Spencer
Latitude: 37-47-46.7N Longitude: 78-22-34.1W

Dear Mr. Coffey:

As per the Fluvanna County Zoning Ordinance Article 27, Section 22-27-7, I am submitting this statement to demonstrate compliance with the County's siting hierarchy for the construction of new wireless communication facilities.

Our research indicates there is no County-owned property or any suitable tall structures within approximately a 1.25 mile radius of our proposed tower site. Therefore, our proposed 195' Monopole tower complies with the "Siting Hierarchy" found in Article 27, Section 22-27-7 of the Fluvanna County Zoning Ordinance.

Should you have any questions, please do not hesitate to contact me at 804.366.1165

Sincerely,



Al Doss
Vice President of Operations

Received
DEC 13 2011

FLUVANNA COUNTY

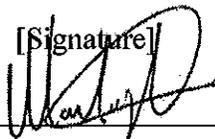
Affidavit of Mark Taylor, P.E.

(Review of Letter Entitled:
(Siting Hierarchy for an SUP application for a Wireless -
(Telecommunications Tower
(Dated: 12/9/2011
(Applicant: National Communication Towers, LLC.
(Site Name: Rockfish Creek Tower
(Tax Parcel 39-A-29

I, Mark Taylor, declare that I am a licensed Professional Engineer in the Commonwealth of Virginia with my primary experience and expertise in Wireless Communications and Safety.

I have reviewed the document attached herewith, and agree that the statements set forth in the letter are factual and accurate to my knowledge.

[Signature]



[Date]

12/19/2011

Mark A. Taylor, P.E.

Virginia License: 039282

Seal:



6019090

NOV 18 2011

COMMONWEALTH OF VIRGINIA



December 19, 2011

Mr. Al Doss
Vice President of Operations
National Communications Towers, LLC
5413 Patterson Ave, Suite 101
Richmond, VA 23226

RE: Proposed Telecommunications Structure at the Rockfish Creek Tower Site in Fluvanna County, VA, Latitude: 37-47-46.7N Longitude: 78-22-34.1W.

Dear Mr. Doss:

This letter is provided per the request of National Communications Towers, L.L.C., and addresses the assurances that National Communication Towers will meet "Fluvanna County Communications Application Checklist" items 4 and 5.

Item 4: National Communications Towers, LLC will ensure its member tenants adhere and comply with FCC rules regarding exposure to RF energy.

Item 5: National Communications Towers, LLC will ensure its member tenants adhere and comply with FCC rules regarding radio frequency interference.

If any questions arise regarding the Radio Frequency issues of proposed application please get in touch at the number or email address listed below.

Cordially,

Mark Taylor, P.E.
Edge Wireless, LLC
marktaylor03@comcast.net
M 443-271-3714



NATIONAL COMMUNICATION TOWERS, LLC

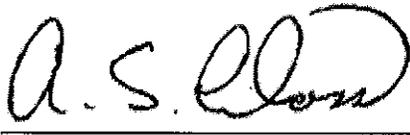
5413 Patterson Avenue, Suite 101
Richmond, Virginia 23226
Telephone: 804-673-8800
Facsimile: 804-673-4242

January 12, 2012

Search Ring Certification Rockfish Creek

This is to certify the submitted NCT Search Ring depicted in the map titled "NCT SEARCH RING" is based on the best information received from the carrier as to the site location and is the same search ring as utilized in the selection of the site.

Signed: _____



Al Doss
Vice President of Development

Memorandum

DATE: August 2, 2012
RE: APO'S for **SUP 12:07** Neighborhood Meeting
TO: Allyson Finchum
FROM: Lauren Ryalls

Please be advised the attached letter went out to the attached list of Adjacent Property Owners for the **August 8, 2012** Neighborhood meeting.



COUNTY OF FLUVANNA

"Responsive & Responsible Government"

P.O. Box 540 Palmyra, VA 22963 (434) 591-1910 FAX (434) 591-1911 www.co.fluvanna.va.us

MEMORANDUM

TO: Area Property Owners and Residents
FROM: Allyson Finchum, Planning Director
DATE: August 2, 2012
SUBJECT: Neighborhood Meeting – August 8, 2012 – 4:30 p.m.

The following meetings have been scheduled to consider this request:

SUP 12:07 – National Communication Towers, LLC – A request for a Special Use Permit (SUP) to allow for a 195-foot wireless communications tower with respect to 12.7 acres of Tax Map 39, Section A, Parcel 29. The property is zoned A-1 (Agricultural, General) and is located on the north side of West River Road (State Route 6) 1 mile west of its intersection with Rolling Road (Route 620). The property is located in the Fork Union Election District and is within the Rural Preservation Planning Area.

Neighborhood Meeting: The Neighborhood Meeting is scheduled for Wednesday, August 8, 2012 beginning at 4:30 p.m. at the County Administrative Building's Morris Room (former Board Room) – Main Level. This is an informal meeting that will give the applicant the opportunity to present his/her plan, and residents the opportunity to ask questions and express their views regarding the application prior to the Planning Commission and Board of Supervisors public hearings.

Technical Review Committee: This Committee Meeting is scheduled for Thursday, August 9, 2012 from 10:00 a.m. – 12:00 p.m. in the Historical Court House of Fluvanna County. The Committee will review the application and send a recommendation to the Planning Commission.

Fluvanna County Planning Commission Public Hearing: The Planning Commission's Public Hearing is scheduled for Wednesday, September 26, 2012, at 7:00 p.m. in the Circuit Court Room – Main Level of the Fluvanna County Courts Building. The Planning Commission will hold a public hearing, where there will be an opportunity for public comment, and forward a recommendation to the Board of Supervisors. A separate notice will be sent to adjacent property owners.

Fluvanna County Board of Supervisors Public Hearing: The Fluvanna County Board of Supervisors' Public Hearing is scheduled for Wednesday, October 17, 2012, at 7:00 p.m. in the Circuit Court Room – Main Level of the Fluvanna County Courts Building. The Board of Supervisors will hold a public hearing, where there will be an opportunity for public comment. A separate notice will be sent to adjacent property owners.

If you have further questions or need additional information, please contact the Fluvanna County Planning & Community Development Department at (434) 591-1910.

**YOUR NEIGHBORS MAY NOT HAVE RECEIVED THIS MAILING.
PLEASE SHARE THIS INFORMATION.**

SUP 12-07 Adjacent Property Owners

TMP#	Owner	Address	City, State	Zip Code
39 A 28	NEW FORESTRY LLC	3715 NORTHSIDE PKWY STE 2-500	ATLANTA, GA	30327
39 A 29	SPENCER, ROBERT K.	PO BOX 52	SCOTTSVILLE, VA	24590
39 A 30	FLUVANNA BAPTIST CHURCH & PARSONAGE	7524 WEST RIVER RD	SCOTTSVILLE, VA	24590
39 A 30	FLUVANNA BAPTIST CHURCH & PARSONAGE	7454 WEST RIVER RD	SCOTTSVILLE, VA	24590
39 13 51	RYDER, PHILLIP D	2422 RICHMOND RD	CHARLOTTESVILLE, VA	22911
48 A 16	SWALES, SUSAN	PO BOX 566	SCOTTSVILLE, VA	24590
48 A 17	SWALES, SUSAN	PO BOX 566	SCOTTSVILLE, VA	24590
APPLICANT/REPRESENTATIVE	AL DOSS, NATIONAL COMM. TOWERS, LLC	5413 PATTERSON AVE, STE 101	RICHMOND, VA	23226



Scale: 1:4513.988705

Date: 09/21/2012

Printed By:

Under Virginia State Law, these real estate assessment records are public information. Display of this property information on the internet is specifically authorized by the Code of Virginia §58.1-3122.2(as amended).

Fluvanna County
Technical Review Committee Meeting
August 9, 2012

SDP 12:05 – 33 Hunter’s Branch, LLC – Proposed storage yard appears to have no impact on the existing well and septic system located on this lot (Tax Map # 5-20-1). The existing system was sized to accommodate 5 employees or a maximum of 100 GPD. No additional connections can be made to this system without receiving prior health department approval.

SUB 12-12 – National Communication Towers, LLC – Proposed wireless communications tower appears to have no environmental impact. There are no homes, septic systems or wells located on this property.



Programs

Home > Programs > Virginia's Scenic Byways > Frequently Asked Questions

Contact Us | Search VirginiaDOT.org

Sut

Virginia Byway - Frequently Asked Questions

[Home](#) | [Scenic Drives](#) | [Print Map](#) | [Order Map](#) | [Photos](#) | [FAQs](#)

Adventure beckons on the roads and highways designated as Virginia Byways. More than mere pavement between points A and B, a Virginia Byway offers travelers a side of the Commonwealth that is uncommon and enlightening. Each byway leads to scenes of natural beauty and places of historical and social significance.

Currently, there are nearly 3,000 miles of roads designated as Virginia Byways, yet several hundred more miles of Commonwealth roadway could qualify. To help attract visitors and support economic development through tourism, the Virginia Department of Transportation (VDOT), the Virginia Department of Conservation and Recreation (DCR) and the Commonwealth Transportation Board (CTB), encourage local governments to nominate roads for Virginia Byway designation.

What's the purpose of the Virginia Byway program?

The program identifies road corridors containing aesthetic or cultural value near areas of historical, natural or recreational significance. By designating certain roads as Virginia Byways, widely distributing "A Map of Scenic Roads in Virginia," and promoting the Virginia Scenic Roads Web site, the program encourages travel to interesting destinations and away from high-traffic corridors.

Byways also stimulate local economies by attracting visitors to lesser-known destinations. One study showed visitors spent \$1.8 billion in counties adjacent to the Blue Ridge Parkway in Virginia and North Carolina. This supported nearly 75,000 jobs and generated more than \$147 million in tax revenues in the region.

What makes a Virginia Byway different from other roads?

People like to explore. The 2000 Virginia Outdoors Survey, conducted by Virginia's Department of Conservation and Recreation (DCR), finds that driving for pleasure is the second most popular outdoor activity, with more than 82% of the population participating.

By following the highlighted byways on the state transportation map, the scenic roads map and the scenic roads Web site, visitors are directed to places where they can tour wineries, explore Civil War battle sites and historical attractions, view beautiful scenery and enjoy recreational resources.

Once designated, a byway becomes part of the coordinated promotional strategy for Virginia tourism.

What are other important considerations regarding Virginia Byway status?

- Virginia Byway designation gives localities the opportunity to participate in the National Scenic Byway Program.
- It might limit placement of outdoor advertising signs.
- It does not affect land use controls.
- It does not limit road improvements.

What is a Virginia Byway?

Per Virginia Code, "Virginia Byway" means those highways designated by the Commonwealth Transportation Board (CTB) pursuant to articles §33.1-62 through §33.1-66. The Virginia Outdoors Plan, from DCR, identifies roads that have been considered as having intrinsic qualities of Virginia Byways for many years. In addition, there are other roads that meet the criteria for designation.

What are the criteria?

To be considered, a segment of road must substantially meet the following criteria:

- The route provides important scenic values and experiences.
- There is a diversity of experiences, as in transition from one landscape scene to another.
- The route links together or provides access to scenic, historic, recreational, cultural, natural and archeological elements.
- The route bypasses major roads or provides opportunities to leave high-speed routes for variety and leisure in motoring. Landscape control or management along the route is feasible.
- The route allows for additional features that will enhance the motorist's experience and improve safety.
- Local government(s) has/have initiated zoning or other land-use controls, so as to reasonably protect the aesthetic and cultural value of the highway.

What are the steps to designation?

1. Anyone can request byway designation, but local government(s) must adopt a resolution of support.
2. Upon receipt of a request and historical documentation from an interested party/local government, the Virginia Department of Transportation (VDOT) and the Virginia Department of Conservation and Recreation (DCR) collect information on local zoning laws, traffic volumes and accident reports before evaluating the roads according to the criteria.
3. Based on a joint review according to the criteria, the DCR Director recommends qualifying roads for consideration by the CTB.
4. Before the CTB acts, VDOT offers the local government the opportunity to hold a public hearing. If a public hearing is requested, VDOT's Local Assistance Division and DCR will provide assistance.
5. After the public hearing, or if no hearing was requested, the CTB officially designates the byway(s) at their next scheduled meeting. Subsequently, signs are posted, and changes are made to the appropriate maps.

How can I get more information about the Virginia Byway program?

Call **1-800-FOR-ROAD (1-800-367-7623)** or contact Lynn Crump, Virginia Department of Conservation and Recreation, at Lynn.Crump@dcr.virginia.gov.

For additional copies of this brochure or others in the VDOT Answers Your Questions series, please contact:

Virginia Department of Transportation
Office of Public Affairs
1401 East Broad Street
Richmond, VA 23219
E-mail: vdotinfo@VDOT.Virginia.gov

Page last modified: Nov. 1, 2010

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NATIONAL COMMUNICATION TOWERS, LLC

5413 Patterson Avenue, Suite 101
Richmond, Virginia 23226
Telephone: 804-673-8800
Facsimile: 804-673-4242

Rockfish Creek Tower Balloon Flight Certification Statement August 27, 2012

General weather conditions: fog in the early morning and lifted by 9 AM, average visibility after fog dissipated was 7-10 miles, light winds averaging 0 to 8 MPH from 7:40 AM to 12:02 PM and mostly calm throughout the morning.

7:40 AM: Balloon launched, winds calm at 0-3 MPH foggy

8:00 AM to 12:02 PM: Winds calm at 0-8MPH

12:02 PM: Ended balloon flight

Comments:

- 1) 9:20 AM Supervisor Weaver stopped by the site and examined the tower location as staked in the field. He enquired as to the location of the access road and the location of the compound on the site.
- 2) 10:30 AM Earnest Butler stopped by to view the balloon and enquired as to the location of the access road.
- 3) 11:30 AM Steven Tugwell, Fluvanna County Senior Planner, drove by the site.

Date: 8/27/2012



Stephen B. Gallagher

Vice President of Construction

5413 Patterson Avenue

Suite 101

Richmond, VA 23226

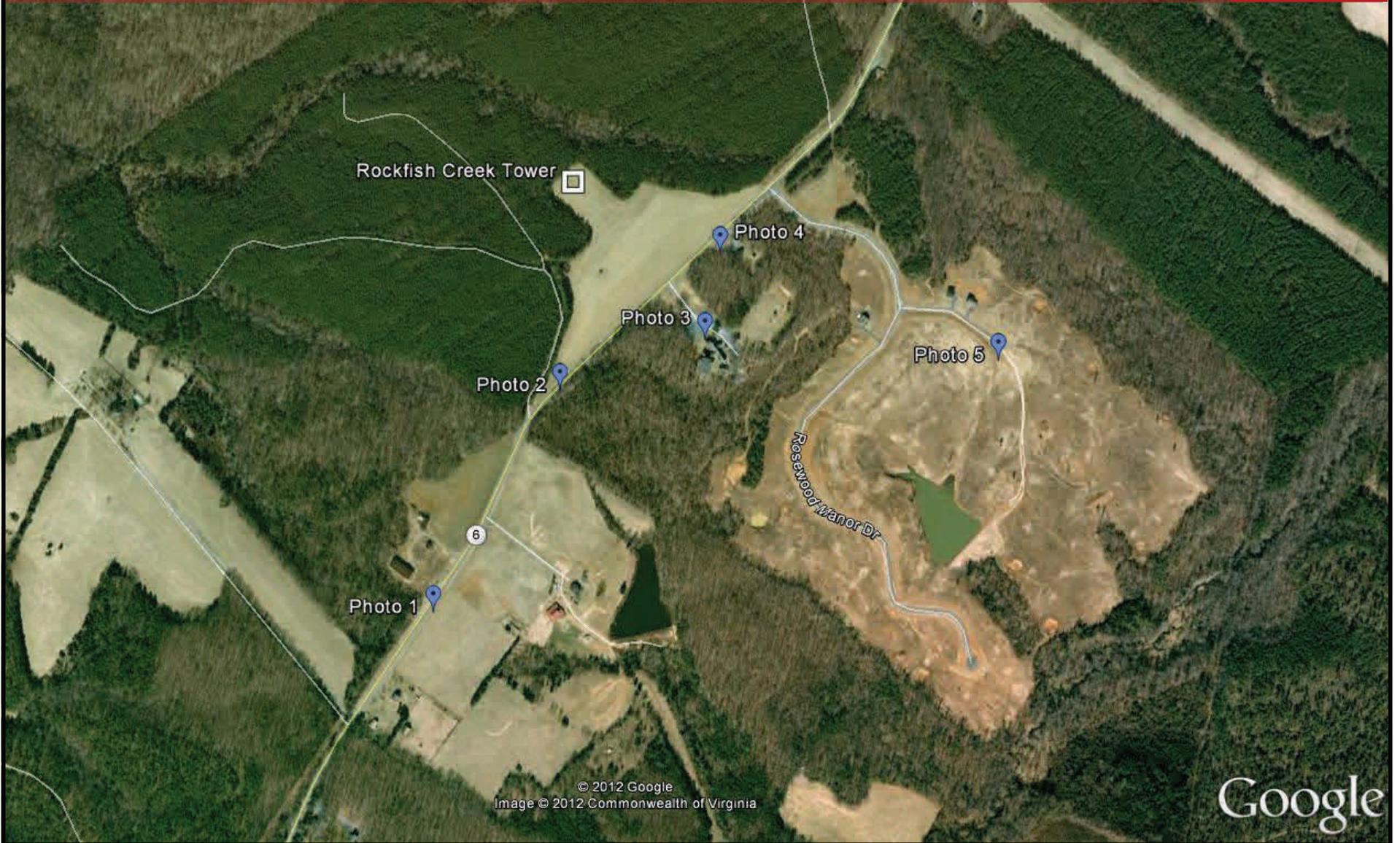
804.673.8800

Monopole Tower Simulation

August 27, 2012



NCT



Tower Visibility Map

NCT

TOWER VISIBLE 

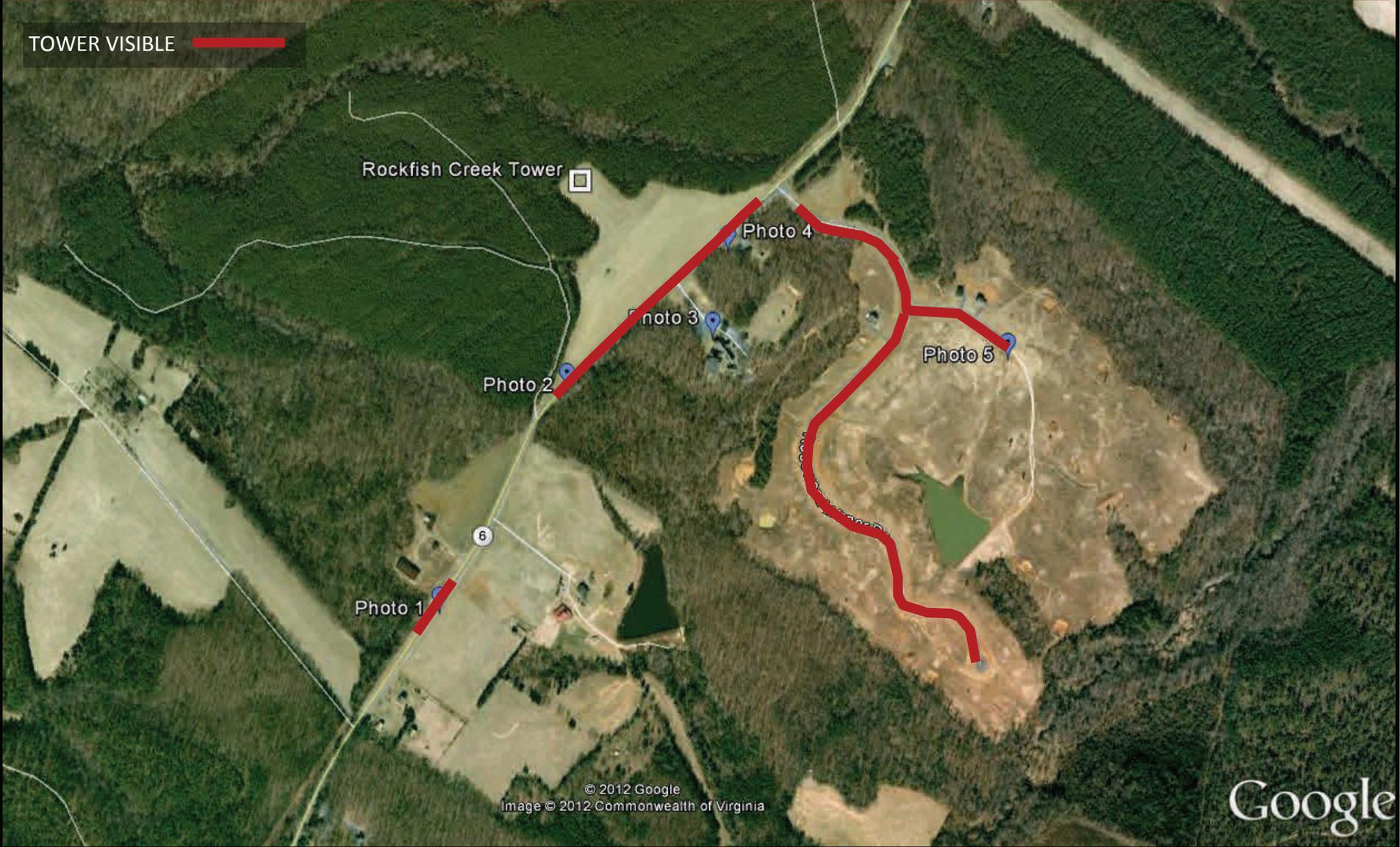


PHOTO 1: BALLOON FLIGHT



Enlarged View of Balloon

BALLOON



VIEW FROM THE WEST (LOOKING TO THE EAST ~2,365')
LOCATION: SWALE PROPERTY ALONG RT 6 (WEST RIVER ROAD)

NCT

PHOTO 1: TOWER SIMULATION



Enlarged View of Tower

TOWER



VIEW FROM THE WEST (LOOKING TO THE EAST ~2,365')
LOCATION: SWALE PROPERTY ALONG RT 6 (WEST RIVER ROAD)

NCT

PHOTO 2: BALLOON FLIGHT

BALLOON



VIEW FROM THE SW (LOOKING TO THE NE ~1,060')

LOCATION: RT 6 EDGE OF FIELD OPENING

NCT

PHOTO 2: TOWER SIMULATION

VIEW FROM THE SW (LOOKING TO THE NE ~1,060')
LOCATION: RT 6 EDGE OF FIELD OPENING

NCT

PHOTO 3: BALLOON FLIGHT

BALLOON



VIEW FROM THE SE (LOOKING TO THE NW ~1,080')

LOCATION: PARKING LOT AT FLUVANNA BAPTIST CURCH—SOUTH SIDE OF RT 6 (WEST RIVER ROAD)

NCT

PHOTO 3: TOWER SIMULATION



VIEW FROM THE SE (LOOKING TO THE NW ~1,080')

LOCATION: PARKING LOT AT FLUVANNA BAPTIST CURCH—SOUTH SIDE OF RT 6 (WEST RIVER ROAD)

NCT

PHOTO 4: BALLOON FLIGHT

BALLOON



VIEW FROM THE SOUTH (LOOKING TO THE NORTH ~860')
LOCATION: 524 WEST RIVER ROAD (RT 6) CHURCH PARSONAGE

NCT

PHOTO 4: TOWER SIMULATION



VIEW FROM THE SOUTH (LOOKING TO THE NORTH ~860')
LOCATION: 524 WEST RIVER ROAD (RT 6) CHURCH PARSONAGE

NCT

PHOTO 5: BALLOON FLIGHT

BALLOON



Enlarged View of Balloon

VIEW FROM THE SE (LOOKING TO THE NW ~2,465')
LOCATION: CUL DE SAC AT ROSEWOOD COURT

NCT

TOWER



VIEW FROM THE SE (LOOKING TO THE NW ~2,465')
LOCATION: CUL DE SAC AT ROSEWOOD COURT

NCT

NATIONAL COMMUNICATION TOWERS, LLC

5413 Patterson Avenue, Suite 101
Richmond, Virginia 23226
Telephone: 804-673-8800
Facsimile: 804-673-4242

September 21, 2012

Rick Edwards
Consultant
CityScape Consultants, Inc.
10704 Elmbrook Ct.,
Raleigh, NC 27614

Subject: Rockfish Creek Communications Tower Design Certification

This letter is to certify National Communications Towers, LLC, as applicant and developer of the Rockfish Creek Communications Facility, will design and build the proposed monopole tower capable of bearing the equipment loading of six collocations (See the attached Tower Design RFQ). Also in the event of a catastrophic occurrence, the tower will be designed with breakpoint technology and will fail at the 105' elevation AGL.

Sincerely,



Stephen B. Gallagher
V.P. of Construction

NATIONAL COMMUNICATION TOWERS, LLC

5413 Patterson Avenue, Suite 101
Richmond, Virginia 23226
Telephone: 804-673-8800
Facsimile: 804-673-4242

January 9, 2012

Rockfish Creek
Fluvanna County, VA
37-47-46.7N
-78-22-34.1W

National Communication Towers (NCT) is requesting a quote for a monopole tower with the following specifications:

Height: 195' Monopole plus 4' lightning rod
Tower Break Point at the 105' Elevation AGL

Loading:

Rad Ctr	Panel Antenna	Qty	Coax	Qty	Mounts
195	72"x12"x8"	15	1-5/8"	18	Low Profile
185	72"x12"x8"	15	1-5/8"	18	Low Profile
175	72"x12"x8"	12	1-5/8"	15	Low Profile
165	72"x12"x8"	12	1-5/8"	15	Low Profile
155	72"x12"x8"	12	1-5/8"	12	Low Profile
145	72"x12"x8"	12	1-5/8"	12	Low Profile

Safety Climb

Step Bolts

Galvanized finish

Designed to collapse at the 105' tower elevation

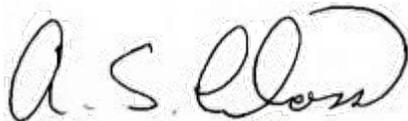
Revision G for structural analysis, Fluvanna County, VA

Certified foundation design, tower drawings and engineer's letter to be provided

Delivery to: 7500 Block of West River Road, Scottsville, Virginia 24596

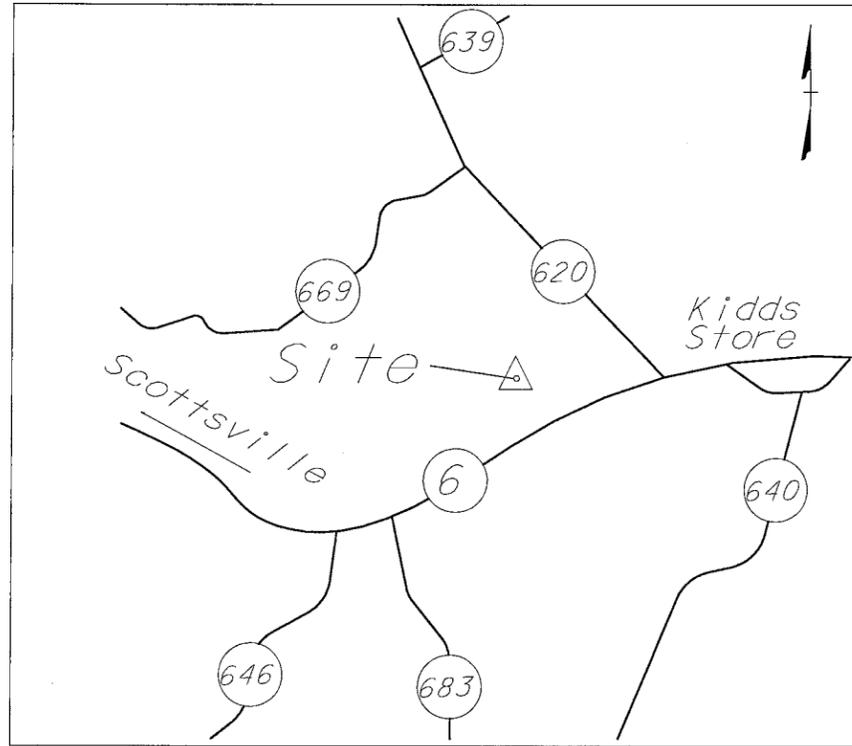
Should you have any questions please call feel free to contact me.

Regards,



Al Doss

Vice President of Development
National Communications Towers, LLC
Office: 804-673-8800 Ext. 303
Cell: 804-366-1165
Fax: 804-673-4242
adoss@nationaltowers.com



Vicinity Map Scale: 1" = 1000'

DIRECTIONS TO SITE

FROM RICHMOND, TAKE VA-6 WEST FOR APPROXIMATELY 42 MILES. SITE IS ON THE RIGHT 0.9 MILES BEYOND THE INTERSECTION WITH ROUTE 620.

Construction Certification

To the best of my knowledge this site is designed to comply with applicable Federal, State and Fluvanna Building Codes.

LANDOWNER

Col. Robert K. Spencer
P.O. Box 52
Scottsville, Va 24596

EROSION AND SEDIMENT CONTROL RESPONSIBLE LAND DISTURBER
NAME: ALBERT S. DOSS CERTIFICATE #: 22075 EXPIRATION DATE: MAY 25, 2014

ROCKFISH CREEK 199 TOWER SITE SITE PLAN

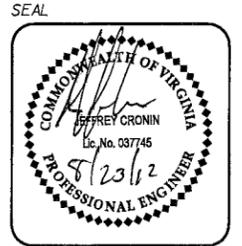
WEST RIVER ROAD (RTE 6)
FLUVANNA COUNTY
CUNNINGHAM DISTRICT
VIRGINIA

DEVELOPED BY:
NATIONAL COMMUNICATION TOWERS, LLC

INDEX OF SHEETS

SHEET NAME	SHEET NUMBER
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JMT
JOHNSON, MERRIMAN & THOMPSON
Engineering A Brighter Future
9201 Arboretum Parkway Suite 140
Richmond, Virginia 23236
Phone (804) 323-9900
Fax (804) 323-0596



NATIONAL COMMUNICATION
TOWERS, LLC
5413 PATTERSON AVE, SUITE 101
RICHMOND, VA 23226
804-366-1165

REVISIONS

NO.	DATE	ISSUE
1	8/23/12	

PROJECT NAME

ROCKFISH CREEK SITE

WEST RIVER ROAD
(RTE 6)

FLUVANNA COUNTY
CUNNINGHAM DISTRICT
VIRGINIA

DATE: 8/23/12

SCALE: AS SHOWN

DESIGNED: J.C.

CHECKED: J.C.

DRAWN: COT

SHEET TITLE

TITLE SHEET
T-1

GENERAL NOTES:

1. PROJECT DEVELOPER: NATIONAL COMMUNICATION TOWERS, LLC
5413 PATTERSON AVE, SUITE 101
RICHMOND, VA 23226

PROPOSED USE: 199' TELECOMMUNICATIONS TOWER AND SUPPORTING FACILITY CONTAINED WITHIN A FENCED COMPOUND.
2. TOWER OWNER: NATIONAL COMMUNICATION TOWERS, LLC
3. LAND OWNER: ROBERT K. SPENCER
4. ELECTRIC UTILITY: Central Virginia Electric Coop.
1-800-367-2832

TELEPHONE UTILITY: VERIZON
(877) 300-4498
5. ZONING APPROVAL:
6. PROPERTY ZONING: A-1

TAX PARCEL NUMBER: 39-A-29
7. LATITUDE: N 37° 47' 46.68"
8. LONGITUDE: W 78° 22' 32.82"

NCT WILL OBTAIN THE LAND DISTURBING PERMIT. THE CONTRACTOR SHALL SECURE ALL OTHER NECESSARY PERMITS FOR THIS PROJECT FROM ALL APPLICABLE GOVERNMENT AGENCIES.

ANY PERMITS WHICH MUST BE OBTAINED SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND AT HIS EXPENSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ABIDING BY ALL CONDITIONS AND REQUIREMENTS OF THE PERMITS.
10. THE CONTRACTOR SHALL NOTIFY THE COUNTY ENGINEER 24 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION.

LOCATION OF EXISTING SEWER, WATER OR GAS LINES, CONDUITS OR OTHER STRUCTURES ACROSS, UNDERNEATH, OR OTHERWISE ALONG THE LINE OF PROPOSED WORK ARE NOT NECESSARILY SHOWN ON THE PLANS, AND IF SHOWN ARE ONLY APPROXIMATELY CORRECT. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES (INCLUDING TEST PITS BY HAND IF NECESSARY) IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK. CONTACT ENGINEER IMMEDIATELY IF LOCATION OR ELEVATION IS DIFFERENT FROM THAT SHOWN ON PLANS. IF THERE APPEARS TO BE A CONFLICT, OR UPON THE DISCOVERY OF ANY UTILITY NOT SHOWN ON THE PLANS. FOR ASSISTANCE CALL "MISS UTILITY" 1-800-552-7001.
13. EXISTING PAVEMENT AND OTHER SURFACES DISTURBED BY THE CONTRACTOR (WHICH ARE NOT TO BE REMOVED) SHALL BE REPAIRED TO LIKE-NEW CONDITION.

THE CONTRACTOR IS REQUIRED TO MAINTAIN ALL DITCHES, PIPES, AND OTHER DRAINAGE STRUCTURES FREE FROM OBSTRUCTION UNTIL WORK IS ACCEPTED BY THE OWNER, THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES CAUSED BY FAILURE TO MAINTAIN DRAINAGE STRUCTURES IN OPERABLE CONDITION.
15. THE CONTRACTOR SHALL COORDINATE WITH NCT THE REQUIREMENTS FOR AND LIMITS OF OVERHEAD AND/OR UNDERGROUND ELECTRICAL SERVICE.
16. ALL MATERIALS AND WORKMANSHIP SHALL BE WARRANTED FOR ONE (1) FULL YEAR FROM THE DATE OF ACCEPTANCE.

THE CONTRACTOR SHALL HAVE A SET OF APPROVED PLANS AVAILABLE AT THE SITE
17. IN A WEATHER PROOF CONTAINER AT ALL TIMES WHEN WORK IS BEING PERFORMED. A DESIGNATED RESPONSIBLE EMPLOYEE SHALL BE AVAILABLE FOR CONTACT BY COUNTY INSPECTORS.

ALL WORK PRESENTED ON THESE DRAWINGS MUST BE COMPLETED BY THE CONTRACTOR UNLESS NOTED OTHERWISE. THE CONTRACTOR MUST HAVE CONSIDERABLE EXPERIENCE IN PERFORMANCE OF WORK SIMILAR TO THAT DESCRIBED HEREIN. BY ACCEPTANCE OF THIS ASSIGNMENT, THE CONTRACTOR IS ATTESTING THAT HE DOES HAVE SUFFICIENT EXPERIENCE AND ABILITY, THAT HE IS KNOWLEDGEABLE OF THE WORK TO BE PERFORMED AND THAT HE IS PROPERLY LICENSED AND PROPERLY REGISTERED TO DO THIS WORK IN THE STATE IN WHICH IT IS TO BE PERFORMED.
19. UNLESS SHOWN OR NOTED OTHERWISE ON THE CONTRACT DRAWINGS, OR IN THE SPECIFICATIONS, THE FOLLOWING NOTES SHALL APPLY TO THE MATERIALS LISTED HEREIN, AND TO THE PROCEDURES TO BE USED ON THIS PROJECT.

20. ALL HARDWARE ASSEMBLY MANUFACTURER'S INSTRUCTIONS SHALL BE FOLLOWED EXACTLY AND SHALL SUPERCEDE ANY CONFLICTING NOTES ENCLOSED HEREIN.
21. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE TO INSURE THE SAFETY OF THE STRUCTURE AND ITS COMPONENT PARTS DURING ERECTION AND/OR FIELD MODIFICATIONS. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF WHATEVER TEMPORARY BRACING, GUYS OR TIE DOWNS THAT MAY BE NECESSARY. SUCH MATERIAL SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER THE COMPLETION OF THE PROJECT.
22. ALL DIMENSIONS, ELEVATIONS, AND EXISTING CONDITIONS SHOWN ON THE DRAWINGS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE BEGINNING ANY MATERIALS ORDERING, FABRICATION OR CONSTRUCTION WORK ON THIS PROJECT. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND THE OWNERS ENGINEER. THE DISCREPANCIES MUST BE RESOLVED BEFORE THE CONTRACTOR IS TO PROCEED WITH THE WORK. THE CONTRACT DOCUMENTS DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY THE OWNER AND/OR THE ENGINEER SHALL NOT INCLUDE INSPECTION OF THE PROTECTIVE MEASURES OR THE CONSTRUCTION PROCEDURES.
23. ALL MATERIALS AND EQUIPMENT FURNISHED SHALL BE NEW AND OF GOOD WORKING QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS, ANY AND ALL SUBSTITUTIONS MUST BE PROPERLY APPROVED AND AUTHORIZED IN WRITING BY THE OWNER AND THE ENGINEER PRIOR TO INSTALLATION. THE CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF THE MATERIALS AND EQUIPMENT BEING SUBSTITUTED.
24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR INSURING THAT THIS PROJECT AND RELATED WORK COMPLIES WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL SAFETY CODES AND REGULATIONS GOVERNING THIS WORK.
25. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITION OF THE LOCAL BUILDING CODE.
26. ACCESS TO THE PROPOSED WORK SITE MAY BE RESTRICTED. THE CONTRACTOR SHALL COORDINATE INTENDED CONSTRUCTION ACTIVITY, INCLUDING WORK SCHEDULE AND MATERIALS ACCESS, WITH NCT FOR APPROVAL.
27. ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL CODES OR ORDINANCES. THE MOST STRINGENT CODE WILL APPLY IN THE CASE OF DISCREPANCIES OR DIFFERENCES IN THE CODE REQUIREMENTS.
28. ANY DAMAGE TO ADJACENT PROPERTIES WILL BE CORRECTED AT THE CONTRACTORS EXPENSE.
29. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES WITHIN CONSTRUCTION LIMITS PRIOR TO CONSTRUCTION.
30. THE CONTRACTOR SHALL MAINTAIN A RECORD OF ALL CHANGES, SUBSTITUTIONS BETWEEN WORK AS SPECIFIED AND INSTALLED AND RECORD CHANGES ON A CLEAN SET OF CONTRACT DRAWINGS WHICH SHALL BE TURNED OVER TO THE NCT CONSTRUCTION MANAGER UPON COMPLETION OF PROJECT.
31. THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION STAGING AREA WITH THE PROPERTY OWNER AND NCT WELL IN ADVANCE OF THE CONSTRUCTION START DATE.
32. CONTRACTOR IS TO FIELD VERIFY ALL EXISTING CONDITIONS AND PLAN DIMENSIONS, AND NOTIFY THE ARCHITECT AND ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
33. THE CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE WORK SITE ON A DAILY BASIS.



NATIONAL COMMUNICATION
TOWERS, LLC
5413 PATTERSON AVE, SUITE 101
RICHMOND, VA 23226
804-366-1165

REVISIONS		
NO.	DATE	ISSUE
1	8/23/12	

PROJECT NAME

ROCKFISH CREEK SITE

WEST RIVER ROAD
(RTE 6)

FLUVANNA COUNTY
CUNNINGHAM DISTRICT
VIRGINIA

DATE: 8/23/12

SCALE: AS SHOWN

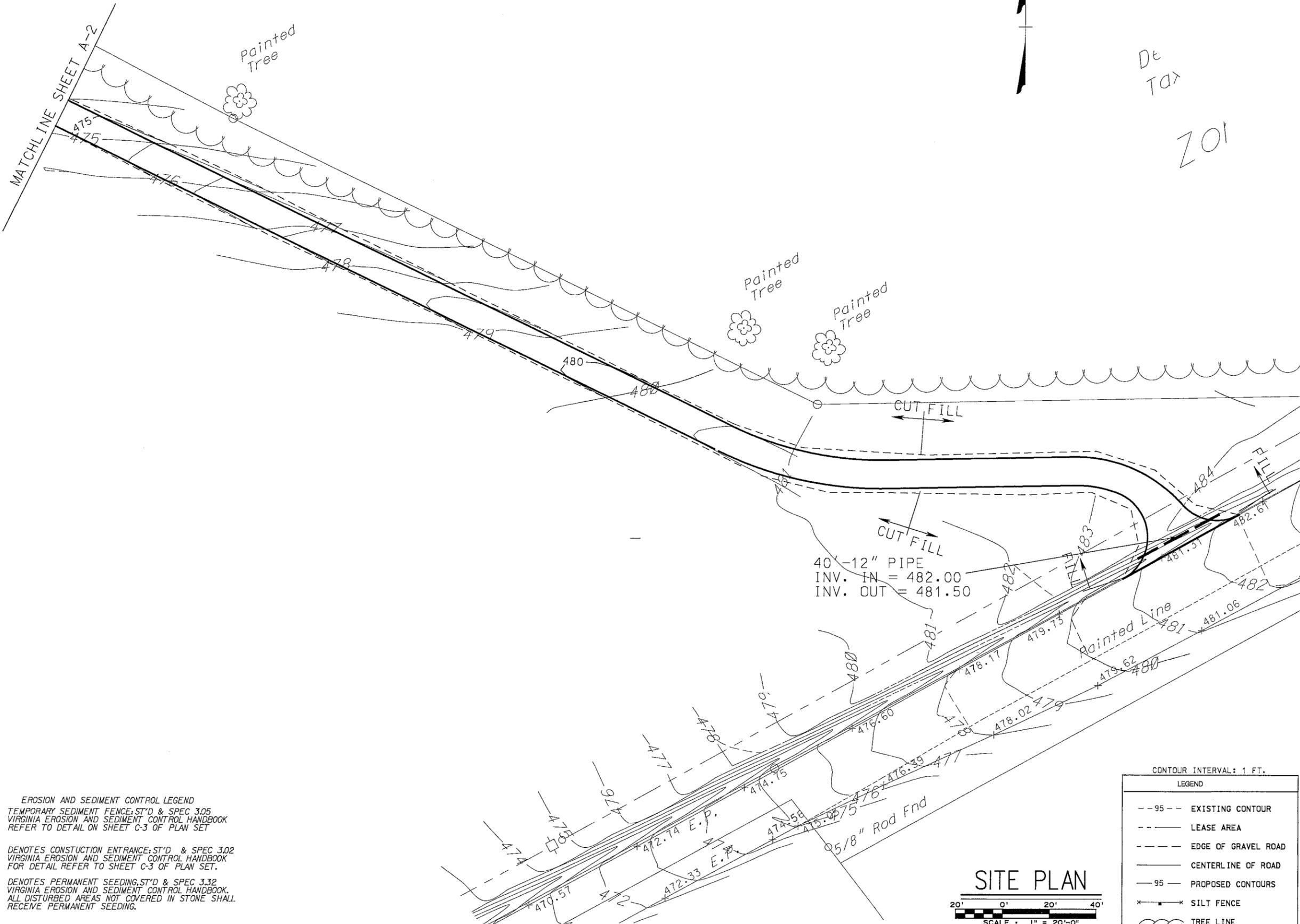
DESIGNED: J.C.

CHECKED: SBW

DRAWN: COT

SHEET TITLE

GENERAL NOTES
T-2



De
Tar
Z01

JMT
JOHNSON, MIRMIRAN & THOMPSON
 Engineering A Brighter Future
 9201 Arboretum Parkway Suite 140
 Richmond, Virginia 23236
 Phone (804) 323-9900
 Fax (804) 323-0596



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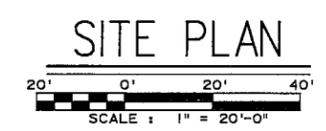
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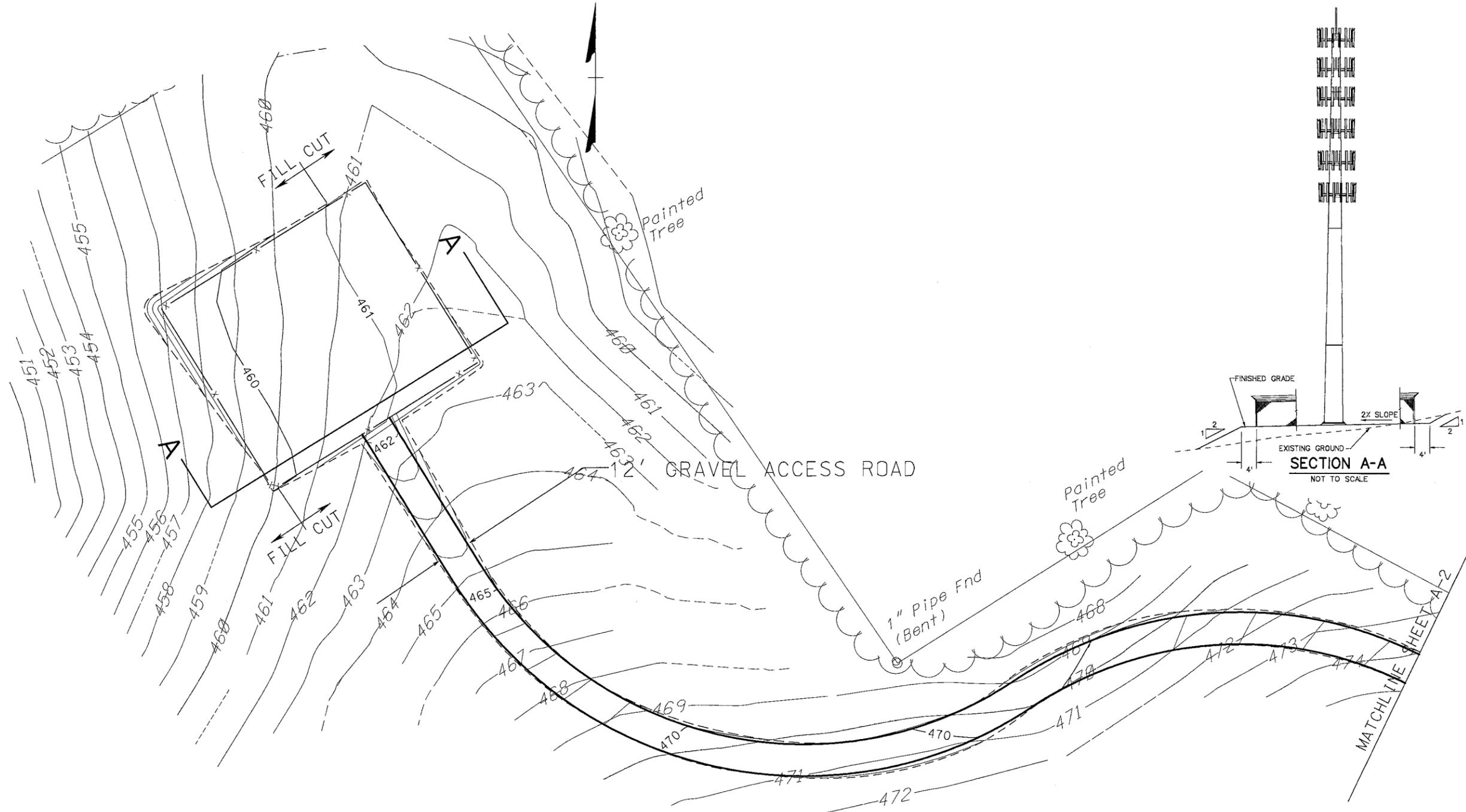
SHEET TITLE
GRADING
SITE PLAN
 A-1

EROSION AND SEDIMENT CONTROL LEGEND
 (SF) TEMPORARY SEDIMENT FENCE, ST'D & SPEC 3.05
 VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK
 REFER TO DETAIL ON SHEET C-3 OF PLAN SET
 (CE) DENOTES CONSTRUCTION ENTRANCE, ST'D & SPEC 3.02
 VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK
 FOR DETAIL REFER TO SHEET C-3 OF PLAN SET.
 (PS) DENOTES PERMANENT SEEDING, ST'D & SPEC 3.32
 VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK.
 ALL DISTURBED AREAS NOT COVERED IN STONE SHALL
 RECEIVE PERMANENT SEEDING.

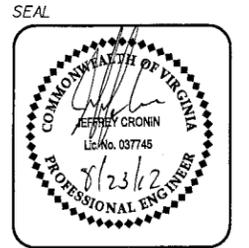
CONTOUR INTERVAL: 1 FT.

LEGEND	
-- 95 --	EXISTING CONTOUR
---	LEASE AREA
- - - -	EDGE OF GRAVEL ROAD
—	CENTERLINE OF ROAD
- 95 -	PROPOSED CONTOURS
—+—+—	SILT FENCE
~ ~ ~	TREE LINE





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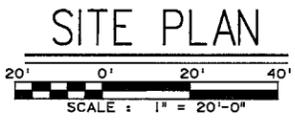
GRADING
 SITE PLAN

A-2

- EROSION AND SEDIMENT CONTROL LEGEND**
- (SF) TEMPORARY SEDIMENT FENCE, ST'D & SPEC 3.05 VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK REFER TO DETAIL ON SHEET C-3 OF PLAN SET
 - (CE) DENOTES CONSTRUCTION ENTRANCE, ST'D & SPEC 3.02 VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK FOR DETAIL REFER TO SHEET C-3 OF PLAN SET.
 - (PS) DENOTES PERMANENT SEEDING, ST'D & SPEC 3.32 VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK. ALL DISTURBED AREAS NOT COVERED IN STONE SHALL RECEIVE PERMANENT SEEDING.

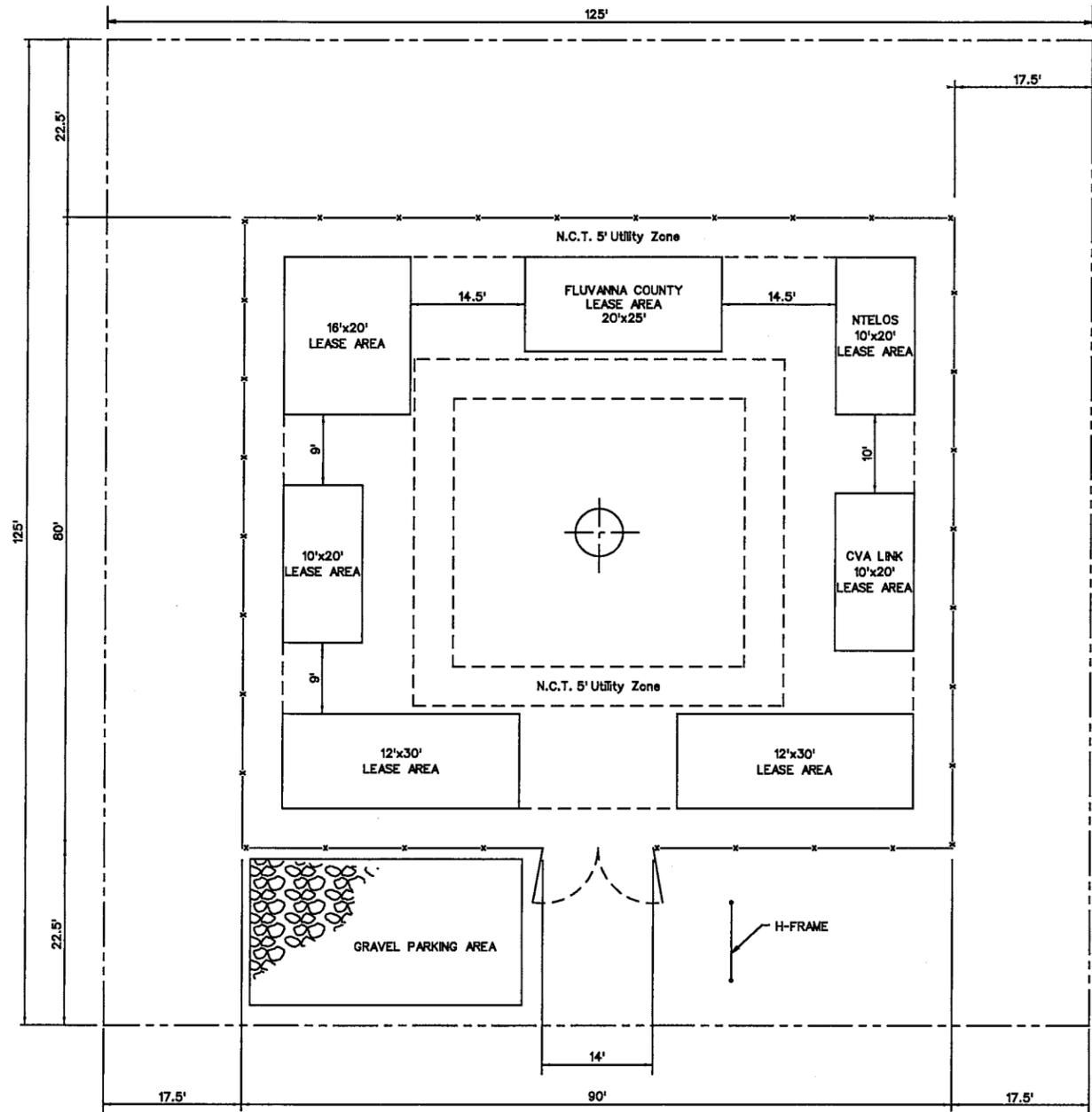
FEATURE	QUANTITY ESTIMATE	COST ESTIMATE
SILT FENCE	185 LINEAR FEET	185 LF x \$4.50/LF = \$833
CONSTRUCTION ENTRANCE	1 EA	1 EA x \$1000/EA = \$1000
SEED AND STRAW	4233 SQ FT = 470 SY	470 SY x \$1.10/SY = \$517
TOTAL		\$2350

AREAS OF DISTURBANCE	
NEW ACCESS ROAD TO FENCE	12'x900' = 10800 SQ FEET
COMPOUND AREA	80'x80' = 6400 SQ FEET
CUT AND FILL SLOPES	4233 SQ FEET
TOTAL	21433 SQ FEET



CONTOUR INTERVAL: 1 FT.

LEGEND	
- - - 95 - - -	EXISTING CONTOUR
- - - - -	LEASE AREA
- - - - -	EDGE OF GRAVEL ROAD
- - - - -	CENTERLINE OF ROAD
- - - 95 - - -	PROPOSED CONTOURS
x - x - x	SILT FENCE
⌢	TREE LINE

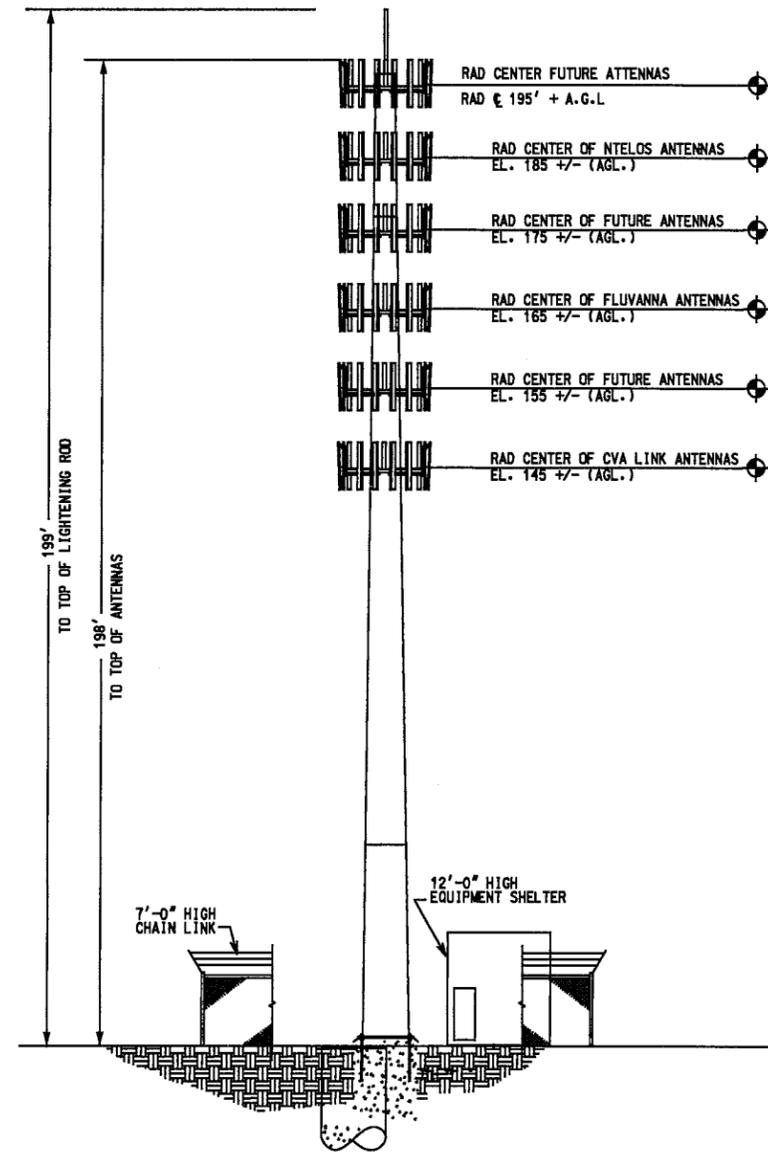
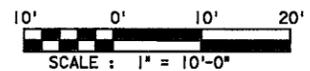


NOTES:

1. 195' MONOPOLE TOWER.
2. MAX. HEIGHT TO BE 199'.
3. TOWER WILL NOT BE LIGHTED.
4. TOWER COORDINATES
LATITUDE: N 37° 47' 46.68"
LONGITUDE: W 78° 22' 32.82"
5. TOWER DESIGN FOR A MINIMUM OF 6 CARRIERS.
6. NO HABITABLE STRUCTURES ALLOWED WITHIN LEASED PREMISES.
7. FACILITY CONSTRUCTION STANDARDS SHALL MEET OR EXCEED APPLICABLE U.S. AND ANSI HEALTH AND SAFETY STANDARDS.
8. NO ADVERTISING SHALL BE ALLOWED ON TOWER OR WITHIN LEASED PREMISES OR WITHIN ACCESS/UTILITY EASEMENT.

RF MAP						
TOWER USER	NUMBER OF ANTENNA	TYPE OF ANTENNA	BOTTOM ANTENNA HT.	ANTENNA LENGTH	TOP ANTENNA HT.	SEPARATION TO ABOVE

COMPOUND LAYOUT PLAN



TOWER ELEVATION

NOT TO SCALE

JMT
JOHNSON, MIRMIRAN & THOMPSON
 Engineering A Brighter Future
 9201 Arboretum Parkway Suite 140
 Richmond, Virginia 23236
 Phone (804) 323-9900
 Fax (804) 323-0596



NATIONAL COMMUNICATION TOWERS, LLC
 5413 PATTERSON AVE, SUITE 101
 RICHMOND, VA 23226
 804-366-1165

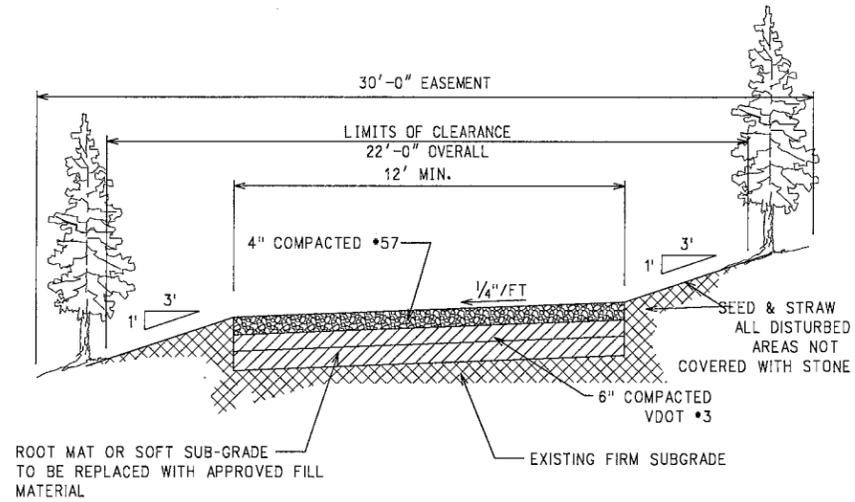
REVISIONS

NO.	DATE	ISSUE
1	8/23/12	

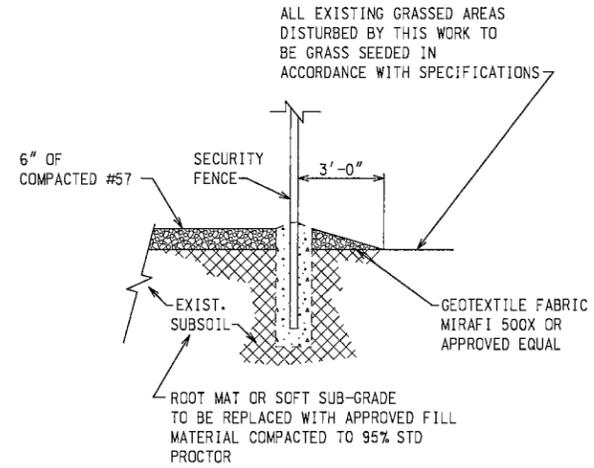
PROJECT NAME
 ROCKFISH CREEK SITE
 WEST RIVER ROAD
 (RTE 6)
 FLUVANNA COUNTY
 CUNNINGHAM DISTRICT
 VIRGINIA

DATE: 8/23/12
 SCALE: AS SHOWN
 DESIGNED: J.C.
 CHECKED: J.C.
 DRAWN: COT

SHEET TITLE
 COMPOUND LAYOUT & TOWER ELEVATION A-3



SECTION B-BTHROUGH STONE AGGREGATE ACCESS ROAD
NOT TO SCALE



STONE APRON DETAIL
NOT TO SCALE

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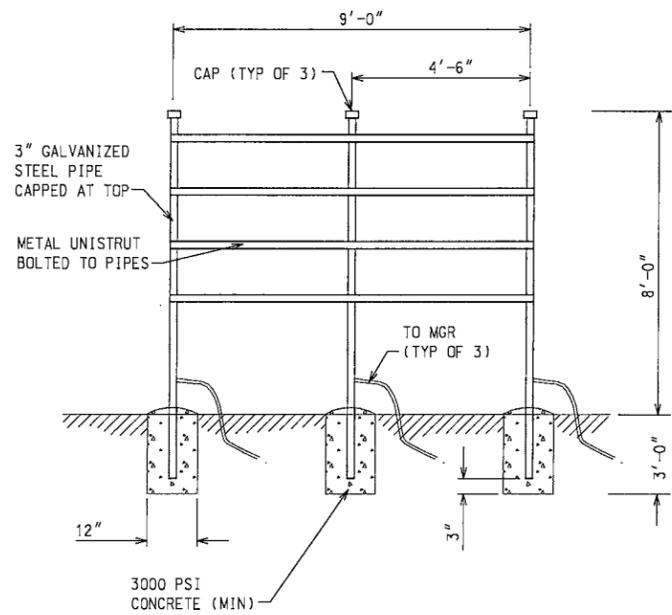
PROJECT NAME

ROCKFISH CREEK SITE
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 (RTE 6)
 FLUVANNA COUNTY
 CUNNINGHAM DISTRICT
 VIRGINIA

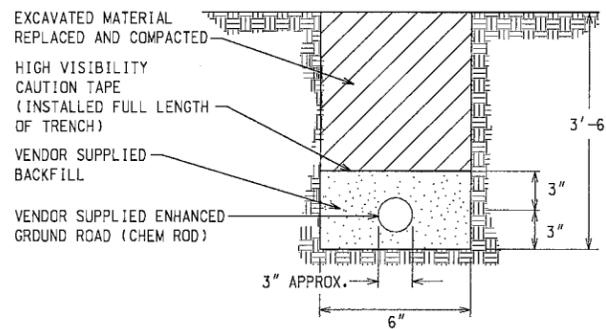
DATE: 8/23/12
 SCALE: AS SHOWN
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SHEET TITLE

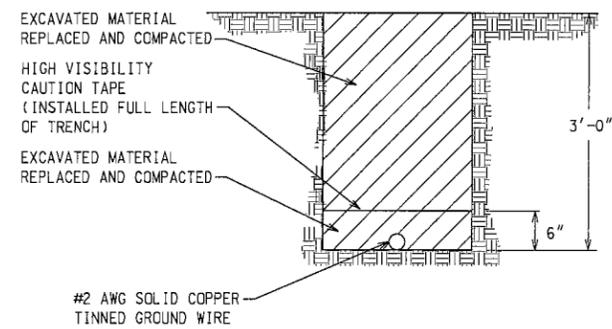
CIVIL NOTES
 &
 DETAILS
 C-1



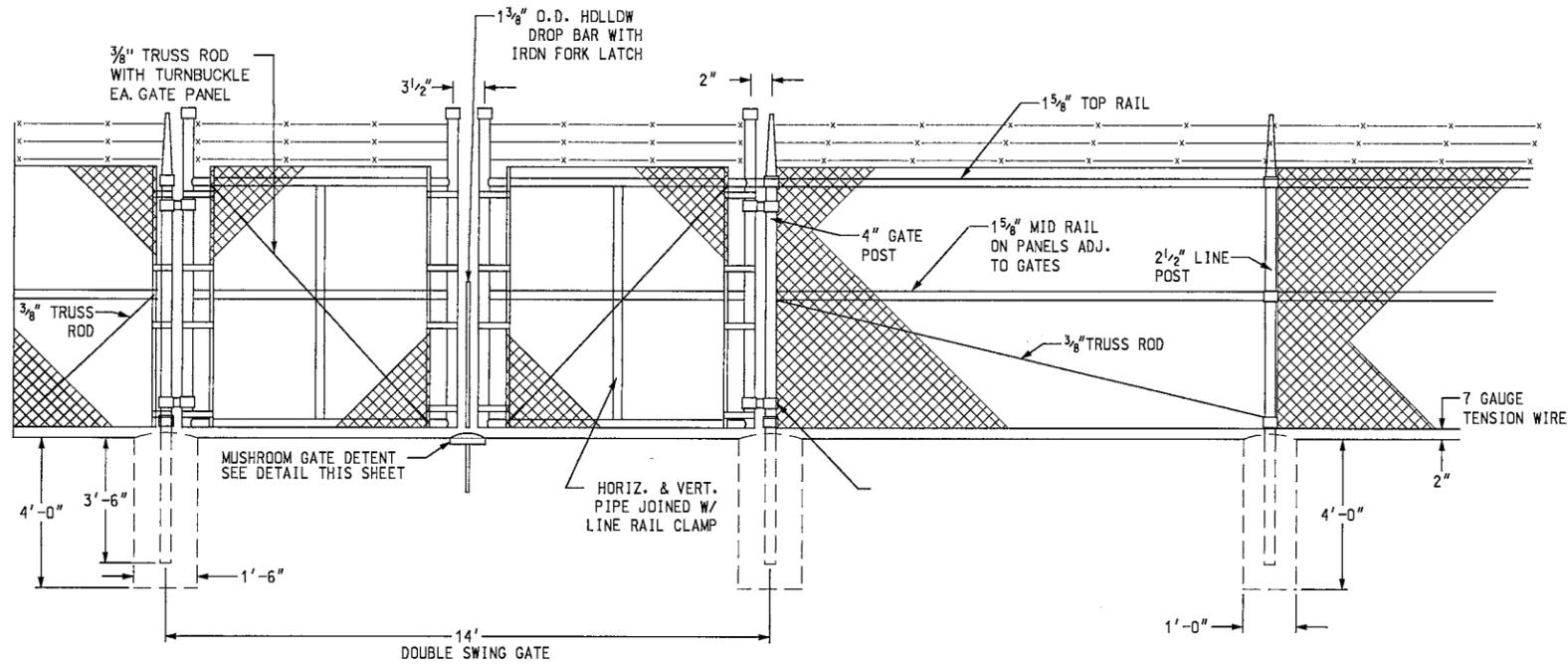
H-FRAME ELEVATION
NOT TO SCALE
 NOTES:
 1. NCT TO COORDINATE WITH TENANTS AND UTILITY COMPANIES FOR SERVICE ATTACHMENTS



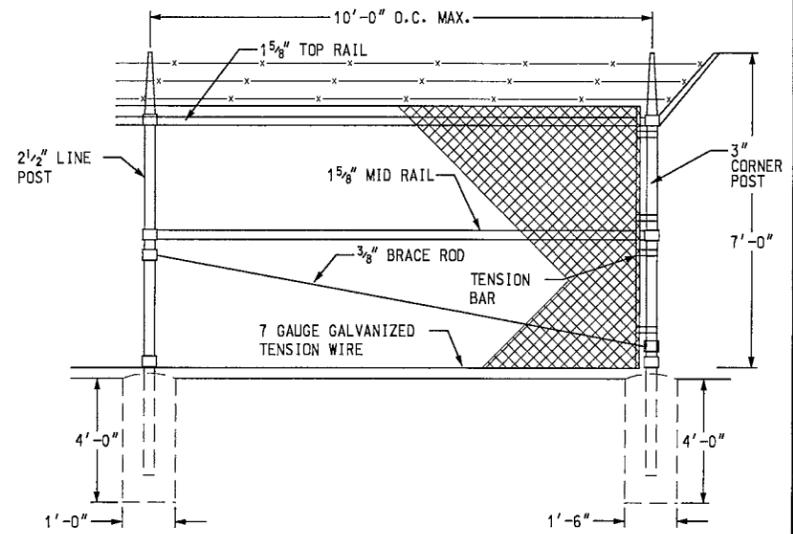
MGR TRENCHING DETAIL- CHEM ROD
NOT TO SCALE



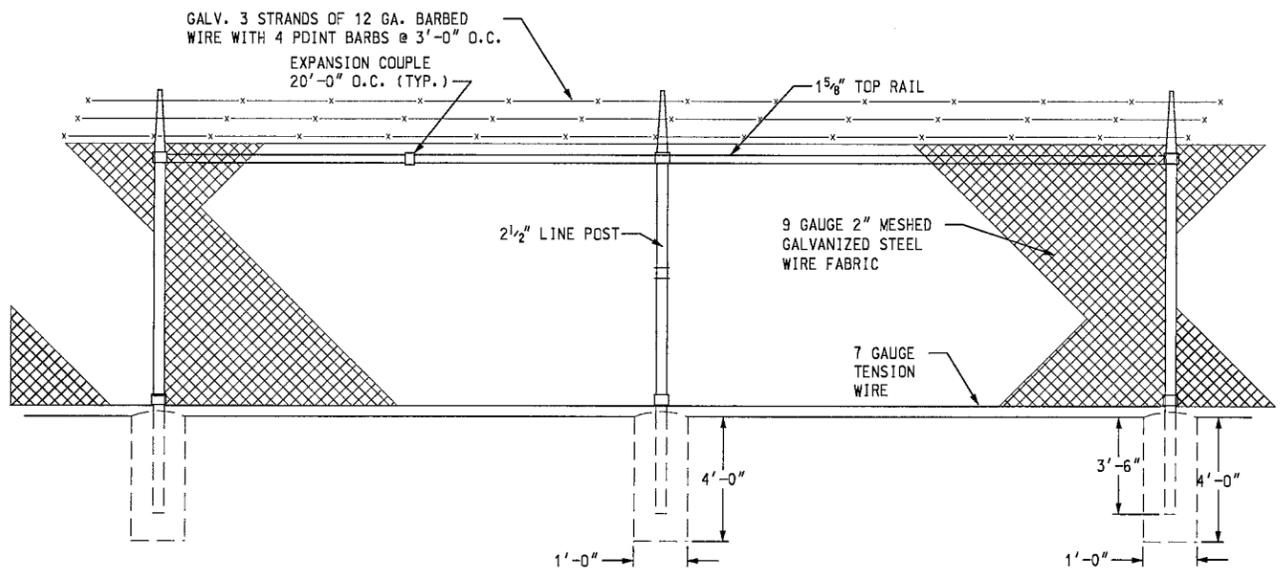
MGR TRENCHING DETAIL- GROUND WIRE
NOT TO SCALE



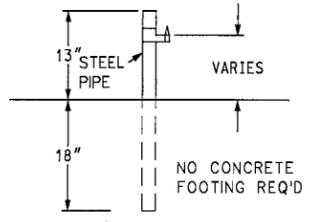
GATES AND ADJACENT PANELS
NOT TO SCALE



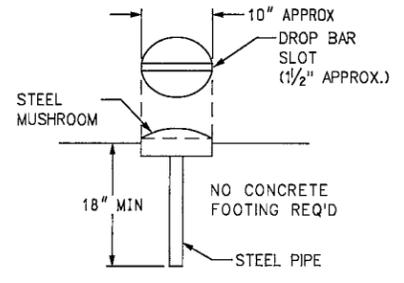
CORNER PANEL
NOT TO SCALE



LINE PANELS
NOT TO SCALE



GATE STOP/KEEPER DETAIL
NOT TO SCALE



MUSHROOM TYPE GATE DETENT DETAIL
NOT TO SCALE

FENCE MATERIALS SCHEDULE				
ITEM	GATE PANELS	PANELS ADJACENT TO GATES	CORNER PANELS	LINE PANELS
1 5/8" SCH. 40 TOP RAIL	X	X	X	X
1 5/8" SCH. 40 MID RAIL	X	X	X	
1 5/8" SCH. 40 BOTTOM RAIL	X			
3/8" TRUSS ROD		X	X	
3/8" TRUSS ROD WITH TURN BUCKLE	X			
7 GAUGE TENSION WIRE		X	X	X
POSTS (OD, SCH 40)		4"	3"	2 1/2"

- NOTES:
- CONTRACTOR TO PROVIDE PROGRAMMABLE COMBINATION LOCK (4 TABS). COMBINATION TO BE SET BY TOWER OWNER
REFERENCES - FEDERAL SPECIFICATIONS/FSC RR-F-191J (7/22/81)
 - A. ASTM A-120 ZINC COATED STEEL PIPE
B. ASTM A-392 ZINC COATED STEEL CHAIN LINK FABRIC
C. ASTM A-780 REPAIR OF HOT DIP GALVANIZED COATINGS
D. ASTM F-552 STANDARD DEFINITION OF TERMS RELATING TO CHAIN LINK FENCES
 - QUALITY ASSURANCE
A. ALL STEEL MATERIALS UTILIZED IN CONJUNCTION WITH THE SPECIFICATION SHALL BE HOT DIP GALVANIZED OR STAINLESS STEEL. WEIGHT OF ZINC COATING ON THE FENCE FABRIC SHALL BE NOT LESS THAN 1.2 OUNCES PER SQ.FT. OF MATERIAL COVERED.
 - CONTRACTOR TO SUPPLY CONCRETE FOR POST FOUNDATIONS
 - ALL RAIL PIPE AND POSTS TO BE SCHEDULE 40
 - GATE STOPS: 1 FOR EACH GATE PANEL, NO CONCRETE FOOTINGS REQUIRED.

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REVISIONS		
NO.	DATE	ISSUE
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PROJECT NAME
ROCKFISH CREEK SITE
WEST RIVER ROAD (RTE 6)
FLUVANNA COUNTY CUNNINGHAM DISTRICT VIRGINIA

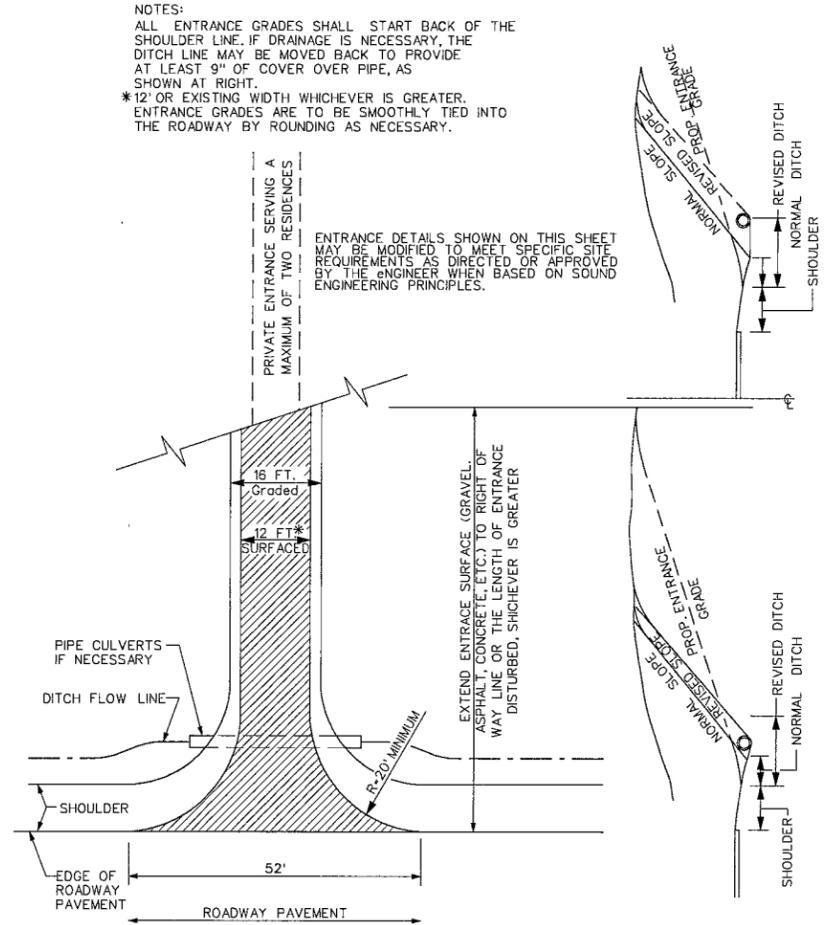
DATE: 8/23/12
SCALE: AS SHOWN
DESIGNED: J.C.
CHECKED: J.C.
DRAWN: COT

SHEET TITLE
FENCE NOTES & DETAILS
C-2

VDOT STANDARD GENERAL NOTES
EFFECTIVE DATE January 1, 2007

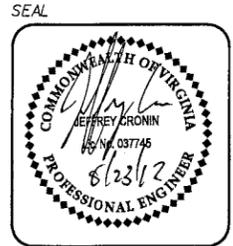
1. All materials and construction within the public right of way shall be in accordance with current Virginia Department of Transportation's specifications, standards, current work area protection manual, and all applicable location and design instructional and informational memorandums.
2. Land Use Permit (CE-7) must be obtained from the Virginia Department of Transportation prior to beginning any construction within the existing state maintained right of way (including access).
3. VDOT is to receive written notification 48 hours prior to commencing with initial construction activities.
4. Prior to any construction, the contractor shall consult the engineer and verify the approval of the plans by all applicable federal, state and local agencies.
5. Preliminary design of the pavement structure for all subdivision streets shall be in accordance with the current edition of The Pavement Design Guide for Subdivision and Secondary Roads in Virginia. The completed design worksheet appendix IV shall be included with the initial plan submit for each proposed pavement section utilizing the predicted soil support value shown in appendix I of The Pavement Design Guide.
6. The contractor shall verify the elevations of all points of connection or proposed work to existing curbs, sanitary lines, water lines, etc., prior to construction.
7. Upon discovery of soils that are unsuitable for foundations, sub-grades, or other roadway construction purposes, the contractor shall immediately contact a geotechnical engineer and VDOT. These areas shall be excavated below plan grade as directed by a geotechnical engineer, backfilled with suitable material and compacted in accordance with current VDOT specifications.
8. All storm sewer design and construction to be in accordance with VDOT I & ILD-94 (D) 121.13.
9. All drainage structures shall be in accordance with current versions of LD-97 (D) 121. Pipe within the right of way shall be a minimum CL-III or greater in accordance with current VDOT standards and specifications.
10. All pre-cast units shall be VDOT approved. Certification and VDOT stamp will be required on all units. Shop drawings, Geotechnical data and soil bearing capacity, and plan view shall be submitted as package for VDOT review and approval.
11. All concrete shall be minimum class A3-AE (air entrained 3,000 PSI).
12. All entrances are to be designed and constructed in accordance with current VDOT standards. Residential lot access shall be provided per the following criteria:
* All driveway entrance culverts are to be a minimum of 15" diameter x 20' long pipe and shall conform to PE-1 private entrance standards unless otherwise directed by the Resident Engineer. No entrance culverts are to be installed within five (5) feet of a property corner.
* VDOT standard CG-9D entrances shall be installed in curb and gutter neighborhoods. Inspections to be performed by VDOT shall be requested in writing, 48 hours prior to entrance installation.
13. The developer is responsible for furnishing and installing all signs deemed pertinent to the proposed development. The contractor shall contact VDOT inspection staff to establish locations for any signage requirements as deemed necessary by VDOT. Installation of said signs shall occur at no expense to the state and prior to state acceptance of roadway(s).
14. Design changes, specified materials changes and/or field changes from the approved plans need to be re-submitted to VDOT prior to proceeding with the work. A letter of explanation shall accompany the revised plans and/or drainage calculations, which must be submitted, to VDOT for review and approval by the Resident Engineer.
15. Contractor shall verify location and elevation of all underground utilities shown on plans in areas of construction prior to starting work. Contact engineer immediately if location or elevation is different from that shown on plan. If there appears to be a conflict, and/or upon discovery of any utility not shown on this plan, call Miss Utility at 1-800-552-7001. The developer shall be responsible for the relocation of any utility within existing and/or proposed right of way required by the development.
16. All streetlights shall be located a minimum of 9.5' from the edge of pavement on curb and gutter streets and/or located a minimum of 5.5' behind the ditch line on open ditch streets.
17. Generally, paved roadside ditches are to be specified when velocities exceed current VDOT design criteria or when ditch slopes are less than 0.75%. Where ditch slopes exceed 5.0%, the developer may choose to implement erosion and sediment control measures in an attempt to achieve channel stabilization while acknowledging that additional paved ditch linings may be required prior to acceptance of the roads into the secondary system of state highways. Paved roadside ditches shall conform to VDOT-PG-2A standards and specifications.
18. VDOT and County approval of construction plans does not preclude the right to require additional facilities as deemed necessary for acceptance of the roads into the VDOT Secondary Road System.
19. VDOT approval of site plans will expire five (5) years from the date of the initial approval. VDOT approval of subdivision plans will expire three (3) years from the date of the initial approval.
20. VDOT shall have performed the required field inspection (proof roll) prior to placement of the aggregate base course(s). Contact VDOT, in writing, for subgrade inspection 48 hours prior to scheduling placement of aggregate base course(s).
21. A prime coat seal between the aggregate base and bituminous concrete will be required at a rate of 0.30 gallons per square yard (REC-250 Prime Coat) per VDOT standards and specifications.
22. The scheduling of aggregate base installation and subsequent paving activities shall accommodate forecast weather conditions per Section 315 of The Road and Bridge Specifications.
23. VDOT shall have approved all base course(s) for depth, template and performed the required field inspection (visual, proof roll, compaction or any additional as determined by VDOT inspector) prior to placement of any surface course(s). Contact VDOT, in writing, for inspection of the base course(s) 48 hours prior to application of the surface course(s).
24. An actual copy of the complete CBR report is to be submitted to VDOT in conjunction with final pavement designs. All pavement design recommendations shall be performed in accordance with the current edition of The Pavement Design Guide for Subdivision and Secondary Roads in Virginia.
25. A licensed geotechnical engineer shall ascertain cause and certify recommended method of repair for all pavement structural failures prior to state acceptance.
26. All vegetation and organic materials to be removed from the right of way limits prior to conditioning of the subgrade.
27. Dry gutter is not allowed in VDOT right of way.
28. The developer will be responsible for the design costs of any traffic signal installation and/or modification under an account receivable with VDOT.
29. The necessity and locations for additional VDOT standard underdrains to be determined at time of subgrade inspection.
30. Approval of a detailed construction sequencing/maintenance of traffic narrative for the work zone is a prerequisite for issuance of a Land Use Permit allowing access to and construction within VDOT maintained right-of-way.
31. VDOT shall be provided documentation by a licensed geotechnical engineer, certifying that all in-place pavements meet or exceed the approved pavement design thickness prior to state acceptance. The certifying documentation shall conform to VDOT specifications and the approved plans.
32. The establishment of a temporary vegetative cover is required on all denuded areas that are not to be fine graded for periods longer than 30 days.
33. No structure shall be constructed on state maintained rights of way unless said structures are shown on road construction plans approved by VDOT or covered by a VDOT Land Use Permit (or by a letter of intent from the Resident Engineer to issue said permit at the time of state acceptance).
34. The developer is responsible for contacting the Fredericksburg District Traffic Engineering section at 540-899-4300 for guardrail location and placement requirements.
35. A preconstruction meeting is required prior to undertaking any roadway construction activities. Developer or designee will contact Fredericksburg Residency, in writing, five working days in advance of anticipated construction start to establish date, time and location for preconstruction meeting. The primary function of the construction meeting will be to identify geotechnical parameters of proposed construction activities.
36. Existing pavement markings within state Right of Way are to be eradicated (all eradication scars shall be overlaid with surface mix or slurry seal *4).
All new striping requires the use of Thermoplastic pavement markings. Contact District Traffic Engineering office at 540-899-4300 ten days prior to proceeding for striping layout.

37. A geotech report shall verify/approve stone depths prior to asphalt placement.
38. All construction debris, materials, dumpsters, etc shall be located outside the roadway prism prior to acceptance of the roads and shall be maintained outside the roadway prism within existing state routes.
39. Any landscaping, identification signs, lighting, etc. that may be indicated within the construction plans shall be for information purposes only. Non-standard items must be approved by separate submittal through the permitting process.



STANDARD PRIVATE ENTRANCES

PE-1



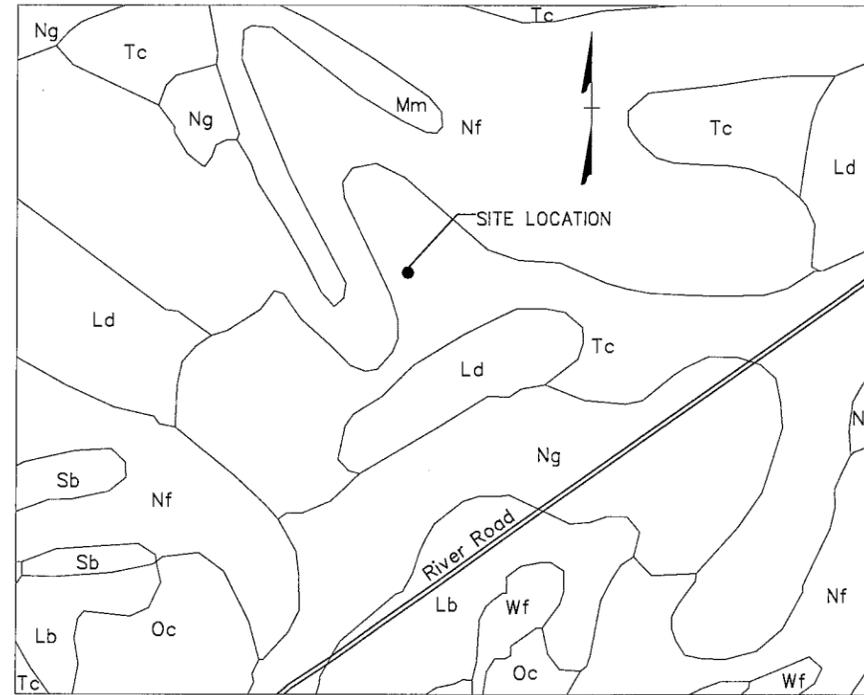
NATIONAL COMMUNICATION
TOWERS, LLC
5413 PATTERSON AVE, SUITE 101
RICHMOND, VA 23226
804-366-1165

REVISIONS		
NO.	DATE	ISSUE
1	8/23/12	

PROJECT NAME
ROCKFISH CREEK SITE
WEST RIVER ROAD
(RTE 6)
FLUVANNA COUNTY
CUNNINGHAM DISTRICT
VIRGINIA

DATE:	8/23/12
SCALE:	AS SHOWN
DESIGNED:	J.C.
CHECKED:	J.C.
DRAWN:	COT

SHEET TITLE
ENTRANCE REQUIREMENTS
C-3



FLUVANNA COUNTY VIRGINIA

SOIL TYPE:

- Tc Tatum Silt Loam, Undulating Phase
- Nf Nansum Silt Loam, Rolling Phase
- Ng Nansum Silt Loam, Undulating Phase



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SEAL



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ROCKFISH CREEK SITE

 WEST RIVER ROAD
 (RTE 6)

 FLUVANNA COUNTY
 CUNNINGHAM DISTRICT
 VIRGINIA

DATE: 8/23/12

SCALE: AS SHOWN

DESIGNED: J.C.

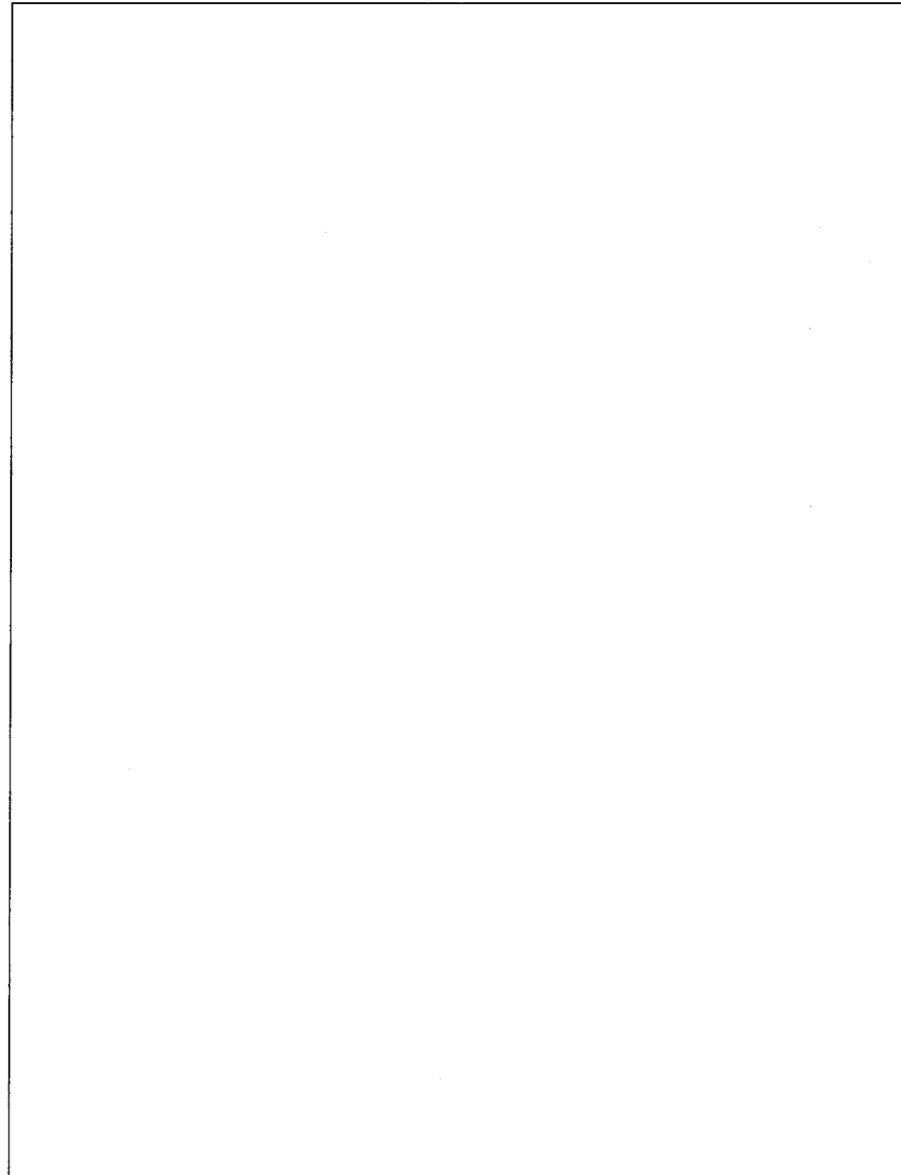
CHECKED: J.C.

DRAWN: COT

SHEET TITLE

SOIL MAP

C-4



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WEST RIVER ROAD
(RTE 6)

FLUVANNA COUNTY
CUNNINGHAM DISTRICT
VIRGINIA

DATE: 8/23/12

SCALE: AS SHOWN

DESIGNED: J.C.

CHECKED: J.C.

DRAWN: COT

SHEET TITLE

ZONING APPROVAL
&
CONDITIONS

SE-1

APPROVAL AND CONDITIONS

LEGAL DESCRIPTION - 30' Ingress/Egress & Utility Easement

BEGINNING at a point on the northern boundary of the right of way line of State Route No. 6, said point being 121.69 feet West of the intersection of the centerline of Rosewood Drive extended and the northern boundary of the right of way line of State Route No. 6, thence leaving the northern boundary of the right of way line of State Route No. 6 in a northwesterly direction along the centerline of a 30' Ingress/Egress and Utility Easement the following seven (7) courses and distances:

- 1) Along a curve to the left having a radius of 55.85 feet, a delta angle of 62°26'49" and an arc length of 57.90 feet to a point;
- 2) Thence N 89°00'00" W 80.39 feet to a point;
- 3) Thence along a curve to the right having a radius of 150.00 feet, a delta angle of 27°00'00" and an arc length of 70.03 feet to a point;
- 4) Thence N 64°00'00" W 312.23 feet to a point;
- 5) Thence along a curve to the left having a radius of 150.00 feet, a delta angle of 59°29'43" and an arc length of 155.76 feet to a point;
- 6) Thence along a curve to the right having a radius of 150.00 feet, a delta angle of 91°29'43" and an arc length of 239.53 feet to a point;
- 7) Thence N 32°00'00" W 42.29 feet to a point, said point being the terminus of the centerline of the 30' Ingress/Egress and Utility Easement.

LEGAL DESCRIPTION - Lease Parcel

BEGINNING at a point on the northern boundary of the right of way line of State Route No. 6, said point being 121.69 feet West of the intersection of the centerline of Rosewood Drive extended and the northern boundary of the right of way line of State Route No. 6, thence leaving the northern boundary of the right of way line of State Route No. 6 in a northwesterly direction along the centerline of a 30' Ingress/Egress and Utility Easement the following seven (7) courses and distances:

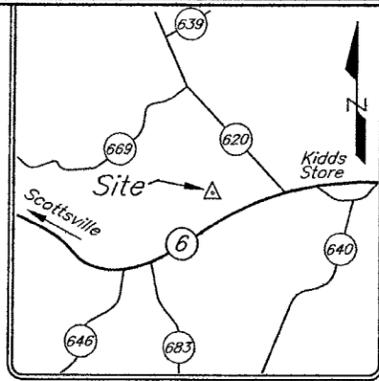
- 1) Along a curve to the left having a radius of 55.85 feet, a delta angle of 62°26'49" and an arc length of 57.90 feet to a point;
- 2) Thence N 89°00'00" W 80.39 feet to a point;
- 3) Thence along a curve to the right having a radius of 150.00 feet, a delta angle of 27°00'00" and an arc length of 70.03 feet to a point;
- 4) Thence N 64°00'00" W 312.23 feet to a point;
- 5) Thence along a curve to the left having a radius of 150.00 feet, a delta angle of 59°29'43" and an arc length of 155.76 feet to a point;
- 6) Thence along a curve to the right having a radius of 150.00 feet, a delta angle of 91°29'43" and an arc length of 239.53 feet to a point;
- 7) Thence N 32°00'00" W 42.29 feet to a point, said point being the terminus of the centerline of the 30' Ingress/Egress and Utility Easement and the Actual Point and Place of Beginning of the Lease Parcel;

Thence continuing in a southwesterly direction the following five (5) courses and distances:

- 1) S 58°00'00" W 62.50 feet to a point;
- 2) Thence N 32°00'00" W 125.00 feet to a point;
- 3) Thence N 58°00'00" E 125.00 feet to a point;
- 4) Thence S 32°00'00" E 125.00 feet to a point;
- 5) Thence S 58°00'00" W 62.50 feet to a point, said point being the Point and Place of Beginning for the Lease Parcel, containing 0.3587 Acres, more or less.

N/F New Forestry, LLC
Deed Book 370, Page 317
Tax Map #39-A-28

Zoned: A-1



Vicinity Map Scale: 1"=2000'

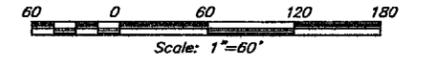
N/F New Forestry, LLC
Deed Book 370, Page 317
Tax Map #39-A-28

Zoned: A-1

Legend

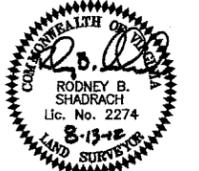
⊕ Fire Hydrant	⊠ Vepco Pole
⊞ Handicap Parking Spaces	⊞ Vepco Transformer
⊞ Painted Parking Spaces (Reg.)	⊞ Field Survey Traverse Point
⊞ Water Meter	⊞ Misc Frame Sign
⊞ Water Valve	⊞ Hand-cap Parking Sign
⊞ Lamp Post (Metal Post w/light)	⊞ Irrigation Valve
⊞ Drainage Manhole	⊞ Yard Inlet (Drainage)
⊞ Sanitary Manhole	⊞ Concrete Surface
⊞ Cable T.V. Pedestal	⊞ RCP Reinforced Concrete Pipe
⊞ Verizon Telephone Pedestal	⊞ CMP Corrugated Metal Pipe
⊞ U/G Fiber Optic Marker	⊞ D.I. Drainage Inlet
⊞ Gas Valve	⊞ P.O.B. Point of Beginning

SURVEY PLAT SHOWING
A 30' INGRESS/EGRESS & UTILITY EASEMENT AND A 0.3587 ACRE LEASE PARCEL SITUATED ON THE NORTH LINE OF STATE ROUTE NO. 6 CUNNINGHAM DISTRICT, FLUVANNA COUNTY, VIRGINIA
August 13, 2012



Shadrach & Associates, LLC
LAND SURVEYING
430 Southlake Blvd., Suite 10-B • Richmond, Virginia 23236
Phone: (804)379-9300 • Fax: (804)379-9301

I hereby certify that this boundary survey, to the best of my professional knowledge and belief, is correct and complies with the minimum procedures and standards established by the Virginia State Board of Architects, Professional Engineers, Land Surveyors, and Certified Landscape Architects.



NOTES:

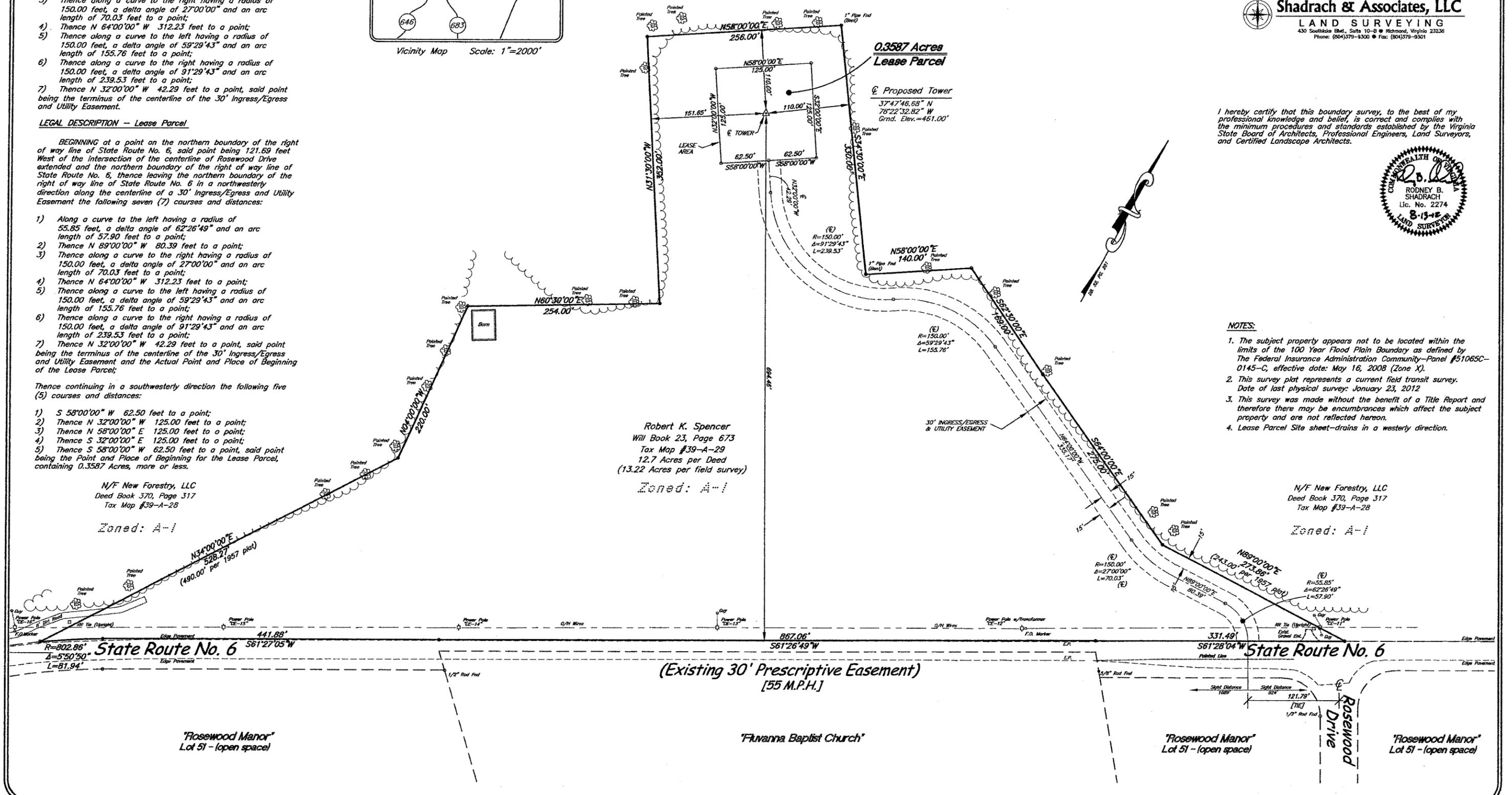
1. The subject property appears not to be located within the limits of the 100 Year Flood Plain Boundary as defined by The Federal Insurance Administration Community-Panel #51065C-0145-C, effective date: May 16, 2008 (Zone X).
2. This survey plat represents a current field transit survey. Date of last physical survey: January 23, 2012
3. This survey was made without the benefit of a Title Report and therefore there may be encumbrances which affect the subject property and are not reflected hereon.
4. Lease Parcel Site sheet-drains in a westerly direction.

Robert K. Spencer
Will Book 23, Page 673
Tax Map #39-A-29
12.7 Acres per Deed
(13.22 Acres per field survey)

Zoned: A-1

N/F New Forestry, LLC
Deed Book 370, Page 317
Tax Map #39-A-28

Zoned: A-1



LEGAL DESCRIPTION - 30' Ingress/Egress & Utility Easement

BEGINNING at a point on the northern boundary of the right of way line of State Route No. 6, said point being 121.69 feet West of the intersection of the centerline of Rosewood Drive extended and the northern boundary of the right of way line of State Route No. 6, thence leaving the northern boundary of the right of way line of State Route No. 6 in a northwesterly direction along the centerline of a 30' Ingress/Egress and Utility Easement the following seven (7) courses and distances:

- 1) Along a curve to the left having a radius of 55.85 feet, a delta angle of 62°26'49" and an arc length of 57.90 feet to a point;
- 2) Thence N 89°00'00" W 80.39 feet to a point;
- 3) Thence along a curve to the right having a radius of 150.00 feet, a delta angle of 27°00'00" and an arc length of 70.03 feet to a point;
- 4) Thence N 64°00'00" W 312.23 feet to a point;
- 5) Thence along a curve to the left having a radius of 150.00 feet, a delta angle of 59°29'43" and an arc length of 155.76 feet to a point;
- 6) Thence along a curve to the right having a radius of 150.00 feet, a delta angle of 91°29'43" and an arc length of 239.53 feet to a point;
- 7) Thence N 32°00'00" W 42.29 feet to a point, said point being the terminus of the centerline of the 30' Ingress/Egress and Utility Easement.

LEGAL DESCRIPTION - Lease Parcel

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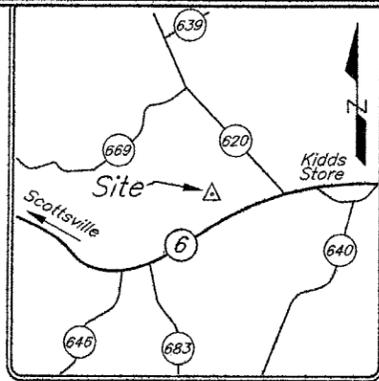
- 1) Along a curve to the left having a radius of 55.85 feet, a delta angle of 62°26'49" and an arc length of 57.90 feet to a point;
- 2) Thence N 89°00'00" W 80.39 feet to a point;
- 3) Thence along a curve to the right having a radius of 150.00 feet, a delta angle of 27°00'00" and an arc length of 70.03 feet to a point;
- 4) Thence N 64°00'00" W 312.23 feet to a point;
- 5) Thence along a curve to the left having a radius of 150.00 feet, a delta angle of 59°29'43" and an arc length of 155.76 feet to a point;
- 6) Thence along a curve to the right having a radius of 150.00 feet, a delta angle of 91°29'43" and an arc length of 239.53 feet to a point;
- 7) Thence N 32°00'00" W 42.29 feet to a point, said point being the terminus of the centerline of the 30' Ingress/Egress and Utility Easement and the Actual Point and Place of Beginning of the Lease Parcel;

Thence continuing in a southwesterly direction the following five (5) courses and distances:

- 1) S 58°00'00" W 62.50 feet to a point;
- 2) Thence N 32°00'00" W 125.00 feet to a point;
- 3) Thence N 58°00'00" E 125.00 feet to a point;
- 4) Thence S 32°00'00" E 125.00 feet to a point;
- 5) Thence S 58°00'00" W 62.50 feet to a point, said point being the Point and Place of Beginning for the Lease Parcel, containing 0.3587 Acres, more or less.

N/F New Forestry, LLC
Deed Book 370, Page 317
Tax Map #39-A-28

Zoned: A-1



Vicinity Map Scale: 1"=2000'

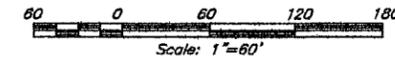
N/F New Forestry, LLC
Deed Book 370, Page 317
Tax Map #39-A-28

Zoned: A-1

Legend

- | | |
|----------------------------------|--------------------------------|
| ◆ Fire Hydrant | □ Vepco Pole |
| ○ Handicap Parking Spaces | ⊠ Vepco Transformer |
| Ⓜ Painted Parking Spaces (Reg.) | △ Field Survey Traverse Point |
| ○ Water Meter | ⊞ Misc Frame Sign |
| ○ Water Valve | ⊞ Handi-cap Parking Sign |
| ⊞ Lamp Post (Metal Post w/light) | ⊞ Irrigation Valve |
| ⊞ Drainage Manhole | ⊞ Concrete Surface |
| ⊞ Sanitary Manhole | ⊞ RCP Reinforced Concrete Pipe |
| ⊞ Cable T.V. Pedestal | ⊞ CMP Corrugated Metal Pipe |
| ⊞ Verizon Telephone Pedestal | ⊞ D.I. Drainage Inlet |
| ⊞ U/G Fiber Optic Marker | ⊞ P.O.B. Point of Beginning |
| ⊞ Gas Valve | |

SURVEY PLAT SHOWING
A 30' INGRESS/EGRESS & UTILITY EASEMENT AND A 0.3587 ACRE LEASE PARCEL SITUATED ON THE NORTH LINE OF STATE ROUTE NO. 6 CUNNINGHAM DISTRICT, FLUVANNA COUNTY, VIRGINIA
AUGUST 13, 2012



Shadrach & Associates, LLC
LAND SURVEYING
430 Southlake Blvd., Suite 10-B • Richmond, Virginia 23236
Phone: (804)379-9300 • Fax: (804)379-9301

I hereby certify that this boundary survey, to the best of my professional knowledge and belief, is correct and complies with the minimum procedures and standards established by the Virginia State Board of Architects, Professional Engineers, Land Surveyors, and Certified Landscape Architects.



NOTES:

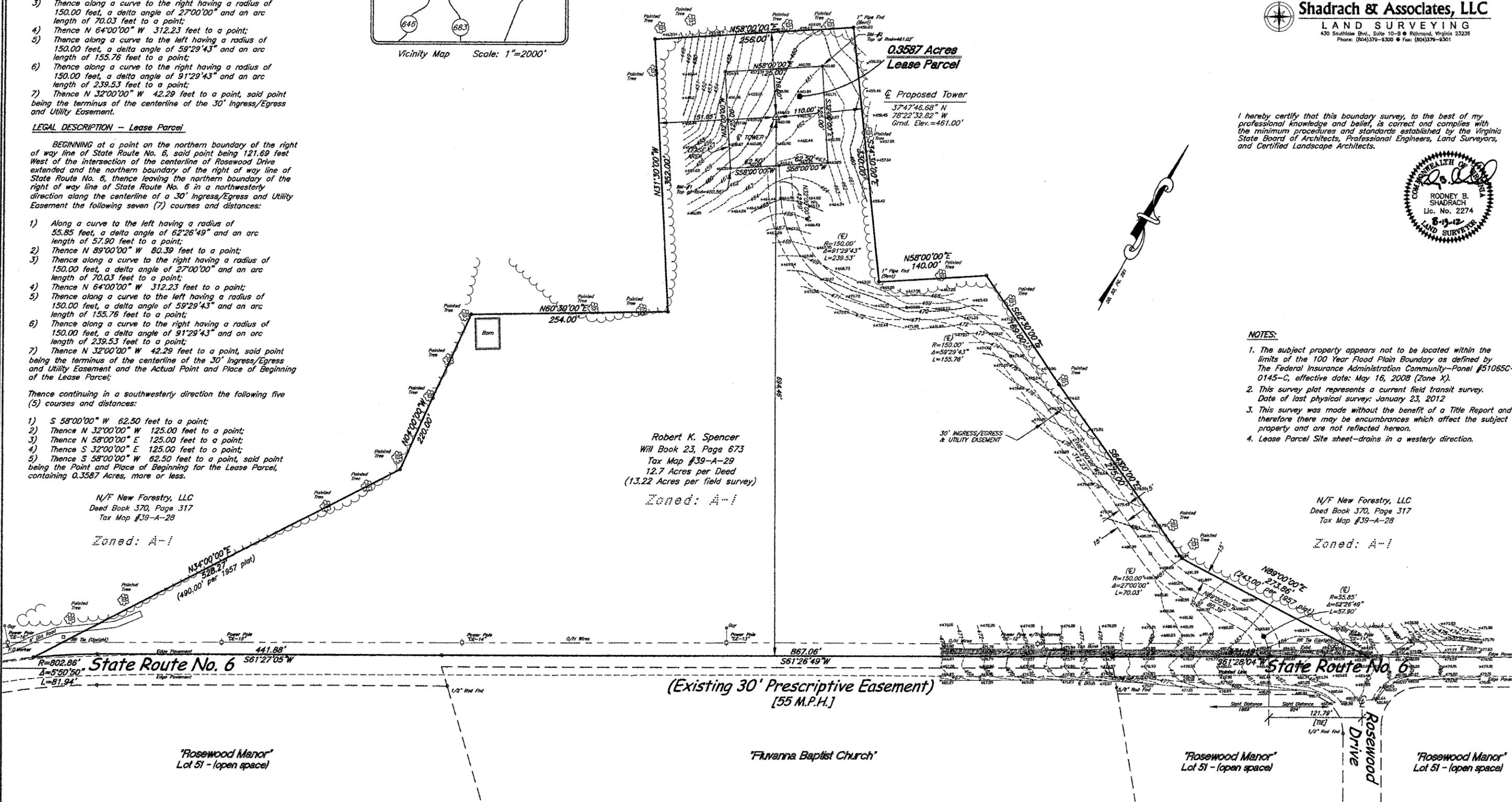
1. The subject property appears not to be located within the limits of the 100 Year Flood Plain Boundary as defined by The Federal Insurance Administration Community-Panel #51065C-0145-C, effective date: May 16, 2008 (Zone X).
2. This survey plat represents a current field transit survey. Date of last physical survey: January 23, 2012
3. This survey was made without the benefit of a Title Report and therefore there may be encumbrances which affect the subject property and are not reflected hereon.
4. Lease Parcel Site sheet-drains in a westerly direction.

N/F New Forestry, LLC
Deed Book 370, Page 317
Tax Map #39-A-28

Zoned: A-1

Robert K. Spencer
Will Book 23, Page 673
Tax Map #39-A-29
12.7 Acres per Deed
(13.22 Acres per field survey)

Zoned: A-1





COUNTY OF FLUVANNA

"Responsive & Responsible Government"

P.O. Box 540 Palmyra, VA 22963 (434) 591-1910 FAX (434) 591-1911 www.co.fluvanna.va.us

STAFF REPORT

To: Fluvanna County Planning Commission

Case Number: SDP 12:12

Tax Map: Tax Map 5, Section 20, Parcels 1A, 1B

From: Steve Tugwell

District: Columbia

Date: September 26, 2012

General Information: This item is scheduled to be heard by the Planning Commission on Wednesday, September 26, 2012 at 7:00 p.m. in the Circuit Courtroom in the Courts Building.

Owner: 33 Hunter's Branch, LLC

Applicant/Representative: Dominion Engineering

Requested Action: A site development plan request for a contractor's storage yard with respect to 4.68 acres of a portion of Tax Map 5, Section 20, Parcel 1A and 1B. The property is zoned I-1, Industrial, Limited and is located on the southern side of Route 250 (Richmond Road) approximately 300 feet east of Hunter's Branch Road. (Attachment A)

Location: The subject property is located on the south side of Route 250 (Richmond Road) approximately 0.10 miles west of its intersection with Zion Road (Route 615). (Attachment B)

Existing Zoning: I-1, Industrial, Limited, and B-1, Business, General

Existing Land Use: Vacant lot

Adjacent Land Uses: Adjacent properties are zoned I-1 (Industrial, Limited)

Comprehensive Plan: Zion Crossroads Community Planning Area (Within the Urban Development Area)

Zoning History: A rezoning (ZMP 84:03), from A-1 to I-1 was approved for this property on October 29, 1984; a Site Development Plan (SDP 97-04), for a storage warehouse was approved for this property on May 27, 2005; a minor subdivision of this property was approved on June 25, 2012.

Analysis:

The applicant is requesting sketch plan approval to facilitate a contractor's storage yard of I-1 zoned property, approximately 4.68 acres in size. Storage yards are a by-right use in the I-1 Industrial, Limited zoning district.

The Zoning Ordinance defines contractor's storage yards as "*Storage yards operated by, or on behalf of, a contractor for storage of large equipment, vehicles, or other materials commonly used in the individual contractor's type of business; storage of scrap materials used for repair and maintenance of contractor's own equipment; and buildings or structures for uses such as offices and repair facilities*".

According to the applicant, the parcel will be developed in two (2) phases. Phase I, or the western side of the parcel will be used primarily for construction vehicle storage such as "bobcats, dump trucks, and front-end loaders". As there is a perennial stream running through this parcel, a 50 foot riparian buffer will be required along both sides of the stream. Wetlands are present near the center and western part of the parcel, therefore a wetlands permit will be required for any future development in that area, or Phase II portion of the development. Depending on the type of development, Planning Commission review and approval may be required for any future development in Phase II.

(Attachment C)

Parking/Roads

The site is proposed to be accessed from Hunter's Branch Road via an existing 50 foot access easement. The access easement will be upgraded with gravel.

Landscaping/Screening

There is a substantial amount of existing vegetation around the periphery of this property. The applicant has stated that it is expected that a majority of that vegetation will be retained in an effort to screen the storage yard from the Route 250 roadway. However all existing landscaping, and/or proposed required landscaping shall be in compliance with the Fluvanna County Zoning Ordinance.

Signage & Outdoor Lighting

If site lighting is proposed, then the plan must show outdoor lighting that is fully shielded and uses full cut-off lighting fixtures.

Stormwater Management

The sketch plan shows the general directions for site stormwater drainage. There is an existing stormwater management facility on the adjacent parcel that is proposed to serve the subject

parcel. An erosion and sedimentation control plan must be reviewed and approved by the County E&S inspector prior to approval of the final site plan.

Septic and Water Usage

This site is proposed as a contractor's storage yard, and no improvements are proposed at this time. Water and septic systems are not anticipated to be required, however the Environmental Health Department will have to review and approve any future water or septic systems.

Technical Review Committee:

At the August 9, 2012 Technical Review Committee meeting, VDOT indicated that since this site is accessed via a private access easement, they do not have any comments;

The Erosion and Sediment Control Officer commented that an erosion and sedimentation control plan would have to be submitted and reviewed;

The Health Department stated that since there were no septic or well issues, they did not have any comments.

(Attachment D)

Conclusion:

The submitted sketch plan appears to meet the sketch plan requirements of Section 22-23-8.A of the Fluvanna County Zoning Ordinance. Prior to final approval, a site development plan that meets the requirements of Sections 22-23, 24, 25 and 26 of the Fluvanna County Zoning Ordinance must be submitted for staff review and approval.

Recommended Conditions:

1. Meeting all final site plan requirements which include, but are not limited to, providing parking, landscaping, tree protection, and outdoor lighting plans;
2. Meeting any required Department of Environmental Health requirements;

Suggested Motion:

I move to approve SDP 12:12, a sketch site plan to facilitate a contractor's storage yard with respect to 4.68 acres of Tax Map 5, Section 20, Parcels 1A & 1B subject to the conditions listed in the staff report.

Attachments:

A – Application, site sketch plan

B – Aerial Vicinity Map

C – Zoning Map

D - Emails from Environmental Health Dept.

Copy:

Owner: Hunter's Branch, LLC, 3432 Keswick Road, Keswick, VA 22947

Applicant/Representative: Dominion Engineering, 172 S. Pantops Drive, Charlottesville, VA 22911

File



COMMONWEALTH OF VIRGINIA
 COUNTY OF FLUVANNA
 Site Development Application

ATT A
 Received
 JUL 30 2012
 Fluvanna County

Owner of Record: 33 HUNTERS BRANCH, LLC Applicant of Record: SAME AS OWNER
 E911 Address: 3432 KESWICK ROAD, KESWICK, VA 22947 E911 Address: _____
 Phone: 434-245-0894 Fax: _____ Phone: _____ Fax: _____
 Email: klancaster@southern-development.com Email: _____

Representative: MICHAEL MYERS, DOMINION ENGINEERING
 E911 Address: 172 S. PANTOPS DR., CIVILLE, VA 22911
 Phone: 434-979-8121 x140 Fax: 434-979-1681
 Email: mmyers@dominioneng.com

Note: If applicant is anyone other than the owner of record, written authorization by the owner designating the applicant as the authorized agent for all matters concerning the request shall be filed with this application.

Tax Map and Parcel(s): 5-20-1A + 1B Deed Book Reference: _____
 Acreage: _____ Zoning: 1-1 Deed Restrictions? No Yes (Attach copy)

Location: SE INTERSECTION OF RTE. 250 + HUNTERS BRANCH

Description of Property: EXISTING WAREHOUSE ON LOT 1A, VACANT ON LOT 1B

Proposed Structure: N/A

Dimensions of Building: N/A Lighting Standards on Site: No Yes

of Employees: N/A # of Parking Spaces: N/A

Noise Limitations: N/A

I declare that the statements made and information given on this application are true, full and correct to the best of my knowledge and belief. I agree to conform fully to all terms of any certificate or permit which may be issued on account of this application.

Applicant Name (Please Print) KEITH LANCASTER, HUNTERS BRANCH LLC Applicant Signature and Date [Signature] 7/25/12

All plats must be folded prior to submission to the Planning Department. Rolled plats will not be accepted.

OFFICE USE ONLY		
Date Received: <u>7/30/12</u>	Pre-Application Meeting: _____	Fee Paid: <u>CK#2013</u> Application #: <u>SDP 12:012</u>
Election District: <u>Columbia</u>	Planning Area: <u>Zion Crossroads</u>	Number of Lots: <u>2</u>
Total Fees Due at Time of Submittal		
Sketch Plan: <u>\$ 150.00</u> + Minor Plan: \$550.00 or Major Plan: \$1,100.00		
Additional Fees Due at Time of Review		
Health Department Subdivision Review:	\$250.00 + \$25.00 per lot	Existing System Review \$50.00
Street Sign Installation:	\$200.00 Per Intersection	
Amendment of Plan	\$150.00	
Outdoor Lighting Plan Review*	\$ 50.00	
Landscape Plan Review*	\$ 50.00	
Tree Protection Plan Review*	\$ 50.00	
* If not part of a Site Plan Review		

SITE DATA

LEGAL REFERENCE: TM 5 SECTION 20 PARCEL 1
DB 805-412

OWNER /DEVELOPER: 33 HUNTERS BRANCH LLC
3432 KESWICK RD
KESWICK, VA 22947

CURRENT USE: 1A - SHOP
1B - VACANT

PROPOSED USE: 1A - SHOP
1B - CONTRACTOR STORAGE YARD (VEHICLE AND TRAILER STORAGE)

ZONING: I-1 (INDUSTRIAL LIMITED)

MAGISTERIAL DISTRICT: PALMYRA DISTRICT

SOURCE OF BOUNDARY SURVEY: BOUNDARY INFORMATION FROM SURVEY BY RIVANNA ENGINEERING PLC.

SOURCE OF TOPOGRAPHY: TOPOGRAPHIC INFORMATION FROM FIELD SURVEY BY THIS FIRM IN MAY 2012.

WATER AND SEWER SERVICE: Water service to be provided by a private well on site. Sanitary sewer service to be provided by an existing drainfield on on Lot 1A. No building is proposed for Lot 1B.

LAND USE SCHEDULE:

	PRE-DEVELOPMENT	%	POST-DEVELOPMENT	%
BUILDING:	9,000 SF	3.1	9,000 SF	3.1
PAVEMENT:	0 SF	0.0	0 SF	0.0
GRAVEL:	67,816 SF	23.1	216,886 SF	73.8
PERVIOUS:	216,778 SF	73.8	67,883 SF	23.1
TOTAL:	293,594 SF	100.0	293,769 SF	100.0

The site does not lie in the 100 year flood plain

There are wetlands on this site.

No items of particular historical, cultural, or scientific significance found.



NOTES:

1. Wetlands information taken from plat by Bob Lum, dated 11/28/03.
2. This plan assumes that SWM and water quality will be accommodated by the offsite pond on the adjacent recycling facility.

Dominion Engineering
engineers
planners
surveyors



COMMONWEALTH OF VIRGINIA
MICHAEL F. MYERS
Lic. No. 33028
PROFESSIONAL ENGINEER

REVISIONS		REVISIONS		REVISIONS	
NO.	DESCRIPTION	DATE	NO.	DESCRIPTION	DATE

FILE NAME: 05-10-1-SKP2.DWG
SCALE: 1" = 40'
DESIGNED BY: SKJ
DRAWN BY: SKJ
CHECKED BY: MFM



WETLANDS PERMIT
REQUIRED FOR PHASE
2 CONSTRUCTION

LOT COVERAGE

MAXIMUM LOT COVERAGE = 80%

LOT	IMPERVIOUS COVER	LOT AREA	% COVERAGE
LOT 1A	1.61 Ac.	2.06 Ac.	78% (< 80%)
LOT 1B	3.19 Ac.	4.68 Ac.	68% (< 80%)

AREA SUMMARY

LOT 1A: 2.06 ACRES
LOT 1B: 4.68 ACRES
SITE AREA: 6.74 ACRES

LOT 1B PHASING AREAS
PHASE 1: 1.99 ACRES
PHASE 2: 2.69 ACRES
TOTAL: 4.68 ACRES

	PHASE 1	PHASE 2
WETLANDS AREA:	14,087 SF	31,984 SF
WETLANDS AREA, DISTURBED:	4141 SF	30,984 SF
STREAM DISTURBANCE:	299 LF	0 LF

NOTE: STORMWATER MANAGEMENT TO BE PROVIDED BY OFFSITE POND AT VAN DER LINDE RECYCLING FACILITY.

SKETCH PLAN FOR
HUNTERS BRANCH LOT 1A & 1B
FLUVANNA COUNTY, VIRGINIA
SHEET TITLE: SKETCH PLAN

DOM. PROJECT NO: 12.0035

INDEX TITLE:

SKP2

SHEET NO: 2 of 2

DATE: 07/24/12

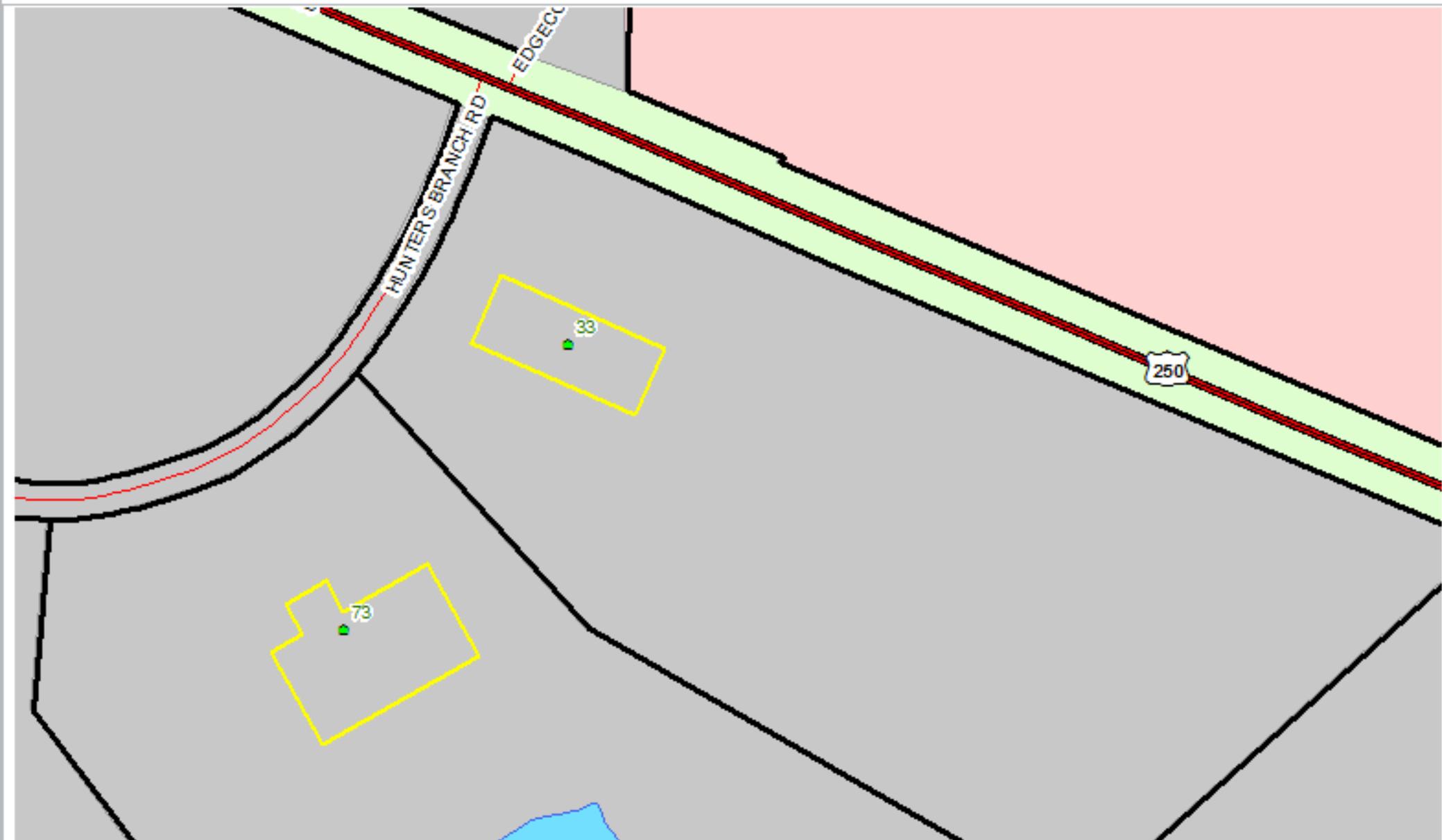


Scale: 1:2256.994353

Date: 09/20/2012

Printed By:

Under Virginia State Law, these real estate assessment records are public information. Display of this property information on the internet is specifically authorized by the Code of Virginia §58.1-3122.2(as amended).



Scale: 1:2256.994353 Date: 09/20/2012 Printed By:

Under Virginia State Law, these real estate assessment records are public information. Display of this property information on the internet is specifically authorized by the Code of Virginia §58.1-3122.2(as amended).

Fluvanna County
Technical Review Committee Meeting
August 9, 2012

SDP 12:05 – 33 Hunter’s Branch, LLC – Proposed storage yard appears to have no impact on the existing well and septic system located on this lot (Tax Map # 5-20-1). The existing system was sized to accommodate 5 employees or a maximum of 100 GPD. No additional connections can be made to this system without receiving prior health department approval.

SUB 12-12 – National Communication Towers, LLC – Proposed wireless communications tower appears to have no environmental impact. There are no homes, septic systems or wells located on this property.